



OWNER: MEDHAT ROFAEL
16531 CAROUSEL LANE
HUNTINGTON BEACH, CA 92648
(714) 357-0747

TITLE / PROJECT DATA SHEET

16 MAY 2016

PACIFIC COAST ARCHITECTS



2800 NEWPORT
BLVD. SUITE 114
NEWPORT BEACH,
CA. 92663
(949) 675-9488
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COASTAL ZONE (CZ) OVERLAY DISTRICT:

(CHAPTER 221 OF HB280) COMPLIANCE STATEMENTS.

- A DOMESTIC ANIMAL CONTROL PLAN SHALL BE PREPARED THAT DETAILS THE METHOD USED TO PREVENT PETS FROM ENTERING ANY RESOURCE PROTECTION AREAS, INCLUDING, BUT NOT LIMITED TO APPROPRIATE FENCING AND BARRIER PLANTINGS.
- A PEST MANAGEMENT PLAN SHALL BE PREPARED THAT, AT A MINIMUM, PROHIBITS THE USE OF RODENTICIDES, AND RESTRICTS THE USE OF PESTICIDES, AND HERBICIDES IN OUTDOOR AREAS, EXCEPT NECESSARY VECTOR CONTROL CONDUCTED BY THE CITY OR COUNTY.
- STREET LIGHTING, EXTERIOR RESIDENTIAL LIGHTING AND RECREATIONAL LIGHTING ADJACENT TO RESOURCE PROTECTION AREAS SHALL NOT BE SIGNIFICANTLY DISRUPT HABITAT VALUES WITHIN THE RESOURCE PROTECTION AREAS.
- COVENANTS, CONDITIONS AND RESTRICTIONS (CC&Rs) IN A FORM APPROVED BY THE OFFICE OF THE CITY ATTORNEY SHALL BE RECORDED SPECIFYING THAT THE REQUIREMENTS AND RESTRICTIONS OF THIS SECTION APPLY. THE CC&Rs SHALL BE BINGING ON EACH OF THE LOTS, SHALL RUN WITH THE LAND AFFECTED BY THE SUBDIVISION AND SHALL BE INCLUDED OR INCORPORATED BY REFERENCE IN EVERY DEED TRANSFERRING ON OR MORE OF THE LOTS IN THE SUBDIVISION.
- THE PROJECT APPLICANT SHALL PROVIDE ANY BUYER OF A HOUSING UNIT WITHIN THE CZ OVERLAY DISTRICT AN INFORMATION PACKET THAT EXPLAINS THE SENSITIVITY OF THE NATURAL HABITATS WITHIN OR ADJACENT TO THE PROJECT SITE AND THE NEED TO MINIMIZE IMPACTS ON THE DESIGNATED RESOURCE PROTECTION AREA(S), AND THE PROHIBITION ON LANDSCAPING THAT INCLUDES EXOTIC INVASIVE PLANT SPECIES. THE INFORMATION PACKET SHALL INCLUDE A COPY OF THE DOMESTIC ANIMAL CONTROL PLAN AND PEST MANAGEMENT PLAN AND BE REQUIRED FOR ALL SALES OF HOUSING UNITS PURSUANT TO THE CC&Rs.
- PROTECTIVE FENCING OR BARRIERS SHALL BE INSTALLED AND MAINTAINED BETWEEN THE RESOURCE PROTECTION AREAS AND AREAS DEVELOPED FOR HOMES OR RECREATIONAL USE FOR THE PURPOSE OF MINIMIZING HUMAN AND DOMESTIC ANIMAL PRESENCE IN THE RESOURCE PROTECTION AREAS, INCLUDING RESTORED AND PRESERVED WETLAND AND ESHA BUFFER AREAS; HOWEVER, PUBLIC ACCESS TO DESIGNATED PASSIVE RECREATIONAL USE AREAS SHALL BE PROVIDED. VISUAL IMPACTS CREATED FROM ANY WALLS OR BARRIERS ADJACENT TO OPEN SPACE CONSERVATION AND PASSIVE RECREATIONAL USE AREA SHALL BE MINIMIZED THROUGH MEASURES SUCH AS OPEN FENCING/WALL DESIGN, LANDSCAPE SCREENING, USE OF UNDULATING OR OFF-SET WALL FEATURED, ETC.
- WALLS, FENCES, GATED AND BOUNDARY TREATMENTS SHALL USE WOOD, WROUGHT IRON, FROSTED OR PARTIALLY-FROSTED GLASS OR OTHER VISUALLY PERMEABLE BARRIERS THAT ARE DESIGNED TO PREVENT CREATION OF BIRD STRIKE HAZARD. CLEAR GLASS OR FLEXIGLAS SHALL NOT BE INSTALLED UNLESS APPLIQUE (E.G. STICKERS/DECALS) DESIGNED TO REDUCE BIRF-STIKES BY REDUCING REFLECTIVITY AND TRANSPARENCY ARE ALSO USED.
- USES ALLOWED ADJACENT TO DESIGNATED WETLANDS AND ENVIRONMENTALLY SENSITIVE HABITAT AREAS SHALL ASSURE THE CONTINUANCE OF THE HABITAT VALUE AND FUNCTION OF PRESERVED AND RESTORED WETLANDS AND ESHA.
- PRIOR TO THE ISSUANCE OF A COASTAL DEVELOPMENT PERMIT, THE DIRECTOR SHALL DETERMINE THAT ADEQUATE PUBLIC SERVICES AND FACILITIES WILL BE AVAILABLE TO SERVE THE PROPOSED DEVELOPMENT, CONSISTENT WITH THE GENERAL PLAN.
- THE PROVISION OF PUBLIC ACCESS AND RECREATION BENEFITS ASSOCIATED WITH PRIVATE DEVELOPMENT (SUCH AS BUT NOT LIMITED TO PUBLIC ACCESS WAYS, PUBLIC BIKE PATHS, HABITAT RESTORATION AND ENHANCEMENTS, ETC.) SHALL BE PHASED SUCH THAT THE PUBLIC BENEFIT(S) ARE IN PLACE PRIOR TO OR CONCURRENT WITH THE PRIVATE DEVELOPMENT BUT NOT LATER THAN OCCUPATION OF ANY OF THE PRIVATE DEVELOPMENT.
- DIKING, DREDGING OR FILLING SHALL BE PERMITTED ONLY WHERE THE IS NO FEASIBLE, LESS ENVIRONMENTALLY-DAMAGING ALTERNATIVE AND WHERE FEASIBLE MITIGATION MEASURES HAVE BEEN PROVIDED, CONSISTENT WITH THE PRIVATE DEVELOPMENT BUT NOT LATER THAN OCCUPATION OF ANY OF THE PRIVATE DEVELOPMENT.
- AS A CONDITION OF A NRE DEVELOPMENT, THE APPLICANT SHALL BE REQUIRED TO SUBMIT A REPORT EVALUATING GEOLOGIC, SEISMIC, FLOOR AND FIRE HAZARDS, AND SHALL BE DESIGNED TO:
 - COMPLY WITH ALL RECOMMENDATION AND PROVISIONS CONTAINED IN THE ALQUISTPRIOLO SPECIAL STUDIES ZONES ACT (CALIFORNIA PUBLIC RESOURCE CODE, CHAPTER 15) FOR IDENTIFIED SEISMIC HAZARDS.
 - COMPLY WITH ALL PROVISIONS RELATING TO THE FP FLOODPLAIN OVERLAY DISTRICT, IF APPLICABLE.
 - COMPLY WITH ALL PROVISIONS RELATING TO METHANE DISTRICTS AS DEFINED IN CHAPTER 11.04.
 - DEVELOPMENT IN SUBAREA 4K AS DEPICTED IN FIGURES C-6a AND C-10 OF THE COASTAL ELEMENT LAND USE PLAN, SHALL COMPLY WITH THE APPROVED HAZARD MITIGATION AND FLOOR PROTECTION PLAN REQUIRED IN TABLE C-2 OF THE COASTAL ELEMENT LAND USE PLAN.
- ALL ROOFTOP MECHANICAL DEVICES, EXCEPT FOR SOLAR PANELS, WHICH MAY BE PERMITTED TO EXCEED THE HEIGHT LIMIT UNDER SECTION 230.12, SHALL BE SET BACK AND SCREENED SO THAT THEY ARE NOT VISIBLE.
- ALL SIGNS SHALL COMPLY WITH CHAPTER 233.
- PUBLIC ACCESS IMPLEMENTATION : THE PURPOSE OF THIS NOTE INCLUDES THE FOLLOWING:
 - TO ACHIEVE THE BASIC STATE GOALS OF MAXIMIZING PUBLIC ACCESS TO THE COAST AND PUBLIC RECREATIONAL OPPORTUNITIES, AS SET FORTH IN THE CALIFORNIA COASTAL ACT CODIFIED AT SECTION 30200 THROUGH 30900 OF THE CALIFORNIA PUBLIC RESOURCES CODE. SECTION 30201(b) STATED THAT PUBLIC ACCESS BOTH TO AND ALONG THE SHORELINE SHALL BE MAXIMIZED CONSISTENT WITH SOUND RESOURCE CONSERVATION PRINCIPLES AND CONSTITUTIONALLY PROTECTED RIGHTS OF PRIVATE PROPERTY OWNERS
 - TO IMPLEMENT THE PUBLIC ACCESS AND RECREATION POLICIES OF CHAPTER 3 OF THE COASTAL ACT (SECTION 30210-30255) AND
 - TO IMPLEMENT THE CERTIFIED LAND USE PLAN OF THE LOCAL COASTAL PROGRAM WHICH IS REQUIRED BY SECTION 30500(x) OF THE COASTAL ACT TO INCLUDE SPECIFIC PUBLIC ACCESS COMPONENT TO ASSURE THAT MAXIMUM PUBLIC ACCESS TO THE COAST AND PUBLIC RECREATION AREAS IS PROVIDED.
 - IN ACHIEVING THESE PURPOSES, THIS NOTE SHALL BE GIVEN THE MOST LIBERAL CONSTRUCTION POSSIBLE SO THAT THE PUBLIC ACCESS TO THE NAVIGABLE WATER SHALL ALWAYS BE PROVIDED AND PROTECTED CONSISTENT WITH THE GOALS, OBJECTIVES AND POLICIES OF THE CALIFORNIA COASTAL ACT AND ARTICLE X, SECTION 4, OF THE CALIFORNIA CONSTITUTION.

