

# City of Huntington Beach

2000 MAIN STREET

CALIFORNIA 92648

## DEPARTMENT OF PLANNING AND BUILDING

[www.huntingtonbeachca.gov](http://www.huntingtonbeachca.gov)

Planning Division

714.536.5271

Building Division

714.536.5241

### NOTICE OF ACTION

March 6, 2012

Coast Sign Incorporated  
Theresa Heitkamp  
1500 W. Embassy Street  
Anaheim, Ca 92802

**SUBJECT:** PLANNED SIGN PROGRAM NO. 12-002 (CVS PHARMACY PLANNED SIGN PROGRAM)

**APPLICANT:** Coast Sign Incorporated – c/o Theresa Heitkamp

**REQUEST:** To establish a planned sign program for a commercial retail building.

**PROPERTY OWNER:** Garfield Beach CVS, LLC, 18818 Teller Avenue, Suite No. 100, Irvine, CA 92612

**LOCATION:** 16961 Beach Boulevard, 92647 (northwest corner of Beach Boulevard and Warner Avenue)

**DATE OF ACTION:** March 6, 2012

On March 6, 2012, the Planning and Building Department of the City of Huntington Beach took action on your request and **approved** your request with conditions. Attached to this letter are the conditions of approval for your application.

Please be advised that the Department of Planning and Building reviews the conceptual plan as a basic request for entitlement of the use applied for and there may be additional requirements prior to issuance of building permits. It is recommended that you immediately pursue completion of the conditions of approval and address all requirements of the Huntington Beach Zoning and Subdivision Ordinance in order to expedite the processing/completion of your project. The conceptual plan should not be construed as a precise plan, reflecting conformance to all Zoning and Subdivision Ordinance requirements.

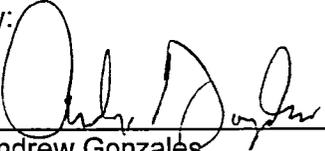
Under the provisions of the Huntington Beach Zoning and Subdivision Ordinance, the action taken by the Department of Planning and Building is final unless an appeal is filed to the Planning Commission by you or by an interested party. A person desiring to appeal the decision shall file a written notice of appeal to the Director of Planning and Building within ten calendar days of the date of the Planning and Building Department's action. The notice of appeal shall include the name and address of the appellant, the decision being appealed, and the grounds for the appeal. A filing fee of Four Hundred Ninety-Four dollars (\$494) shall also accompany the notice of appeal. Said appeal must be in writing and must set forth in detail the action and grounds by which the applicant or interested party deems himself aggrieved. The last day for filing an appeal and paying the filing fee for the above noted application is **Friday, March 16, 2012, at 5:00 p.m.**

If you have any questions, please contact Andrew Gonzales, Associate Planner at (714) 374-1547 ([AGonzales@Surfcity-hb.org](mailto:AGonzales@Surfcity-hb.org)) or the Planning and Building Department Zoning Information Counter at (714) 536-5271.

Sincerely,

Scott Hess, AICP  
Director of Planning and Building

by:



Andrew Gonzales  
Associate Planner

Attachments: Conditions of Approval – Planned Sign Program No. 12-002

Cc: Herb Fauland, Planning Manager  
Garfield Beach CVS, LLC, Property Owner  
Project File

**ATTACHMENT NO. 1**

**PLANNED SIGN PROGRAM NO. 12-002**

**CONDITIONS OF APPROVAL – PLANNED SIGN PROGRAM NO. 12-002:**

1. The site plan, elevations, and signage details dated February 14, 2012, and the Planned Sign Program requirements dated March 6, 2012, shall be the conceptually approved layout with the following modifications:
  - a. On page 6 of the Planned Sign Program, “Total Sign Area” specification item no. 1 shall note that only one side of the building facing the street or parking area is to be used to determine the maximum sign area.
  - b. The site address located on the base of the monument sign shall be located at a minimum height of 2 ft. above the adjacent grade.
  - c. The total area of all onsite signs shall not exceed a maximum area of 219 sq. ft.
2. Prior to the installation of any new signs, a copy of the review Planned Sign Program modified in accordance with Conditional of Approval No. 1 shall be submitted to the Planning and Building Department for review and inclusion in the entitlement file.
3. Planned Sign Program No. 12-002 shall become null and void unless exercised within two year of the date of final approval, which is March 7, 2014, or such extension of time as may be granted by the Director pursuant to a written request submitted to the Planning and Building Department a minimum 30 days prior to the expiration date.

**INDEMNIFICATION AND HOLD HARMLESS CONDITION:**

The owner of the property which is the subject of this project and the project applicant if different from the property owner, and each of their heirs, successors and assigns, shall defend, indemnify and hold harmless the City of Huntington Beach and its agents, officers, and employees from any claim, action or proceedings, liability cost, including attorney’s fees and costs against the City or its agents, officers, or employees, to attack, set aside, void or annul any approval of the City, including but not limited to any approval granted by the City Council, Planning Commission, or Design Review Board concerning this project. The City shall promptly notify the applicant of any claim, action or proceeding and should cooperate fully in defense thereof.



RECEIVED  
MAR 08 2012  
Dept. of Planning  
& Building

## MASTER SIGN PROGRAM

16961 Beach Blvd.

HUNTINGTON BEACH, CA

MARCH 5, 2012



**COAST SIGN**  
INCORPORATED  
1500 West Embassy St. Anaheim, CA 92802  
(714) 520-9144 FAX: (714) 520-5847



## PROJECT DIRECTORY

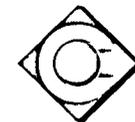
**LANDLORD:** KZ DevCo, LP  
18818 Teller Avenue  
Irvine, CA 92612  
Tel: (949) 476-2700  
Fax: (949) 476-2777

**CONSULTANT:** Coast Sign, Inc.  
1500 W. Embassy St.  
Anaheim, CA 92802  
Tel (714) 520-9144  
Fax (714) 520-5847  
Attn: Theresa Heitkamp



## TABLE OF CONTENTS

TITLE	1
PROJECT DIRECTORY	2
SUBMITTALS & APPROVALS	3
CONSTRUCTION REQUIREMENTS	4
SIGNAGE SPECIFICATIONS	6
PROHIBITED SIGNS	7
INSPECTION & MAINTENANCE	8
CROSS SECTIONS	9
ATTACHMENT DETAILS	10
SITE PLAN	11
CVS ELEVATIONS	12
CVS BUILDING SIGNAGE	14
CVS FREESTANDING SIGNAGE	16

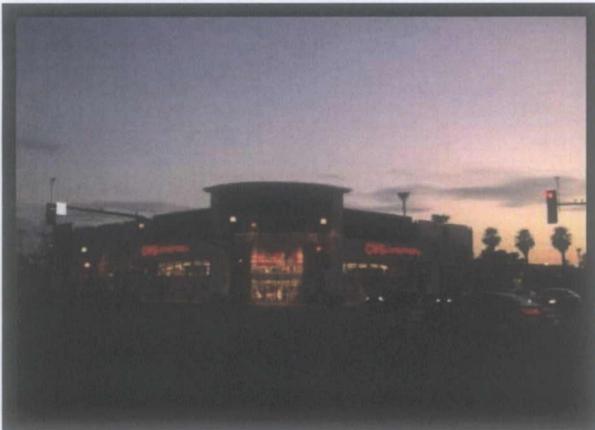


**COAST SIGN**  
INCORPORATED  
1500 West Embassy St. Anaheim, CA 92802  
(714) 520-9144 FAX: (714) 520-5847

## **(A)** INTRODUCTION

The intent of this sign criteria is to provide the guidelines necessary to achieve a visually coordinated, balanced and appealing sign environment, harmonious with the architecture of the project, while maintaining provisions for individual graphic expression.