PARK MARINA

AT

16926 PARK AVENUE.

HUNTINGTON BEACH, CA

PROJECT DIRECTORY:

ARCHITECT: PACIFIC COAST ARCHITECTS
2600 NEWPORT BLVD., SUITE 114
NEWPORT BEACH, CA 92663
(949) 675-9488
ATTN: PHIL EDMONDSON

REPRESENTATIVE: MICHAEL C. ADAMS A880C.
2190 BEACH BLVD.
HUNTINGTON BEACH, CA. 92648
(714) 374-5678
ATTN: MICHAEL ADAMS

SURVEYOR: RDM SURVEYING INC.
23016 LAKE FOREST DR. # 409
LAGUNA HILLS, CA 92653
(949) 858-2924
ATTN: RON MIEDEMA

PROJECT DATA:

COASTAL DEVELOPMENT PERMIT NO. 13-014
CONDITIONAL USE PERMIT NO. 13-022
ENVIRONMENTAL ASSESSMENT NO. 13-008
APN 178-651-36 & 178-532-78
ZONE OSUR-CZ
COASTAL ZONE OVERLAY CZ
BUILDING TYPE V-FULLY SPRINKLERED
OCCUPANCY TYPE B / R-3 / U
FRONT SETBACK (STREET) (PROPOSED) 1'-6"
SIDE YARD SETBACK (PROPOSED) 10'-0"
REAR SETBACK (BAY) (PROPOSED) 9'-2"
HEIGHT LIMIT 35'-0"
LOT AREA 6,179 SF.

LIST OF DRAWINGS:

- A-1 TITLE/PROJECT DATA SHEET
- A-2 SITE PLAN
- A-3 MARINA OFFICE BUILDING FLOOR PLANS & ROOF PLAN
- A-4 DETACHED GARAGE PLANS & ELEVATIONS
- A-5 MARINA OFFICE BUILDING ELEVATIONS
- A-6 LOT COVERAGE PLAN
- C-1 SITE TOPOGRAPHIC SURVEY
- G-1 PRELIMINARY GRADING PLAN

PROJECT DESCRIPTION:

THE DEVELOPMENT OF A MARINA CONSISTING OF A 66 FT. COMMUNITY DOCK AREA AND A 2-STORY BUILDING W/ MARINE OFFICE AND PUBLIC RESTROOM ON FIRST FLOOR AND 1 BEDROOM CARETAKERS UNIT ON SECOND FLOOR. CONSTRUCT A 2-CAR GARAGE W/ 2 PRIVATE PARKING SPACES. ATTACHED TRASH ENCLOSURE. CONSTRUCT NEW SITE IMPROVEMENTS TO INCLUDE HARDSCAPE, LANDSCAPE AND SITE GRADING AND DRAINAGE. INCLUDES 3 PUBLIC PARKING SPACES & 3 BICYCLE PARKING SPACES. PUBLIC AND PRIVATE USE IS PROPOSED. ALSO REQUESTED IS THE ESTABLISHMENT OF A PIERHEAD LINE.

CODES:

THIS PROJECT SHALL COMPLY WITH 2013 CALIFORNIA STANDARDS CODE (2013 CRC, CBC, CMC, CFC, AND CEC) AND LOCAL ORDINANCES.

MARINA OFFICE BUILDING:

MARINA OFFICE AREA 368 SF.
PUBLIC RESTROOM 60 SF.
CARETAKER ENTRY & STAIR 82 SF.
TOTAL FIRST FLOOR AREA 508 SF.
CARETAKER SECOND FLOOR AREA 565 SF.
TOTAL GROSS AREA 1,073 SF.

DETACHED GARAGE:

TOTAL GROSS AREA 441 SF.

TOTAL SITE BUILDING AREA:

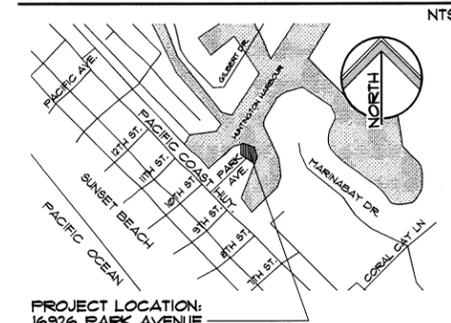
MARINA OFFICE BUILDING 1,073 SF.
DETACHED GARAGE 441 SF.
TOTAL GROSS AREA 1,514 SF.

LOT COVERAGE (BUILDING):

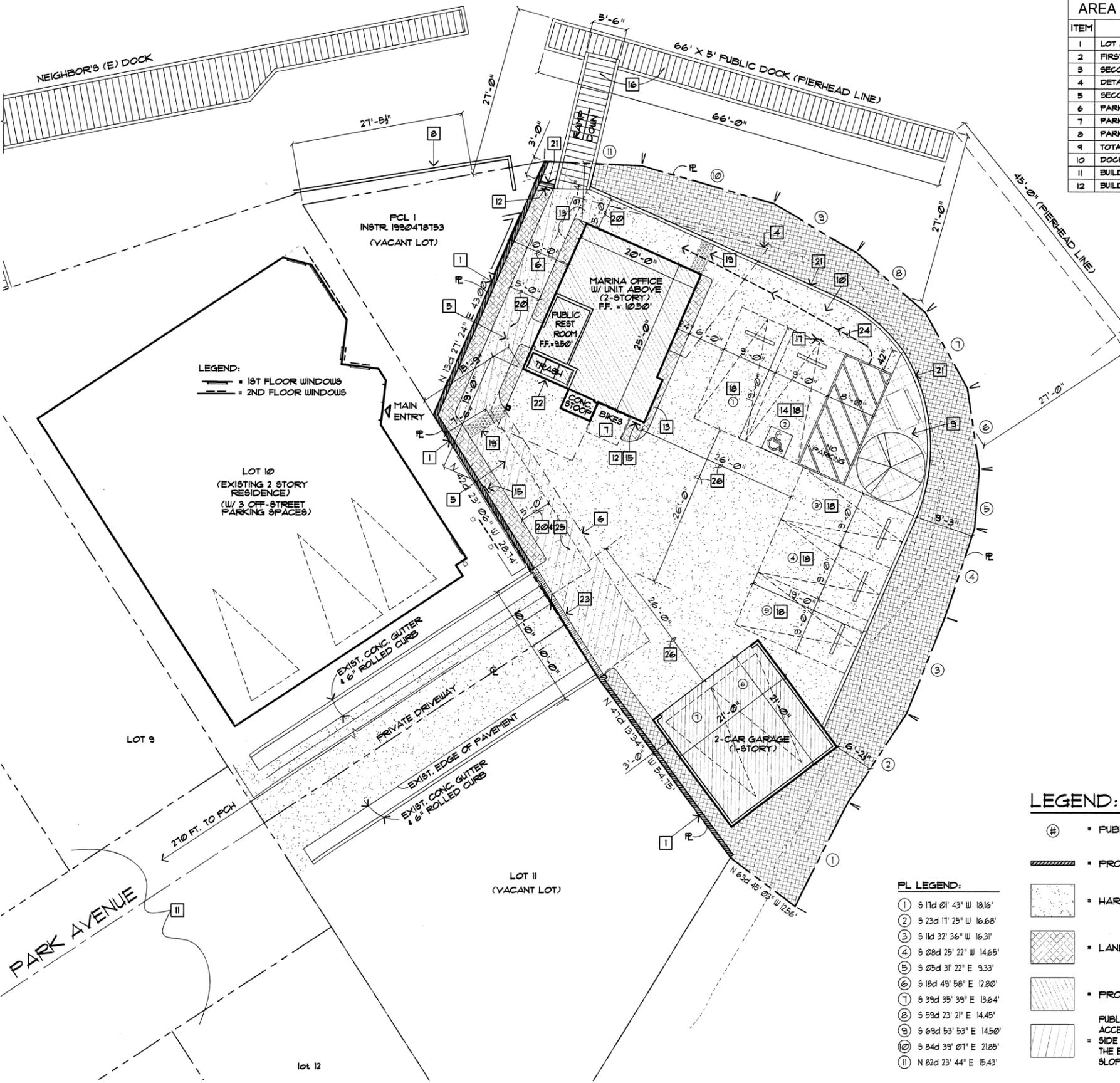
TOTAL LOT COVERAGE AREA * 1,328 SF.
LOT COVERAGE (50% MAX.) 215 %

* LOT COVERAGE CALCULATION INCLUDES PROJECTIONS ON THE SECOND FLOOR AND SECOND FLOOR BALCONY

VICINITY MAP



PROJECT LOCATION:
16926 PARK AVENUE.



ITEM	TYPE	AREA
1	LOT AREA	6,179 S.F.
2	FIRST FLOOR AREA	5,028 S.F.
3	SECOND FLOOR AREA	5,665 S.F.
4	DETACHED GARAGE AREA	441 S.F.
5	SECOND FLOOR BALCONY	249 S.F.
6	PARKING - HANDICAPPED	1 TOTAL
7	PARKING - PUBLIC	9 TOTAL
8	PARKING - PRIVATE/GARAGE	4 TOTAL
9	TOTAL PARKING COUNT	14 TOTAL
10	DOCK LENGTH	66 FT.
11	BUILDING	2 TOTAL
12	BUILDING STORIES	1 & 2 STORY

16926 PARK AVENUE
HUNTINGTON BEACH, CA.

OSMR ZONE
A.P.N. 178-532-78 & 178-651-36
PROPERTY AREA = 6,179 S.F. (O.H.A.C.)

EASEMENT: PROPOSED 10' WIDE PUBLIC ACCESS EASEMENT (FOOT TRAFFIC ONLY)

PUBLIC DOCK: PUBLIC DOCK OPERATING HOURS LIMITED FROM 8:00 AM TO 5:00 PM DAILY

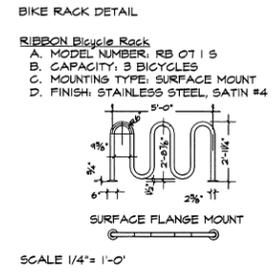
PROPOSED LOT COVERAGES:		
TYPE	SQ. FT.	%
LOT COVERAGE AREA	1,328 S.F.	21.5%
HARDSCAPE AREA	9,046 S.F.	44.3%
LANDSCAPE AREA	1,805 S.F.	24.2%
TOTAL	6,174 S.F.	100%

□ SITE PLAN NOTES:

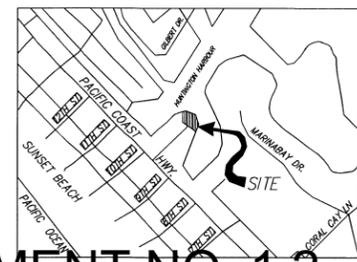
- PROPOSED PERIMETER 8" CMU WALL, 6'-0" HIGH.
- 6'-0" TALL, 8" CMU BLOCK WALL W/ TRELLIS ABOVE.
- EXISTING SLOPE TO BAY.
- CANTILEVER LINE OF SECOND FLOOR ABOVE.
- 5'-0" WIDE CONC. PUBLIC SIDEWALK/WALKWAY.
- 10'-0" WIDE PUBLIC ACCESS EASEMENT.
- BIKE RACK PER DETAIL BELOW.
- WATERWAY LIMITS AND EXISTING CONC. BULKHEAD.
- SANDY BEACH PICNIC AREA. W/ 2 PICNIC BENCHES.
- WHEELCHAIR ACCESSIBLE SIDEWALK, PER NOTE 16.420.
- EXISTING OVERHEAD WIRES SHALL BE RAISED TO A MIN. UNOBSTRUCTED HEIGHT OF 13'-6" FOR FIRE APPARATUS ACCESS, AT MULTIPLE LOCATIONS ON PARK AVENUE.
- "RULES AND USES" SIGN OUTLINING EXPECTED BEHAVIOR AND ACTIVITY ON THIS PROPERTY W/ HOURS OF OPERATION. THIS SIGN SHALL ALSO IDENTIFY THE PUBLIC ACCESS AND PUBLIC USE AREAS.
- SURVEILLANCE CAMERAS SHALL BE DIRECTED ON THE DOCK AND FACILITY, MOUNTED ON BUILDING EXTERIOR AT SECOND FLOOR.
- VAN ACCESSIBLE PARKING SPACE. PROVIDE ACCESSIBLE SYMBOL SIGN, VAN SIGN AND "MINIMUM FINE \$250" SIGN BELOW THE ACCESSIBILITY SYMBOL SIGN.
- SIGN POSTED "NO PARKING" AT UNLOADING AREAS.
- THE PUBLIC DOCK SHALL BE ACCESSIBLE TO DISABLED PERSONS PER CH. 11B OF CBC 2013.
- POSTED AT SITE ENTRANCE TO OFF-STREET PARKING FACILITIES OR ADJACENT TO AND VISIBLE FROM EACH STALL A 17"x22" MINIMUM SIGN WITH 1" LETTERING STATING "UNAUTHORIZED VEHICLES PARKED IN DESIGNATED DISABLED SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR LICENSE PLATES ISSUED FOR PHYSICALLY DISABLED PERSONS MAY BE TOWED AWAY AT OWNERS EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT AUTHORIZED POLICE DEPARTMENT, TOWING AGENCY OR BY TELEPHONING---"
- 9'-0" x 19'-0" PARKING STALL.
- TRUNCATED DOME LOCATION AT FLUSH TRANSITION FROM WALK TO DRIVE.
- 5'-0" WIDE ACCESSIBLE PATH OF TRAVEL WITH NO GRADE STEEPER THAN 1:20, NOT A RAMP.
- 3'-0" RETAINING WALL AT EDGE OF DOCK & PATH W/ 42" HI IRON GUARDRAIL.
- TRASH STORAGE AREA.
- 12" WIDE TRENCH DRAIN W/ TRAFFIC RATED GRATES ACROSS ENTRY TO PROPERTY.
- ACCESSIBLE PATH OF TRAVEL FROM ACCESSIBLE PARKING STALL TO OFFICE MAIN ENTRANCE.
- PATH AND BOAT OFF-LOADING AREA FOR ACCESS TO DOCK.
- CLEAR BACK-UP DISTANCE.