Performance of this sign criteria shall be rigorously enforced and any nonconforming sign shall be removed by the tenant or his sign contractor at their expense, upon demand by the Landlord.



## **(B)** LANDLORD/TENANT REQUIREMENTS

1. Tenant shall submit to Landlord for written approval, two (2) copies of the detailed shop drawings of this proposed sign, indicating conformance with the sign criteria herein outlined.
2. The Landlord shall determine and approve the availability and position of a Tenant name on any ground sign(s).
3. The Tenant shall pay for all signs, related materials and installation fees (including final inspection costs).
4. The Tenant shall obtain all necessary permits.
5. The Tenant shall be responsible for fulfillment of all requirements of this sign criteria.
6. It is the responsibility of the Tenant's sign company to verify all conduit and transformer locations and service access prior to fabrication.
7. Should a sign be removed, it is the Tenant's responsibility to patch all holes, paint surface to match the existing color, and restore surface to original condition.



© GENERAL SIGN CONSTRUCTION REQUIREMENTS:

1. All signs and their installation shall comply with all local building and electrical codes.

2. All electrical signs will be fabricated by a U.L. approved sign company, according to U.L. specifications and bear U.L. Label.

3. Sign company to be fully licensed with the city of Huntington Beach and State of California and shall have full Workman's Compensation and liability insurance.

4. All penetrations of building exterior surfaces are to be sealed waterproof in color and finish to match existing exterior.

5. Painted surfaces to have a satin finish. Only paint containing acrylic polyurethane products may be used.

6. Logo and letter heights shall be as specified and shall be determined by measuring the normal capital letter of a type font exclusive of swashes, ascenders, and descenders.

7. All sign fabrication work shall be of excellent quality. All logo images and type-styles shall be accurately reproduced. Lettering that approximates type-styles will not be acceptable. The Landlord reserves the right to reject any fabrication work deemed to be below standard.

8. All lighting must match the exact specification of the approved working drawings. No exposed conduits or raceways will be allowed.

© GENERAL SIGN CONSTRUCTION REQUIREMENTS(CONTINUED):

9. Signs must be made of durable rust –inhibiting materials that are appropriate and complimentary to the building.

10. Color coatings shall exactly match the colors specified on the approved plans.

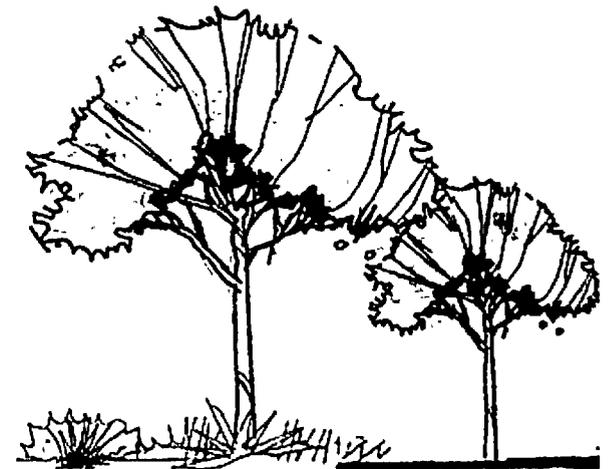
11. Joining of materials (e.g., seams) shall be finished in way as to be unnoticeable. Visible welds shall be continuous and ground smooth. Rivets, screws, and other fasteners that extend to visible surfaces shall be flush, filled, and finished so as to be unnoticeable.

12. Finished surfaces of metal shall be free from oil canning and warping. All sign finishes shall be free from dust, orange peel, drips, and runs and shall have a uniform surface conforming to the highest standards of the industry.

13. In no case shall any manufacturer's label be visible from the street from normal viewing angles.

14. Exposed raceways are not permitted.

15. Exposed junction boxes, lamps, tubing or neon crossovers of any type are not permitted.



## ⓓ TENANT SIGNAGE SPECIFICATIONS:

### TOTAL SIGN AREA

1. For each establishment, one and one-half square feet of total sign area shall be allowed for each lineal foot building frontage.
- Freestanding signs shall have a maximum of thirty-two square feet of sign area.

### WALL/CANOPY SIGNS

1. Wall signs shall only be permitted for non-residential uses with a dedicated ground floor entrance.
2. One canopy or wall sign may be located on elevations with street frontages.
3. Wall signs may be located on both sides of the architectural blade/tower sign facing East and West.
4. One wall sign may be located on elevation facing parking lot.
5. The maximum letter height for above canopy signs is 24”.

### MONUMENT/GROUND SIGNS

1. Monument signs shall only be permitted for non-residential uses with a dedicated ground floor entrance.
2. A maximum of one per arterial street frontage on parcels with less than 400 feet of arterial street frontage.
3. For corner lots with the greatest street frontage less than 400 feet, one monument sign per street frontage is allowed.
4. The overall height of the monument sign may not exceed 6 ft. height limit.



## Ⓔ PROHIBITED SIGNS:

### 1. Signs constituting a Traffic Hazard:

No person shall install or maintain, or cause to be installed or maintained, any sign which simulates or imitates in size, color, lettering or design any traffic sign or signal, or which makes use of the words "STOP", "LOOK", "DANGER" or any words, phrases, symbols, or characters in such a manner as to interfere with, mislead or confuse traffic.

### 2. Signs in Proximity to Utility Lines:

Signs which have less horizontal or vertical clearance from authorized communication or energized electrical power lines that are prescribed by the laws of the State of California are prohibited.

3. Signs painted directly on a building surface will not be permitted.

4. There shall be no signs that are flashing, moving or audible.

### 5. Vehicle Signs:

Signs on or affixed to trucks, automobiles, trailers, or other vehicles which are use for advertising, identity, or provide direction to a specific use or activity not related to its lawful activity are prohibited. ( i.e. Delivery trucks with tenant signage is permitted.)

### 6. Light Bulb Strings:

External displays, other than temporary decorative holiday lighting which consists of unshielded light bulbs are prohibited. An exception may be granted by the Landlord when the display is an integral part of the design character of the activity to which it relates.

### 7. Banners, Pennants & Balloons Used for Advertising Purposes:

Temporary flags, banners, or pennants, or a combination of same constituting an architectural feature which is an integral part of the design character of a project may be permitted subject to Municipal Code requirements, Landlord's, and City approval.

8. Billboard Signs are not permitted.

9. The use of permanent "sale" signs are prohibited. The temporary use of these signs are limited to a thirty-day period and is restricted to signs affixed to the interior of windows which do not occupy more that 20% of the window area. Each business is permitted a total of not more than ninety (90) days of temporary window sale signs per calendar year.

10. All signs listed as "Prohibited Signs" in Chapter 233.10 of the city's zoning ordinance.



ⓕ ABANDONMENT OF SIGNS:

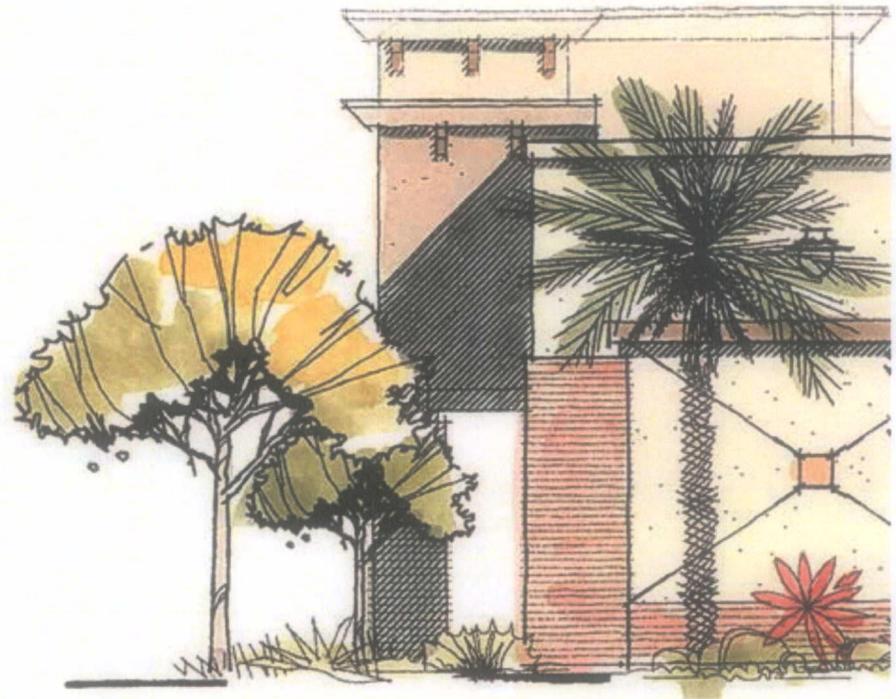
Any tenant sign left after thirty (30) days from vacating premises shall become the property of Landlord.