LEGEND:

- Ⓢ = PUBLIC PARKING STALL
- ▨ = PROPOSED 8" CMU WALL, 6'-0" TALL
- ▨ = HARDSCAPE AREA
- ▨ = LANDSCAPE AREA
- ▨ = PROPOSED STRUCTURE
- ▨ = PUBLIC ACCESS EASEMENT (TO BE THE ACCESSIBLE PATH OF TRAVEL FROM PUBLIC SIDE WALK/ACCESSIBLE PARKING STALL & THE ENTRANCE(S) ALONG WITH MAXIMUM SLOPE OF 5%, AND CROSS SLOPE OF 2%)



- PL LEGEND:
- ① S 17d 01' 43" W 10.16'
 - ② S 23d 11' 25" W 16.68'
 - ③ S 11d 32' 36" W 16.31'
 - ④ S 08d 25' 22" W 14.65'
 - ⑤ S 05d 31' 22" E 9.33'
 - ⑥ S 18d 49' 58" E 12.80'
 - ⑦ S 33d 35' 39" E 13.64'
 - ⑧ S 59d 23' 21" E 14.45'
 - ⑨ S 63d 53' 53" E 14.50'
 - ⑩ S 84d 39' 01" E 21.85'
 - ⑪ N 82d 23' 44" E 15.43'



SITE PLAN

16 MAY 2016

PACIFIC COAST ARCHITECTS
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PARK MARINA

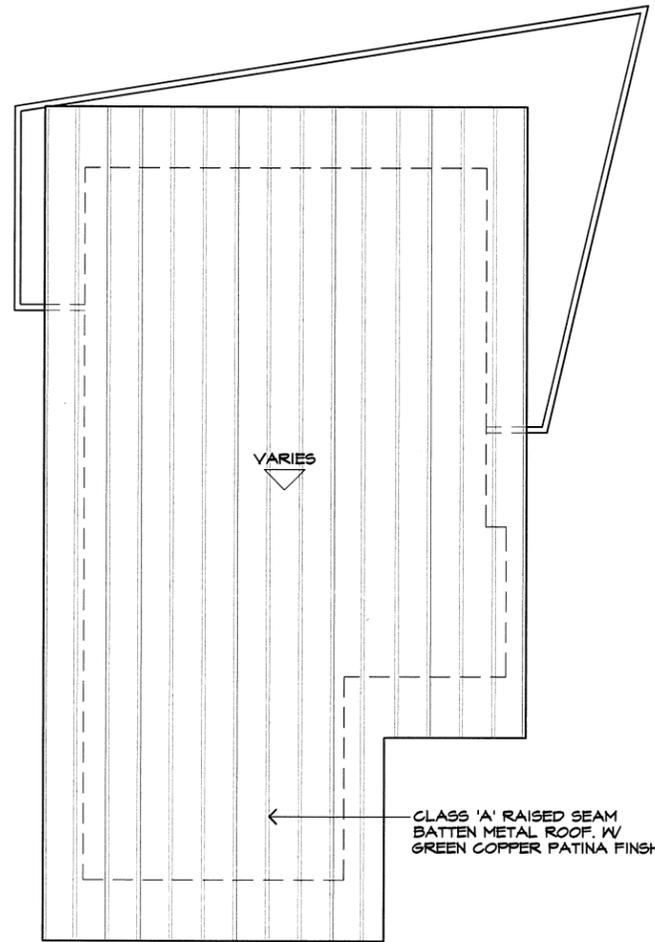
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SITE PLAN

AFN: *178-532-78
AFN: *178-651-36

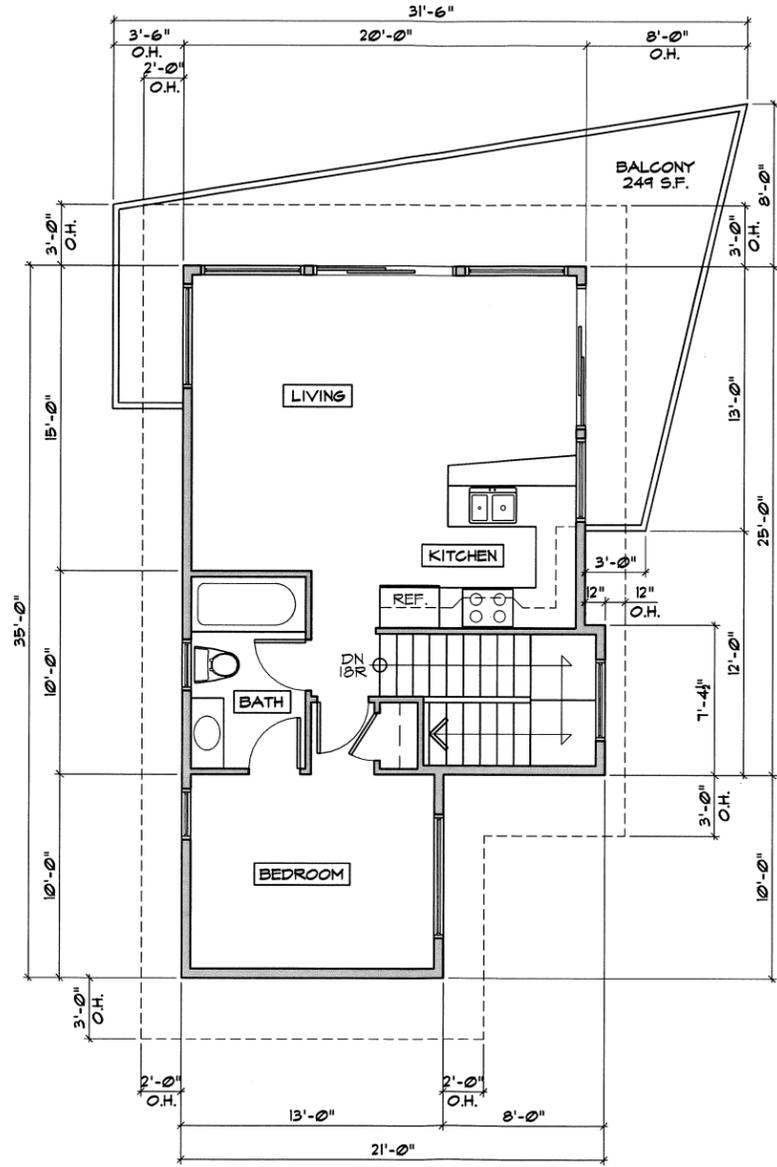
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ATTACHMENT NO. 1.2