ⓖ INSPECTION:

Landlord reserves the right to hire an independent electrical engineer at the Tenant's sole expense to inspect the installation of all Tenant's signs and to require the Tenant to have any discrepancies and/or code violations corrected at the Tenant's expense.

ⓗ MAINTENANCE:

It is the Tenant's responsibility to maintain their signs in proper working and clean conditions at all times. Otherwise, landlord reserves the right to hire his own contractor, make the necessary corrections, and bill tenant should it be deemed necessary.



# CROSS SECTIONS

⊙ **Section A**  
**LEXAN FACED**  
**THROUGH FACE ILLUMINATION**

Use standard aluminum construction with Matthews (Or equivalent) satin acrylic polyurethane finish.  
Faces are translucent Lexan with trim cap  
Illuminate with 30 ma neon, fluorescent tubes or LED lighting.  
Paint returns any color.

⊙ **Section B**  
**REVERSE PAN CHANNEL**  
**HALO ILLUMINATION.**

Use standard aluminum construction with Matthews (or equivalent ) satin acrylic polyurethane finish.  
Illuminate with 30 ma neon, fluorescent tubes or LED lighting  
Paint faces and returns any color.

⊙ **Section C**  
**LEXAN FACED CHANNEL**  
**THROUGH FACE AND HALO**  
**ILLUMINATION.**

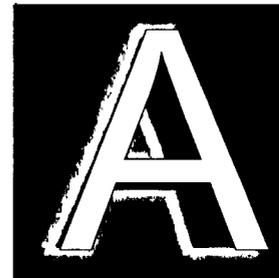
Use standard aluminum construction with Matthews (or equivalent ) satin acrylic polyurethane finish.  
Faces are Lexan with trim cap.  
Illuminate with 30 ma neon, fluorescent tubes or LED lighting..  
Paint returns any color.

⊙ **Section D**  
**ALUMINUM FACED CHANNEL**  
**THROUGH FACE AND HALO**  
**ILLUMINATION.**

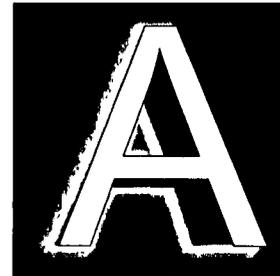
Use standard aluminum construction with Matthews (or equivalent ) satin acrylic polyurethane finish.  
Route out aluminum faces where graphics occur and back up or push through lexan graphics.  
Illuminate with 30 ma neon, fluorescent tubes or LED lighting.  
Paint face and returns any color.



Section A



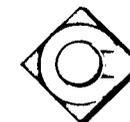
Section C



Section B

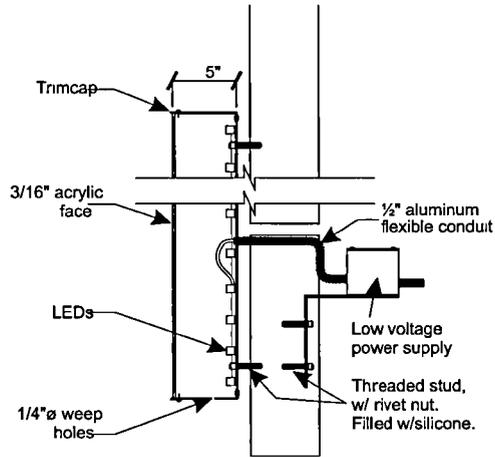


Section D

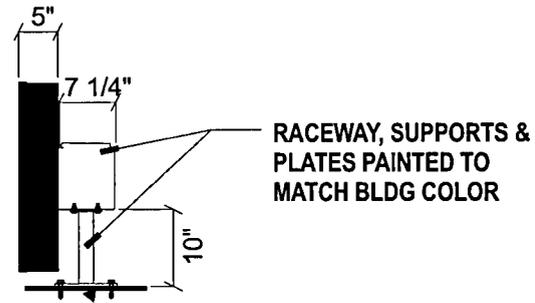


**COAST SIGN**  
INCORPORATED  
1500 West Embassy St. Anaheim, CA 92802  
(714) 520-9144 FAX: (714) 520-5847

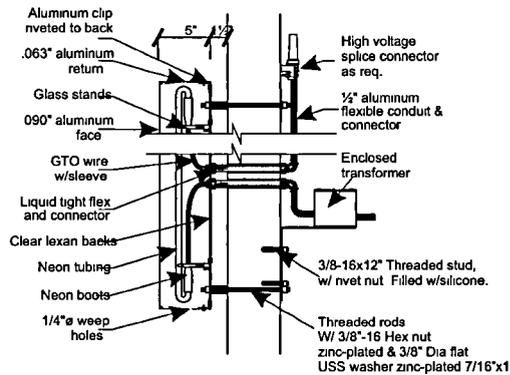
# ATTACHMENT DETAILS



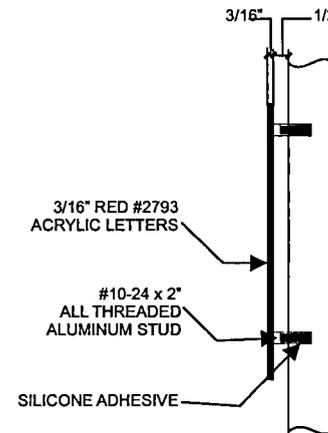
**VERTICAL SECTION @ ILLUMINATED CHANNEL LETTERS - LED ILLUM.**



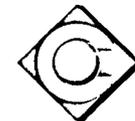
**VERTICAL SECTION @ ILLUMINATED CHANNEL LETTERS - LED ILLUM. ON CANOPY**



**VERTICAL SECTION @ HALO LIT REVERSE CHANNEL LETTERS**  
NTS

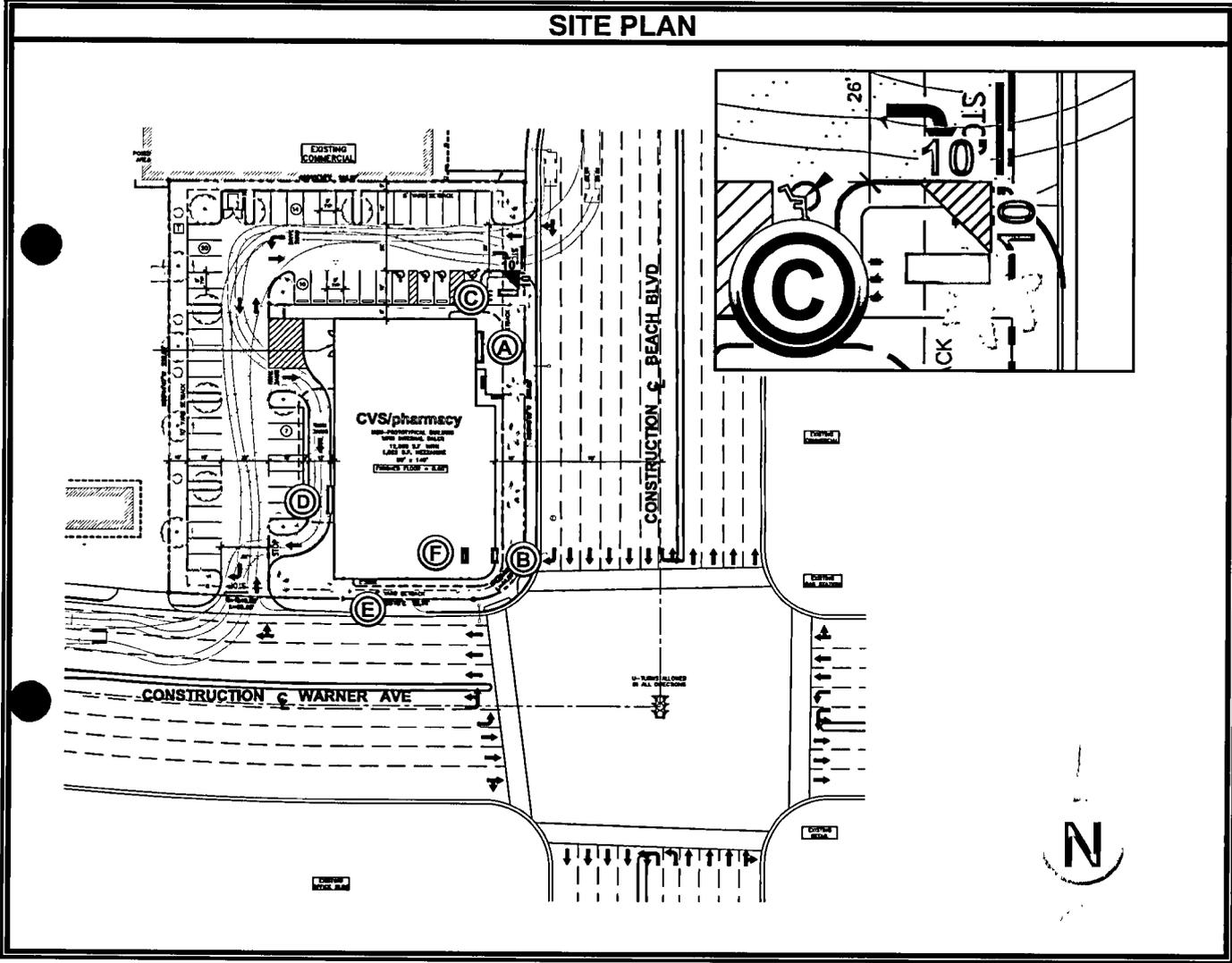


**VERTICAL SECTION @ FCO LETTERS**  
Scale: NTS



**COAST SIGN**  
INCORPORATED  
1500 West Embassy St. Anaheim, CA 92802  
(714) 520-9144 FAX: (714) 520-5847

# SITE PLAN



SIGNAGE SPECIFICATIONS	
(A)	ILLUMINATED CHANNEL LETTERS
(B)	ILLUMINATED CHANNEL LETTERS
(C)	ILLUMINATED MONUMENT
(D)	ILLUMINATED CHANNEL LETTERS
(E)	ILLUMINATED CHANNEL LETTERS
(F)	ILLUMINATED CHANNEL LETTERS



**COAST SIGN**  
 INCORPORATED  
 1500 West Embassy St. Anaheim, CA 92802  
 (714) 520-9144 FAX: (714) 520-5847

# CVS PHARMACY ELEVATIONS

SIZE: 1.5 SQUARE FOOT OF SIGN AREA PER LINEAR OF BUSINESS FRONTAGE.  
 QUANTITY: ONE ABOVE-CANOPY SIGN PER STREET FRONTAGE. ONE WALL SIGN PER ELEVATION ORIENTED TOWARDS STREET OR PARKING LOT.  
 COPY: TENANT NAME AND / OR LOGO  
 TYPEFACE: CUSTOM LOGO AND TYPE OK  
 COLORS: CUSTOM COLORS OK  
 ILLUMINATION: YES



Aluminum supports to match building color, mounted on 8" x 4" steel tubing.

## SOUTH ELEVATION

Scale: 1/16"=1'-0"



Aluminum supports to match building

## EAST ELEVATION

Scale: 1/16"=1'-0"



**COAST SIGN**  
 INCORPORATED  
 1500 West Embassy St. Anaheim, CA 92802  
 (714) 520-9144 FAX: (714) 520-5847

# CVS PHARMACY ELEVATIONS

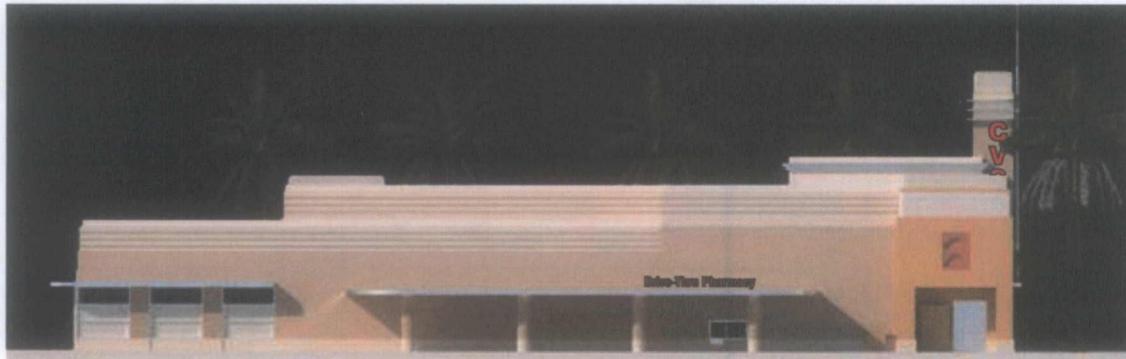


**NORTH ELEVATION**

Scale: 1/16"=1'-0"

(D)

(F)



**WEST ELEVATION**

Scale: 1/16"=1'-0"

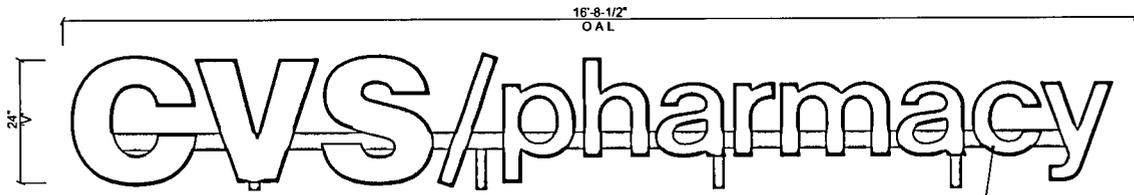


**COAST SIGN**

INCORPORATED

1500 West Embassy St. Anaheim, CA 92802  
(714) 520-9144 FAX: (714) 520-5847

# CVS PHARMACY WALL SIGNAGE



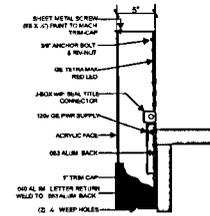
(A)(E)

33 41 SQ FT

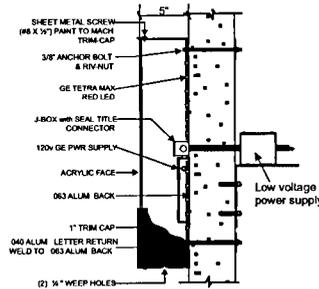
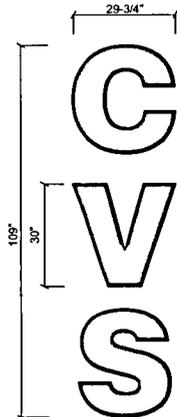
to match building color, mounted on 8" x 4" steel tubing