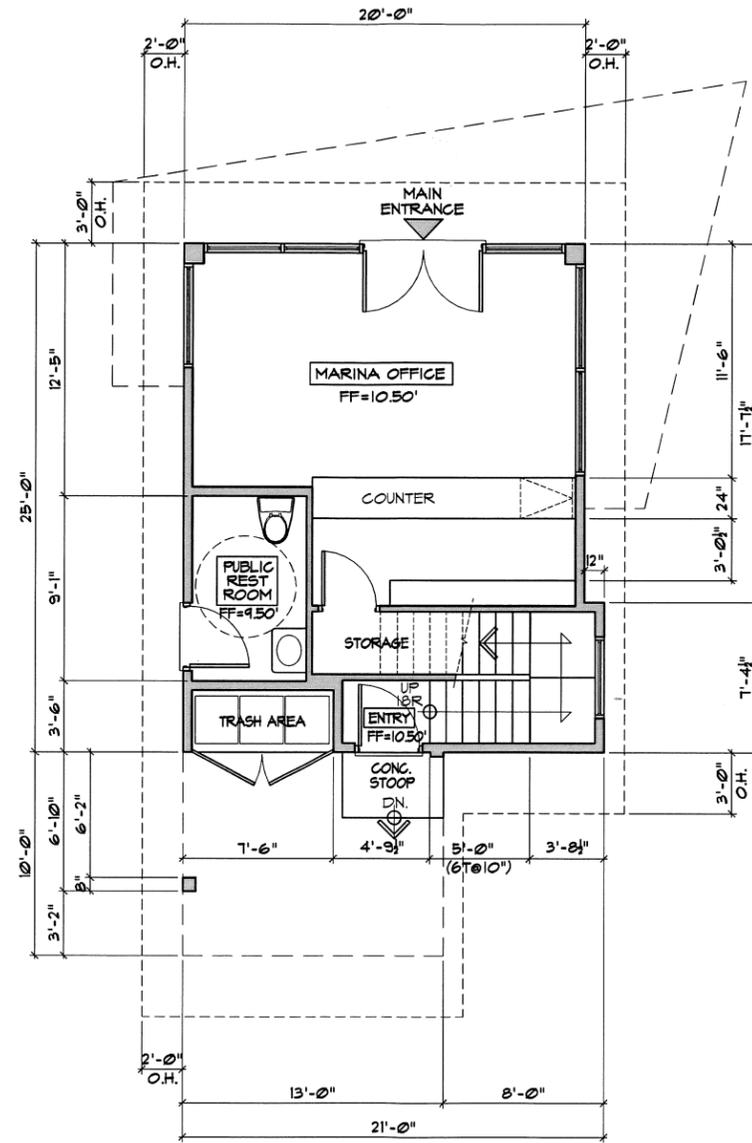
ROOF PLAN

SCALE: 1/4"=1'-0"



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

ATTACHMENT NO. 1.3



OWNER: MEDHAT ROFAEL
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MARINA OFFICE BUILDING
FLOOR PLANS & ROOF PLAN

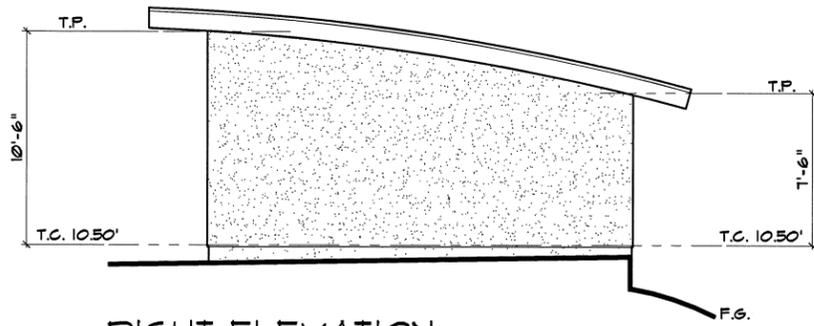
16 MAY 2016

PARK MARINA



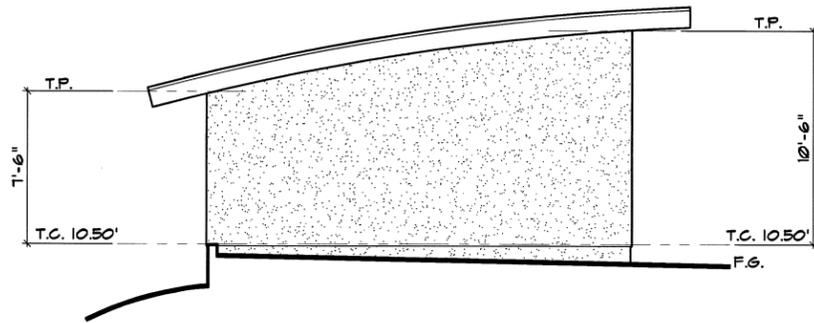
2600 NEWPORT
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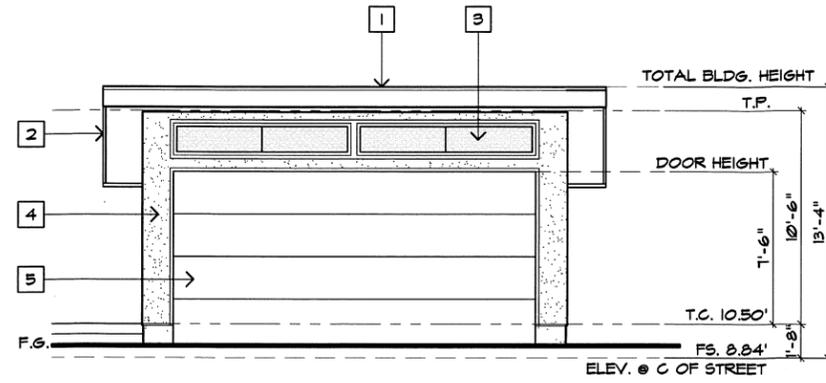
RIGHT ELEVATION

SCALE 1/4"=1'-0"



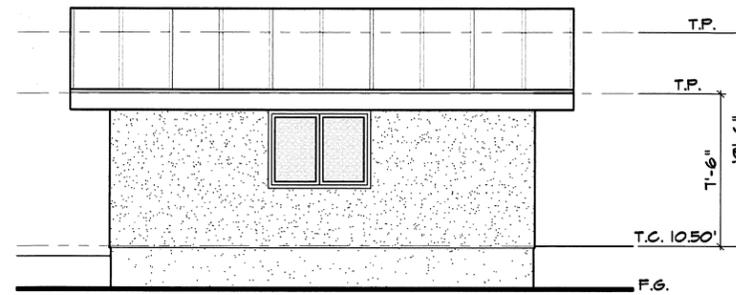
LEFT ELEVATION

SCALE 1/4"=1'-0"



FRONT ELEVATION

SCALE 1/4"=1'-0"

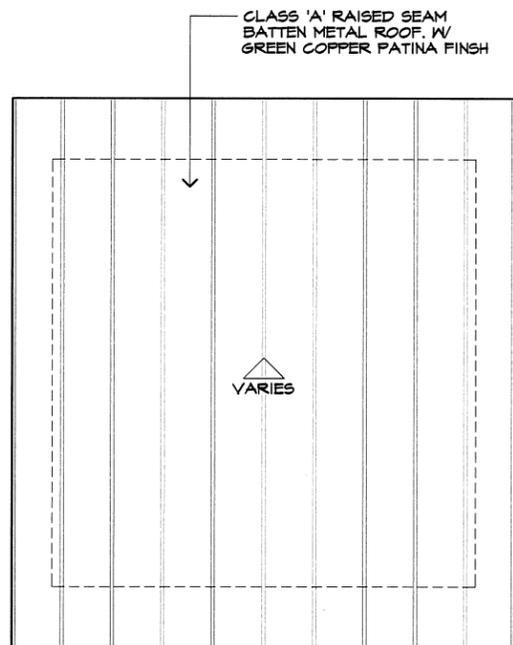


REAR ELEVATION

SCALE 1/4"=1'-0"

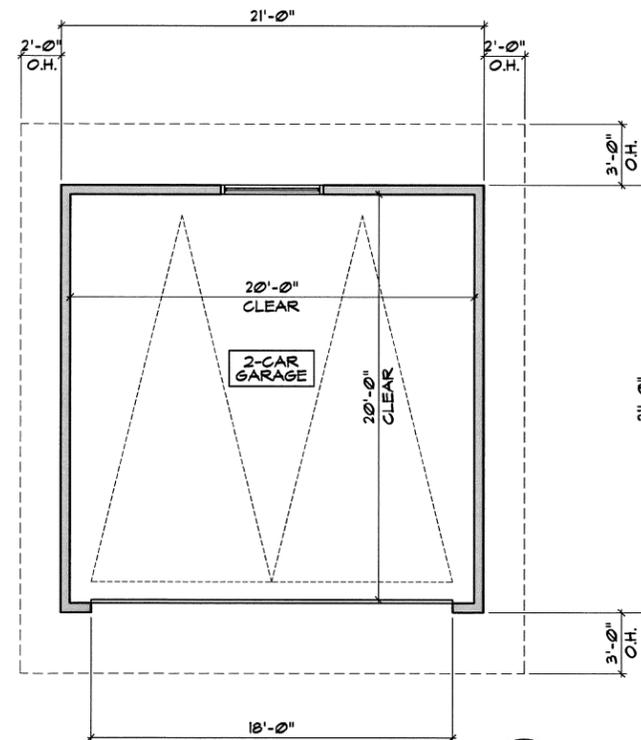
ELEVATION NOTES:

1. ROOFING MATERIAL - STANDING SEAM METAL
2. WOOD FASCIA BOARD
3. VINYL TRANSOM WINDOW (BY MILGARD)
4. STUCCO SMOOTH FINISH (BY LAHABRA-ALAMO)
5. METAL SECTIONAL GARAGE DOOR



GARAGE ROOF PLAN

SCALE: 1/4"=1'-0"



GARAGE FLOOR PLAN

SCALE: 1/4"=1'-0"



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DETACHED GARAGE
PLANS & ELEVATIONS

16 MAY 2016



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PARK MARINA

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OWNER: MEDHAT ROFAEL
 16531 CAROUSEL LANE
 HUNTINGTON BEACH, CA 92648
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MARINA OFFICE BUILDING
 EXTERIOR ELEVATIONS

16 MAY 2016

PACIFIC COAST ARCHITECTS

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PARK MARINA

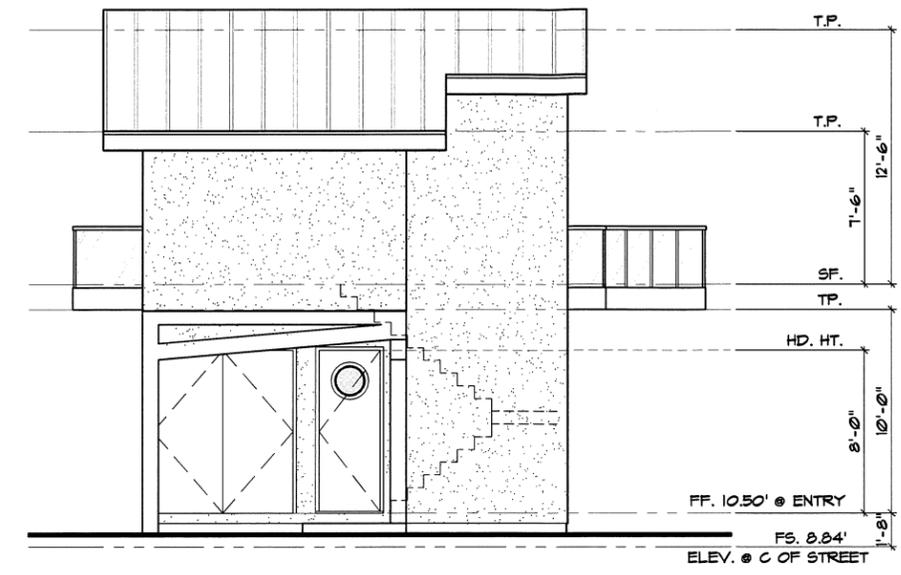
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- ELEVATION NOTES:**
1. ROOFING MATERIAL - STANDING SEAM METAL
 2. WOOD FASCIA BOARD
 3. VINYL WINDOW (BY MILGARD)
 4. STUCCO SMOOTH FINISH (BY LAHABRA -ALAMO)
 5. CLEAR GLASS RAILING



RIGHT SIDE ELEVATION

SCALE 1/4"=1'-0"



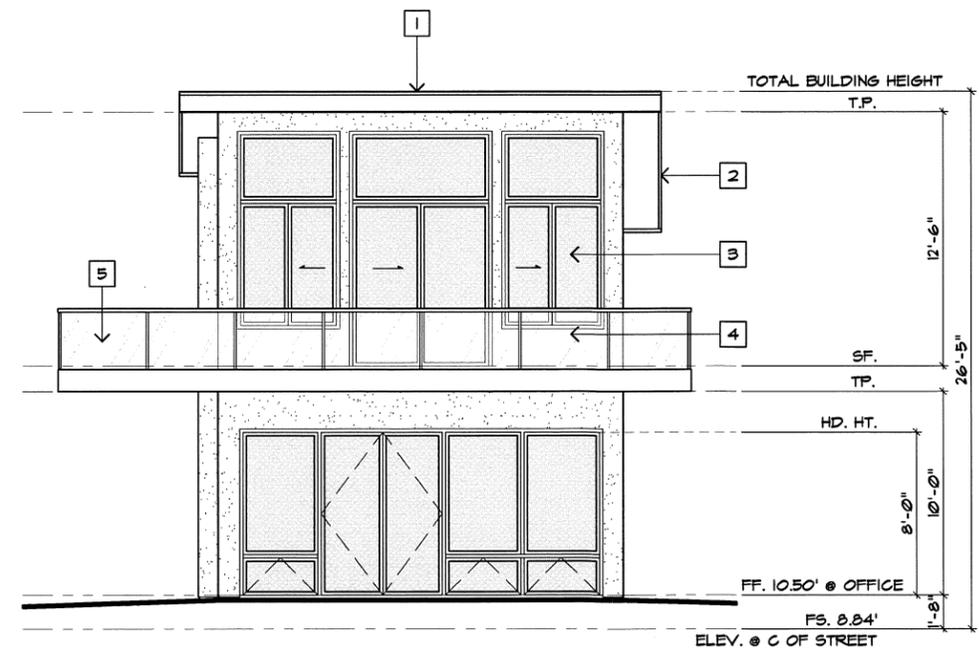
FRONT ELEVATION

SCALE 1/4"=1'-0"



LEFT SIDE ELEVATION

SCALE 1/4"=1'-0"



REAR ELEVATION

SCALE 1/4"=1'-0"



OWNER: MEDHAT ROFAEL
 16531 CAROLINE LANE
 HUNTINGTON BEACH, CA 92649
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LOT COVERAGE PLAN

16 MAY 2016

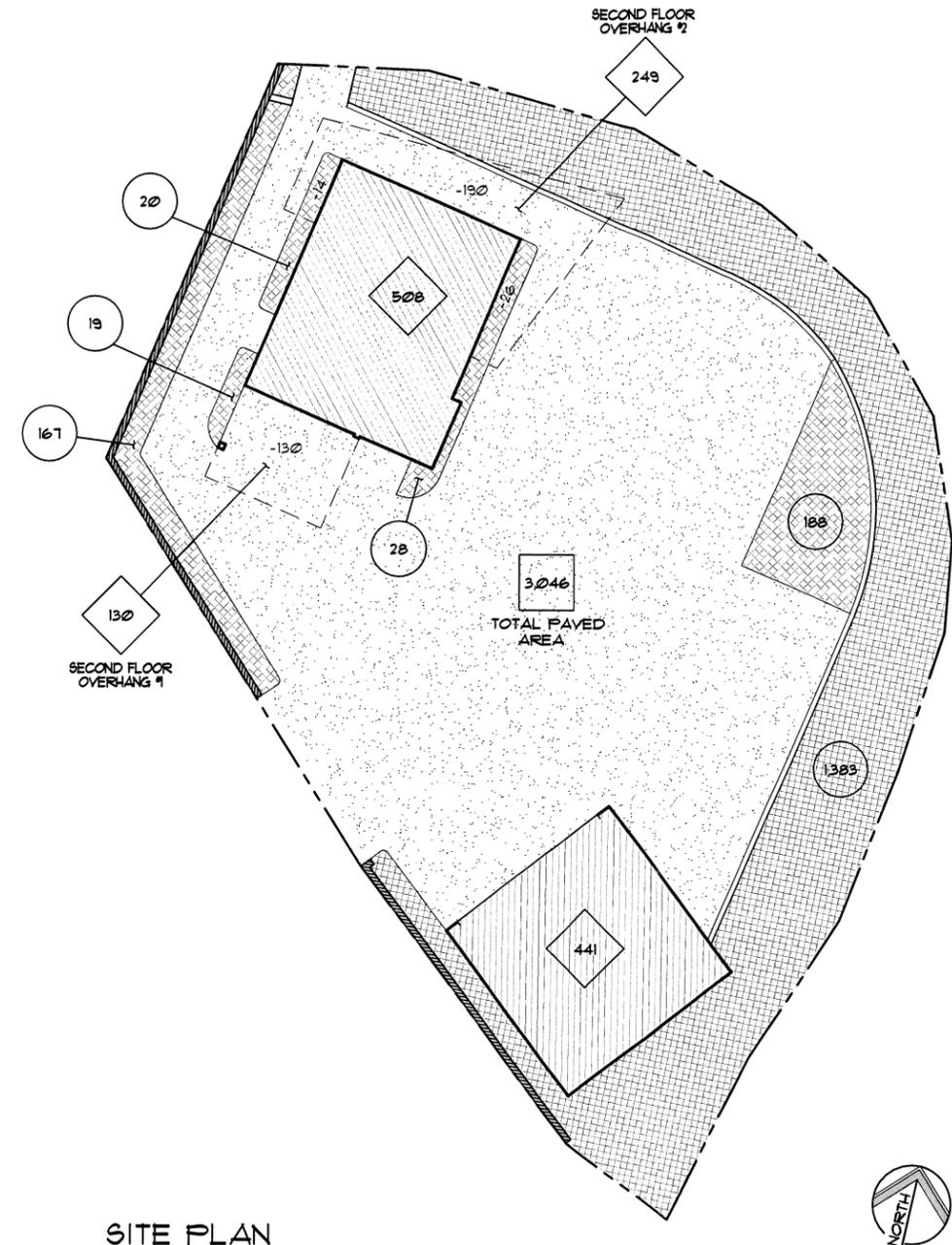
PACIFIC COAST ARCHITECTS



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PARK MARINA



SITE PLAN

SCALE: 1/8" = 1'-0"