**Specifications:**

- Manufacture & install (1) set CVS/Pharmacy internally illuminated, self-contained channel letters
- 1" bronze jewelite trimcap
- 0 040" X 8" alum coil painted dark bronze returns
- 0 063 pre-paint white aluminum back
- 3/16" red acrylic #2793 face



VERTICAL SECTION @ CHANNEL LETTERS  
Scale: NTS



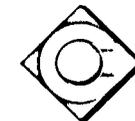
VERTICAL SECTION @ CHANNEL LETTERS  
Scale: NTS

(B)(F)

22 51 SQ FT

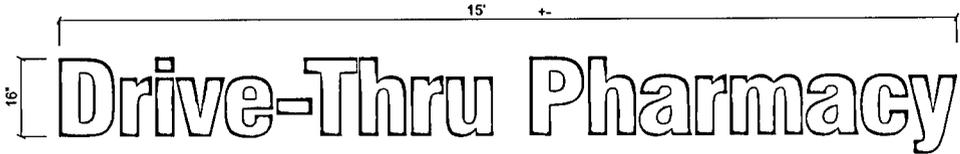
**Specifications:**

- Manufacture & install (1) set CVS/Pharmacy internally illuminated, self-contained channel letters.
- 1" bronze jewelite trimcap
- 0 040" X 8" alum coil painted dark bronze returns
- 0 063 pre-paint white aluminum back.
- 3/16" red acrylic #2793 face



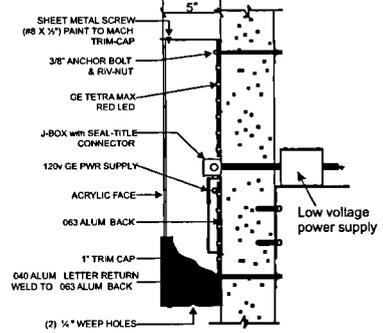
**COAST SIGN**  
INCORPORATED  
1500 West Embassy St. Anaheim, CA 92802  
(714) 520-9144 FAX: (714) 520-5847

# CVS PHARMACY WALL SIGNAGE



**FRONT VIEW @ ILLUMINATED CHANNEL LETTERS**  
 Scale 3/4"=1'-0" 20 SQ. FT.

- TRIMCAP SPEC 1" BRONZE JEWELITE TRIM CAP
- RETURN SPEC 0 040" X 5 3" ALUM. COIL PAINTED DARK BRONZE.
- BACK SPEC 0 063 PRE-PAINT WHITE ALUMINUM
- FACE SPEC. 3/16" RED ACRYLIC # 2793



**VERTICAL SECTION @ CHANNEL LETTERS**  
 Scale NTS



# CVS PHARMACY FREESTANDING SIGNAGE



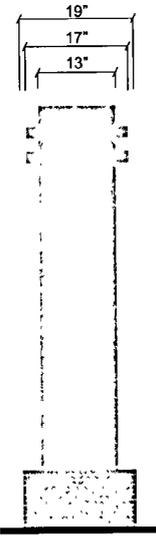
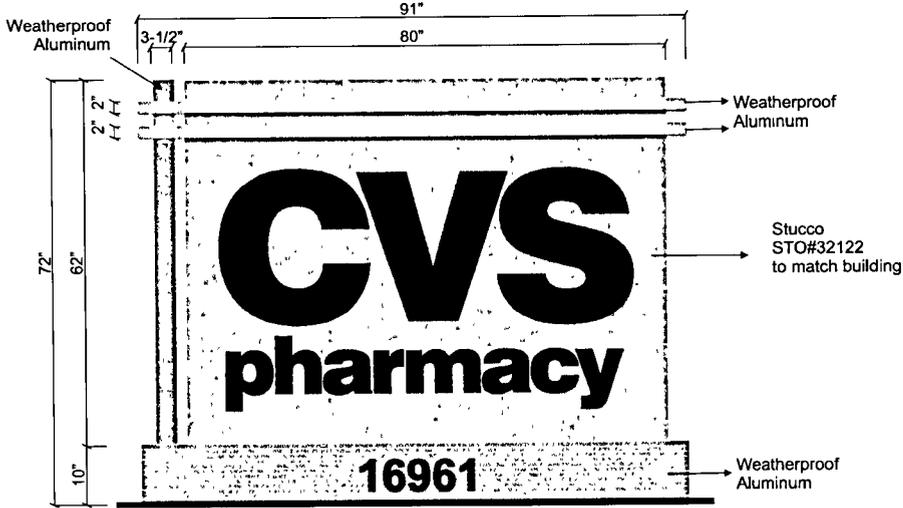
Corner lots with the greatest street frontage less than 400 feet are allowed one monument sign per street frontage.

**ILLUMINATION:** Internal illumination for items of information only.

**FACES:** Routed-out aluminum with push through letters.

**HEIGHT:** Cannot exceed 6' in height and 32 sq. ft. in area.

**COLORS:** Custom Colors OK



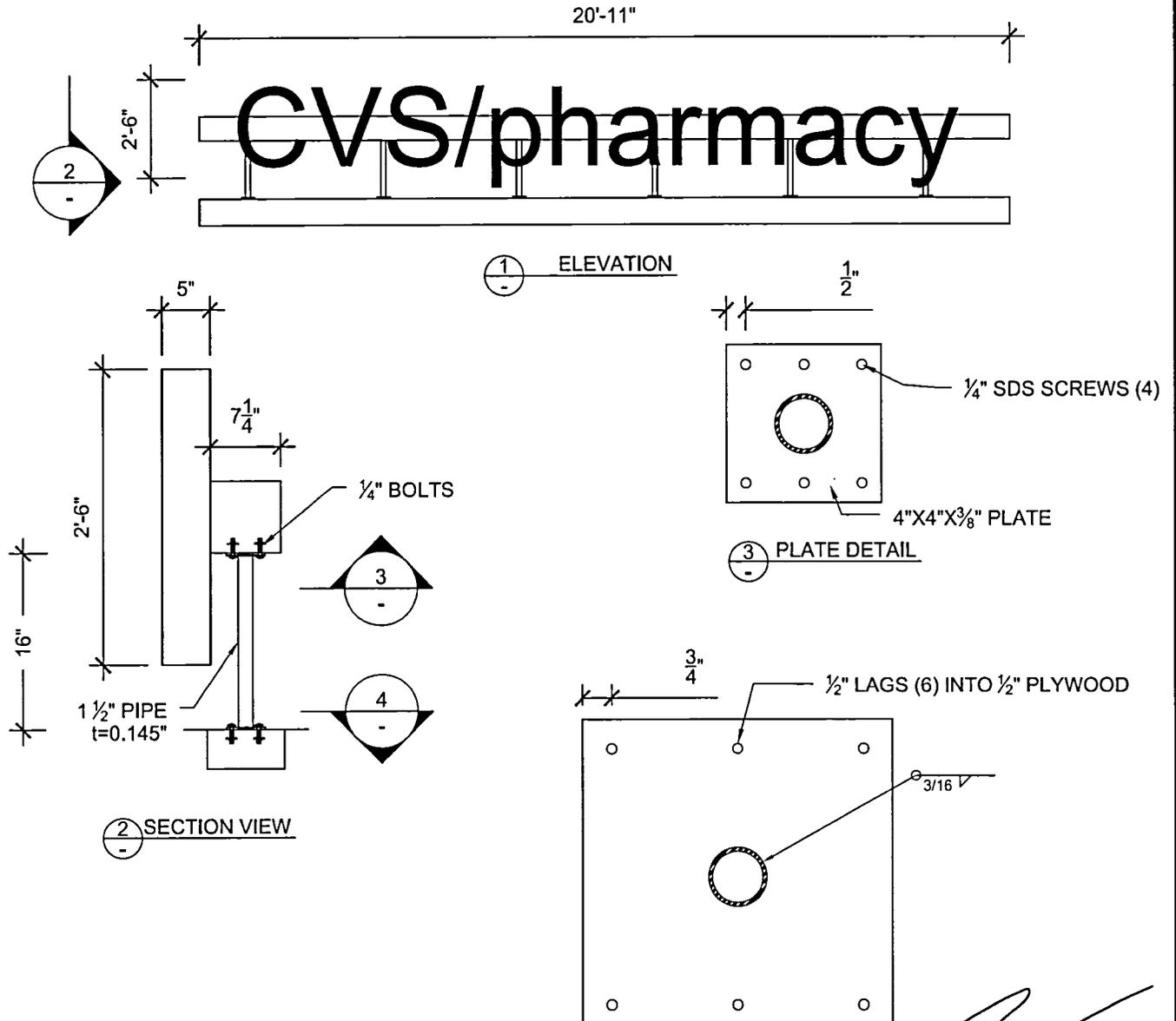
**Specifications:**

Routed out aluminum face with push thru acrylic letters.  
First surface apply vinyl



PROJECT: CVS, WARNER AVE & BEACH BLVD, HUNTINGTON BEACH, CA  
PROJECT #: 1350B  
CLIENT: COAST SIGN INC

DATE: 11-18-11  
ENGINEER: LAG  
PAGES: 1 OF 2



**GENERAL NOTES**

1. DESIGN CODE: CBC 2010
2. DESIGN LOADS: ASCE 7-05
3. WIND VELOCITY 85 MPH EXPOSURE C
4. CONCRETE 2500 PSI MIN.
5. PIPE STEEL ASTM A53 GRADE B
6. ALUMINUM EXTRUSION 6061-T6
7. PROVIDE PROTECTION AGAINST DISSIMILAR METALS
8. BOLT STEEL ASTM A307
9. LAG SCREWS PER NDS STANDARDS
10. SDS SCREWS PER ICC-ESR 2196



PROJECT: CVS  
PROJ. NO.: 1350B  
CLIENT: Coast Sign Inc.

DATE: 11/18/2011  
ENGINEER: LAG  
PAGES: 2 of 2

building code; CBC 2010

units; pounds, feet unless noted otherwise

**Applied Wind Loads; from ASCE 7-05**

$P_{net} = \lambda K_{zt} I P_{net30}$  (ASCE 6.4.2.2)

$\lambda = 1.21$  (ASCE Fig. 6-2)  
 $K_{zt} = 1.0$  (unless unusual landscape)  $I = 1$  for structural category II  
 $V = 85$  mph Exposure = C  
 $Area = 26$  ft<sup>2</sup>  
 $max. height = 13.5$   
 $max P_{net30} = 12.4$  psf  $P_{net} = 15.00$   
 $min P_{net30} = -16.2$  psf  $P_{net} = -19.60$   
 $P_{net} = 10$

For inside attachments use 10 psf min.

**Check tube size (vertical tubes)**

$\phi = 0.9$

Area (per post) 4.3933 ft<sup>2</sup>  
 Wind Load 86 lb  $Mn = (.9) \cdot fy \cdot z = 13$  k-in  
 $M$  (assume 18" stand) 1.55 k-in  $Mn > Mu$  OK  
 $Mu$  2.48 k-in USE 1 1/2" PIPE  
 $fy$  (pipes) 35 ksi  
 $Z$  (1 1/2" pipe) 0.42

**Check plate thickness**

$Tu = Mu/7 = 0.3543$  k-in  $T = 0.22$  k  $Mu = 1.2401$   
 $z$  (3/8" thickness) = 0.0703  $Mn = (.9) \cdot fy \cdot z = 2.3$  k-in  
 $fy$  (plates) 36 ksi  $Mn > Mu$  OK  
 USE 8"X8"X3/8" PLATE

**SDS screws**

Area (per post) 8.75 ft<sup>2</sup> 0.945 kip per side  
 Wind Load 157.5 lb 3 screws per side  
 $M$  (assume 18" stand) 2.835 k-in  
 Arm between screws 3 in **315 lb/screw** USE 1/4" SDS W/.135" MEMBER THICKNESS  
 \*OK TO USE 3/8" IF PREFERRED

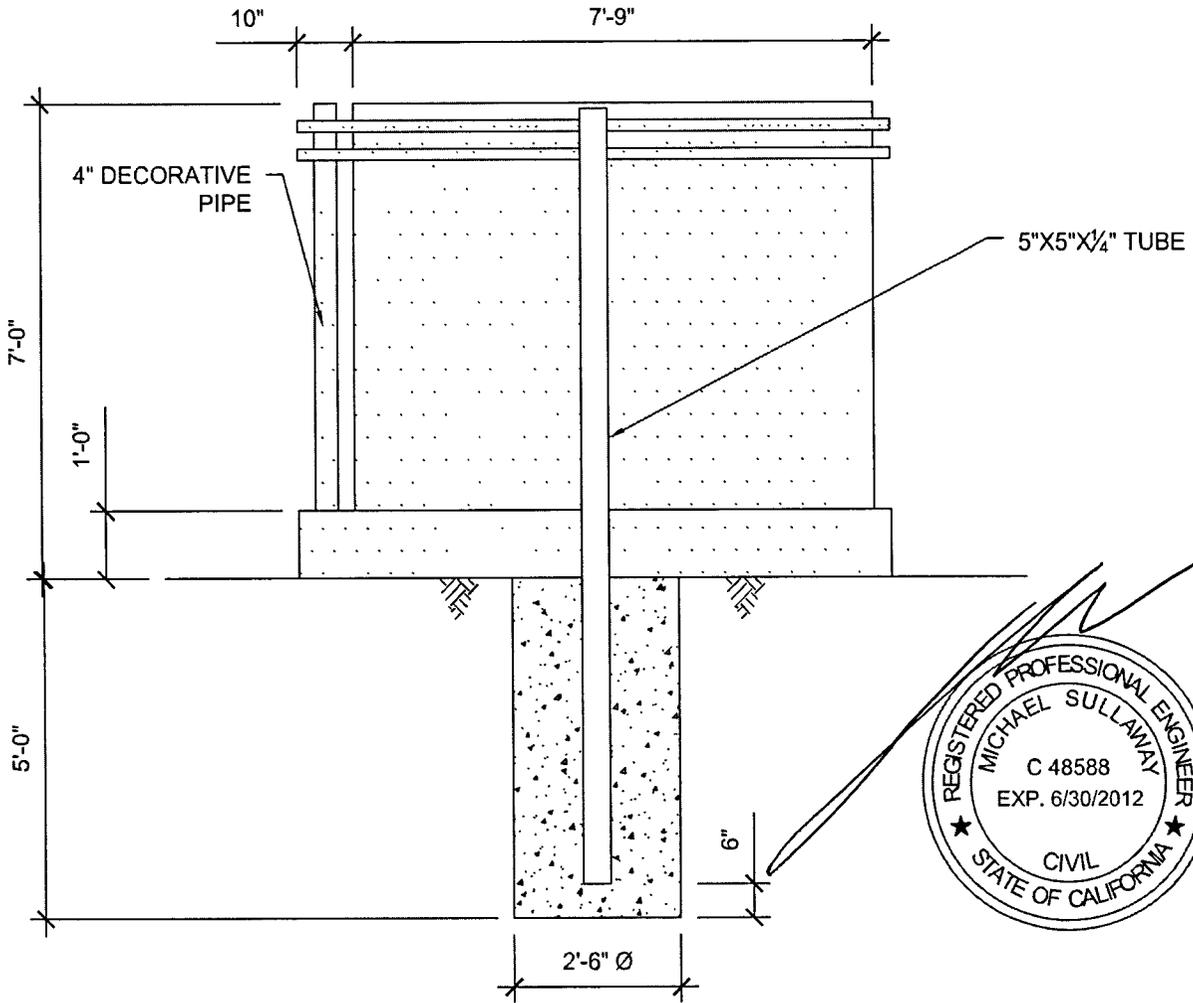
**Lags**

$T = 0.221$  k total, = 0.074 k per lag  
 for 3/8", Tall= 305# per inch. For 1/2" plywood, Tall=152#  
 for 1/2", Tall= 378# per inch. For 1/2" plywood, Tall=189#  
 for three, Tall= 567#