◆ LOT COVERAGE AREA:

MARINE OFFICE BUILDING FOOTPRINT	508 S.F.
DETACHED GARAGE FOOTPRINT	441 S.F.
2nd. FLOOR OH #1	130 S.F.
2nd. FLOOR OH #2	249 S.F.
TOTAL LOT COVERAGE	1328 S.F.

○ LANDSCAPE AREA:

TOTAL LANDSCAPE AREA (PVIOUS)	1835 S.F.
2ND FLOOR OH #2	-30 S.F.
LANDSCAPE AREA	1805 S.F.

□ HARDSCAPE AREA:

TOTAL PAVED AREA (IMPERVIOUS)	3366 S.F.
2ND FLOOR OH #1	-130 S.F.
2ND FLOOR OH #2	-190 S.F.
HARDSCAPE AREA	3046 S.F.

(1,328 + 1,805 + 3,046 = 6,179 : TOTAL LOT AREA)

LEGEND:

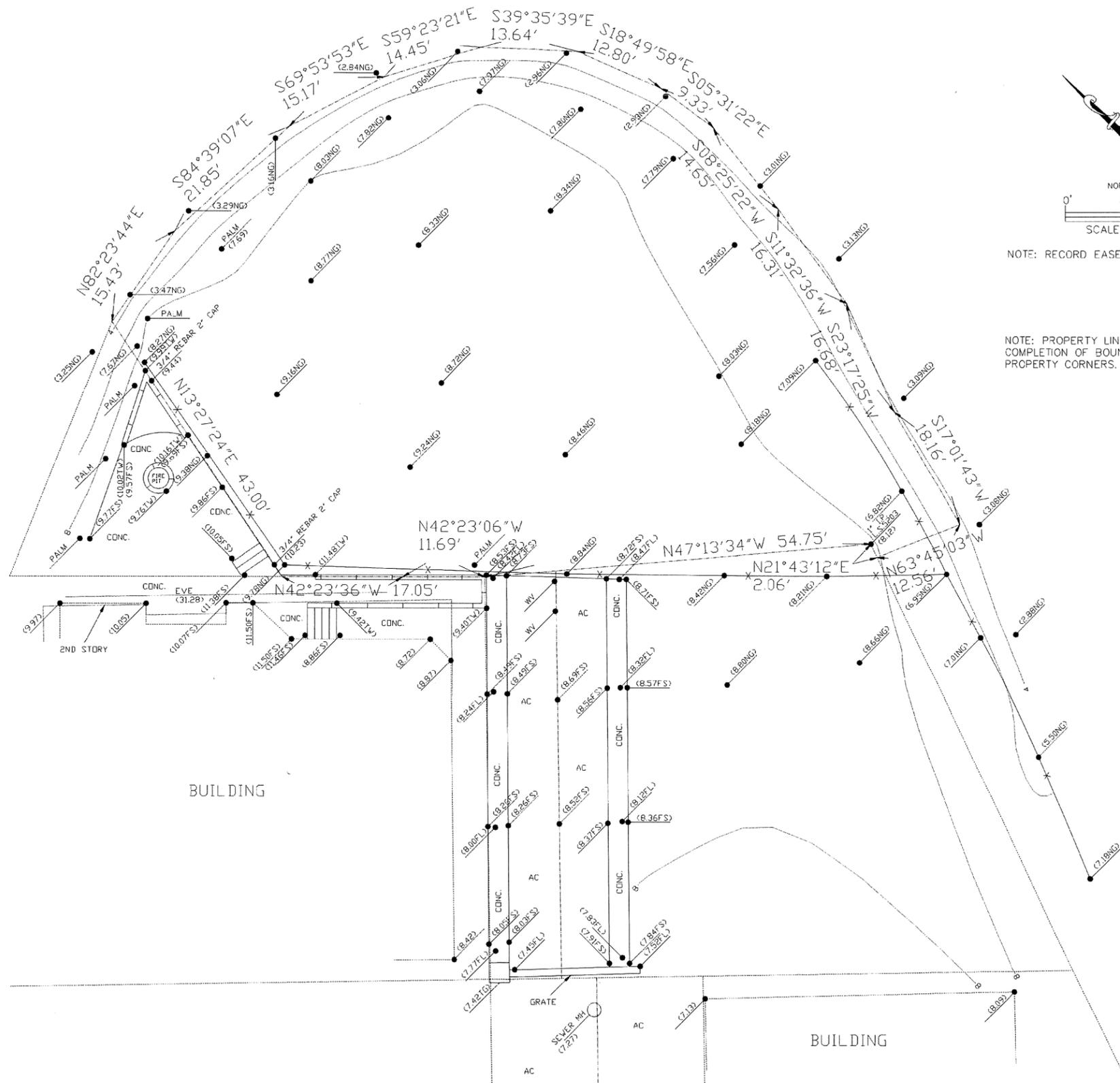
- = HARDSCAPE AREA
- = LANDSCAPE AREA
- = PROPOSED STRUCTURE

LOT COVERAGE: (TOTAL LOT AREA = 6,179 S.F.)

□ HARDSCAPE AREA	(49.3%) 3,046 S.F.
○ LANDSCAPE AREA	(29.2%) 1,805 S.F.
◆ LOT COVERAGE AREA*	1328 / 6,179 (21.5%) 1,328 S.F.

(1,328 + 1,805 + 3,046 = 6,179 : TOTAL LOT AREA)

* LOT COVERAGE CALCULATION INCLUDES PROJECTIONS ON THE SECOND FLOOR AND SECOND FLOOR BALCONY



NORTH

0' 8' 16'

SCALE: 1"=8'