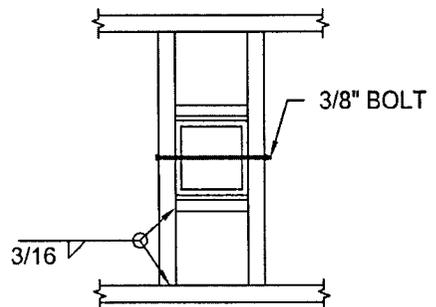
ok

PROJECT: CVS, WARNER AVE & BEACH BLVD, HUNTINGTON BEACH, CA  
PROJECT #: 1350  
CLIENT: COAST SIGN INC

DATE: 11-18-11  
ENGINEER: LAG  
PAGES: 1 OF 2



① ELEVATION



② SADDLE WELD TYP.

**GENERAL NOTES**

1. DESIGN CODE: CBC 2010
2. DESIGN LOADS: ASCE 7-05
3. WIND VELOCITY 85 MPH EXPOSURE C
4. CONCRETE 2500 PSI MIN.
5. PIPE STEEL ASTM A53 GRADE B
6. ALUMINUM EXTRUSION 6061-T6
7. PROVIDE PROTECTION AGAINST DISSIMILAR METALS
8. BOLT STEEL ASTM A307
9. LATERAL SOIL BEARING PER CBC CLASS 5 (100 PCF)

PROJECT: CVS  
PROJ. NO.: 1350A  
CLIENT: Coast Sign

DATE: 11/18/11  
ENGINEER: LAG  
PAGES: 2 of 2

building code; CBC 2010

units; pounds, feet unless noted otherwise

**Applied Wind Loads; from ASCE 7-05**

$F = q_h * G * C_f * A_s$  with  $q_h = 0.00256 K_z K_{zt} K_d V^2 I$  (ASCE 6.5.10 and 6.5.14)  
 $C_f = 1.437$  (ASCE Fig. 6-20) max. height = 7.0  
 $K_{zt} = 1.0$  (unless unusual landscape)  $I = 1$  for structural category II  
 $K_z =$  from ASCE table 6-3 Exposure = C  
 $K_d = 0.85$  for signs  
 $V = 85$  mph  
 $G = 0.85$  (ASCE 6.5.8) weight = 0.569 kips  
 $s/h = 1.000$   $M_{DL} = 0.00$  k-ft  
 $B/s = 1.26$

Pole Loads	structure component	height at section c.g.	$K_z$	$q_h$	pressure $q_h * G * C_f$	Area	shear	Wind Moment $M_w$		
	1	0.5	0.85	13.36	16.32	8.8	144	72		
	2	4	0.85	13.36	16.32	48.1	784	3138		
						sums:	57	929	3.21 (M <sub>w</sub> ) k-ft	arm = 3.46
						for s/h=1, add 10%:	x 1.10		3.53	
						$P_u = 0.68$ kip			M = 3.53 k-ft	$M = \sqrt{M_{DL}^2 + M_w^2}$
						$M_u = \sqrt{1.2 M_{DL}^2 + 1.6 M_w^2} = 5.65$ k-ft				

**Pole Design section; tube**

$M_u \geq \phi M_n$  with  $M_n = f_y Z$   $f_y = 46$  ksi  $\phi = 0.9$

H	$M_u$ (k-ft)	Z req'd. (in)	Size(in)	t (in)	Z
at grade	5.65	1.64	3	0.174	2.0

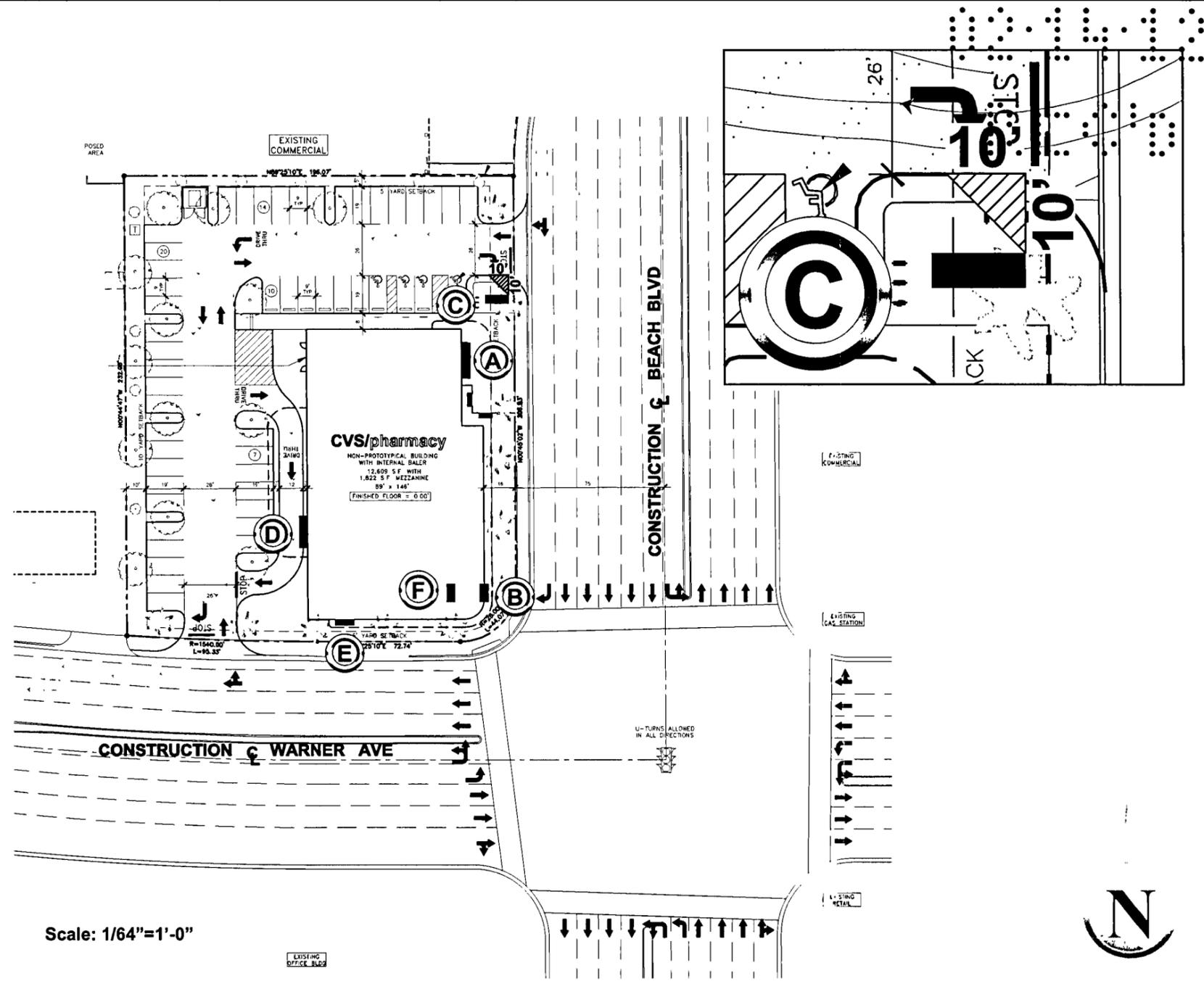
CAN USE 5"X5"X1/4"