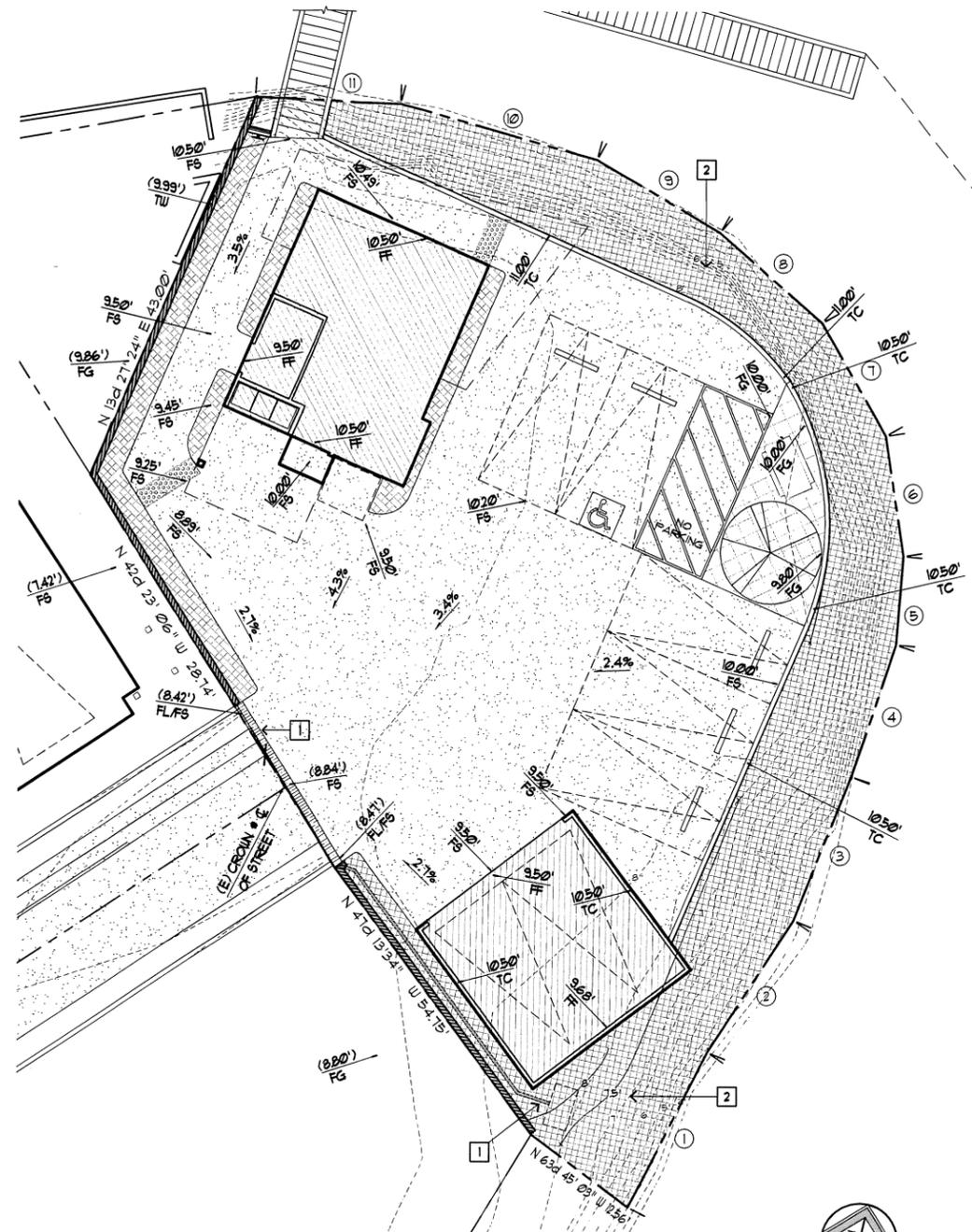
NOTE: RECORD EASEMENTS ARE NOT PLOTTED IF ANY.

NOTE: PROPERTY LINES ARE SUBJECT TO CHANGE AFTER COMPLETION OF BOUNDARY SURVEY AND SETTING PROPERTY CORNERS.

LEGEND	
	DESCRIPTION
(123.45)	MEAS. ELEVATIONS
()	REC. BRG. & DIST.
#	BR CK
—	WALL
—	BUILDING
—	LOT LINE
WM	WATER METER
F.F.	FINISH FLOOR
G.F.	GARAGE FLOOR
CONC.	CONCRETE
F.S.	FINISH SURFACE
M.H.	MAN-HOLE
A.C.	ASPHALT
T.G.	TOP-GRATE

RdM SURVEYING INC. RON MIEDEMA L.S. 4653 23016 LAKE FOREST DR. #409 LAGUNA HILLS, CA 92653 (949) 858-2924 OFFICE (949) 858-3438 FAX RDMSURVEYING@COX.NET	TOPOGRAPHIC SURVEY JOB: DATA COLLECTOR DATE: 8/15/14	PREPARED FOR: PCA	LEGAL DESCRIPTION: PARCEL 2 OF INST. 1990478756 TOGETHER WITH A PORTION OF LOT B, TRACT NO. 8040	BENCH MARK: COUNTY OF ORANGE BENCH MARK G 976, ELEVATION = 10.26 NAVD 88 DATUM	ADDRESS OF PROJECT: 16926 PARK AVE. HUNTINGTON BEACH, CA
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C-1



SITE GRADING & DRAINAGE PLAN

SCALE: 1/8"=1'-0"



LEGEND:

- PROPOSED 8" CMU WALL, 6'-0" TALL
- HARDSCAPE AREA
- LANDSCAPE AREA
- PROPOSED STRUCTURE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- (71.10) EXISTING SPOT ELEVATION
- 71.10 PROPOSED SPOT ELEVATION
- TU TOP OF WALL
- TC TOP OF CURB
- TS TOP OF CONC. SLAB
- FF FINISH FLOOR
- FG FINISH GRADE
- FS FINISH SURFACE
- DS DOWNSPOUT
- INL INLET ELEVATION
- INV INVERT ELEVATION
- (N)4" SCHED 40ABS DRAINLINE
- (N)6" FLUSH DRAIN INLET
- (N)6" DOME TOP ABS DRAIN INLET
- (N)CLEAN-OUT
- FLOW LINE ARROW
- FL FLOW LINE
- HI-PT HIGH POINT
- TRUNCATED DOME SURFACE FOR ADA COMPLIANCE

DRAINAGE NOTES:

1. PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.
2. OWNER WILL MAINTAIN DRAINAGE DEVICES AND KEEP FREE OF DEBRIS.

MISC. NOTES:

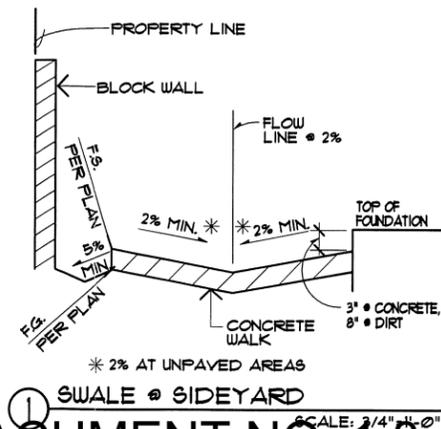
1. SLOPE CRITERIA FOR PAVED SURFACES SHALL BE 2% MINIMUM, (1/16"/FT.)
2. SLOPE CRITERIA FOR UNPAVED SURFACES SHALL BE 5% MINIMUM.
3. MINIMUM SLOPE AWAY FROM BUILDING PAD SHALL BE 5% FOR FIRST 5'-0", 5% THEREAFTER AT UNPAVED SURFACES, 2% FOR FIRST 5'-0" FEET, 2% THEREAFTER FOR PAVED SURFACES.
4. MINIMUM SLOPE FOR SUBSURFACE DRAINLINES SHALL BE 0.5%.
5. SUBSURFACE DRAINLINES SHALL HAVE MINIMUM 6" COVERAGE U.N.O.
6. FOR ADJACENT GRADES ON ADJACENT PROPERTIES, REFER TO TOPOGRAPHIC SURVEY, SHT. C-1.

PL LEGEND:

- ① S 17d 01' 43" W 18.16'
- ② S 23d 17' 25" W 16.68'
- ③ S 11d 32' 36" W 16.31'
- ④ S 08d 25' 22" W 14.65'
- ⑤ S 05d 31' 22" E 9.33'
- ⑥ S 18d 49' 58" E 12.80'
- ⑦ S 33d 35' 39" E 13.64'
- ⑧ S 59d 23' 21" E 14.45'
- ⑨ S 69d 53' 53" E 14.50'
- ⑩ S 84d 39' 07" E 21.85'
- ⑪ N 82d 23' 44" E 15.43'

SITE GRADING & DRAINAGE PLAN NOTES:

1. (N) 12" TRENCH DRAIN W/ TRAFFIC RATED GRATES, DRAIN TO BAY WITH SUBSURFACE DRAINAGE AND AN APPROVED FILTER BOX.
2. MEAN HIGH TIDE LINE USED = 71.0' W/ NO IMPROVEMENTS OCEANWARD OF THE MEAN HIGH TIDE LINE.



ATTACHMENT NO. 1.8



OWNER: MEDHAT BOFAIE
14551 CAROLISEL LANE
HUNTINGTON BEACH, CA 92648
(714) 351-0747

**PRELIMINARY
SITE GRADING & DRAINAGE PLAN**

16 MAY 2016

PACIFIC COAST ARCHITECTS



2800 NEWPORT BLVD. SUITE 114
NEWPORT BEACH, CA 92663
(949) 675-9408
FAX 675-8234

PARK MARINA

G-1

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