**Footing Design footprint: round**

$\omega = 1.3$  (CBC 1605.3.2) CBC Table 1804.2 with Note d, sections 1804.3.1 and 1805.7.2  
 $P = 1.21$  kip  $S_1 = S \times d / 3$   $A = 2.34 \times P / (S_1 \times b)$   $S = 267$   
 $S_1 = 424$   $d = 0.5 \times A (1 + (1 + 4.36 \times h/A)^{.5})$  CBC 1807.3.2.1  
 $A = 2.67$

footing: 2' - 6" dia.  
4' - 9" deep CAN USE 5'

# SITE PLAN



Scale: 1/64"=1'-0"

# SIGNAGE SPECIFICATIONS

- (A) ILLUMINATED CHANNEL LETTERS
- (B) ILLUMINATED CHANNEL LETTERS
- (C) ILLUMINATED MONUMENT
- (D) ILLUMINATED CHANNEL LETTERS
- (E) ILLUMINATED CHANNEL LETTERS
- (F) ILLUMINATED CHANNEL LETTERS

PSP12-02		DATE 3/6/12	
		EXPIRATION DATE 3/6/14	
<input type="checkbox"/> APPROVED	<input type="checkbox"/> B.T.A.	<input type="checkbox"/> P.C.	<input type="checkbox"/> C.C.
<input checked="" type="checkbox"/> COMM. APPROVED	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> DIRECTOR
<input type="checkbox"/> DRAFTED	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> NOT DRAWN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



Date:	12-23-11	Project Name:	CVS Pharmacy
Scale:	NTS	Address:	Warner Ave & Beach Blvd
Drawn:	Paula M.	City / State:	Huntington Beach, CA
PM:	TH	Client Approval:	Date:

This is an original unpublished drawing created by Coast Sign, Inc. It is submitted for your personal use in conjunction with a project being planned for you by Coast Sign, Inc., and shall not be reproduced, used by or disclosed to any firm or corporation for any purpose whatsoever without written permission.

No.	Designer	Date	Revision Notes
7	HA	02-08-12	Refer to PATHFINDER.
8			
9			
10			
11			
12			

**DESIGN DRAWING 1 of 7**  
 Request Number:  
**DEV-CVS1-00280-r7**  
 File Location:  
 W:\CVS- Pharmacy\ArtDrawings\PRJ-CVS1-00285

Ⓔ



Aluminum supports to match building color, mounted on 8" x 4" steel tubing.

### SOUTH ELEVATION

Scale: 1/16"=1'-0"

Ⓑ

Ⓐ



Aluminum supports to match building color, mounted on 8" x 4" steel tubing.

### EAST ELEVATION

Scale: 1/16"=1'-0"



Date:	12-23-11	Project Name:	CVS Pharmacy
Scale:		Address:	Warner Ave & Beach Blvd
Drawn:	Paula M.	City / State:	Huntington Beach, CA
PM:	TH	Client Approval:	Date:

This is an original unpublished drawing created by Coast Sign, Inc. It is submitted for your personal use in conjunction with a project being planned for you by Coast Sign, Inc., And shall not be reproduced, used by or disclosed to any firm or corporation for any purpose whatsoever without written permission.

No.	Designer	Date	Revision Notes
7	HA	02-08-12	Refer to PATHFINDER.
8			
9			
10			
11			
12			

**DESIGN DRAWING 2 of 7**

Request Number:  
**DEV-CVS1-00280-r7**

File Location:  
W:\CVS- Pharmacy\Art\Drawings\PRJ-CVS1-00285



**NORTH ELEVATION**

Scale: 1/16"=1'-0"



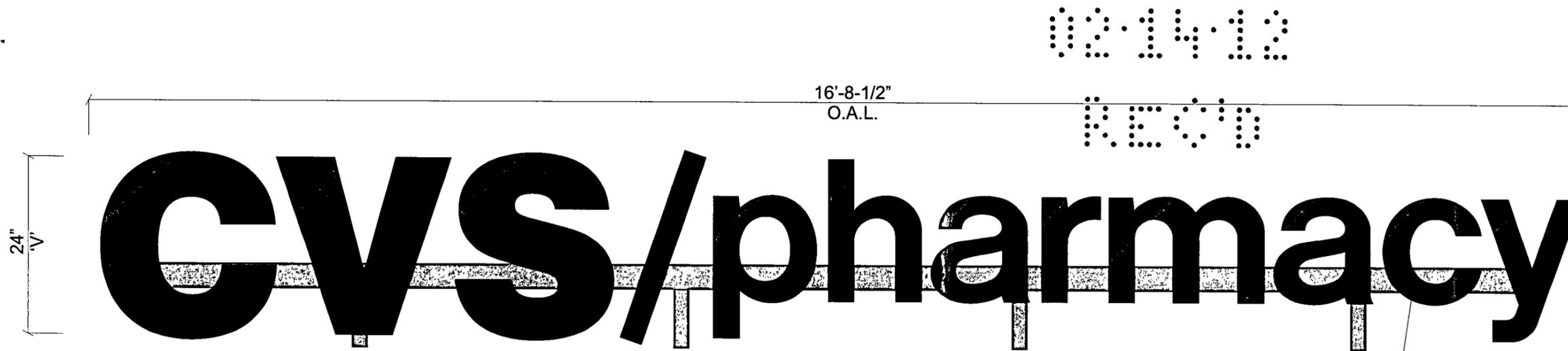
**WEST ELEVATION**

Scale: 1/16"=1'-0"



Date: 12-23-11	Project Name: CVS Pharmacy	This is an original unpublished drawing created by Coast Sign, Inc. It is submitted for your personal use in conjunction with a project being planned for you by Coast Sign, Inc., And shall not be reproduced, used by or disclosed to any firm or corporation for any purpose whatsoever without written permission.	No.	Designer	Date	Revision Notes
Scale:	Address: Warner Ave & Beach Blvd		7	HA	02-08-12	Refer to PATHFINDER.
Drawn: Paula M.	City / State: Huntington Beach, CA		8			
PM: TH	Client Approval: _____ Date: _____		9			
			10			
		11				
		12				

**DESIGN DRAWING 3 of 7**  
 Request Number:  
**DEV-CVS1-00280-r7**  
 File Location:  
 W:\CVS- Pharmacy\Art\Drawings\PRJ-CVS1-00285



**(A) (E) FRONT VIEW @ CHANNEL LETTERS**  
 Scale: 3/4"=1'-0"

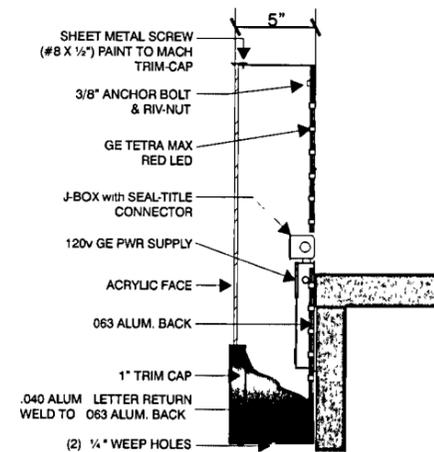
33.41 SQ. FT.

Aluminum supports to match building color, mounted on 8" x 4" steel tubing.

**SIDE VIEW**

**Specifications:**

- Manufacture & install (1) set CVS/Pharmacy internally illuminated self contained channel letters.
- 1" bronze jewelite trimcap
- 0.040" X 8" alum. coil painted dark bronze returns.
- 0.063 pre-paint white aluminum back.
- 3/16" red acrylic #2793 face.



**VERTICAL SECTION @ CHANNEL LETTERS**  
 Scale: NTS

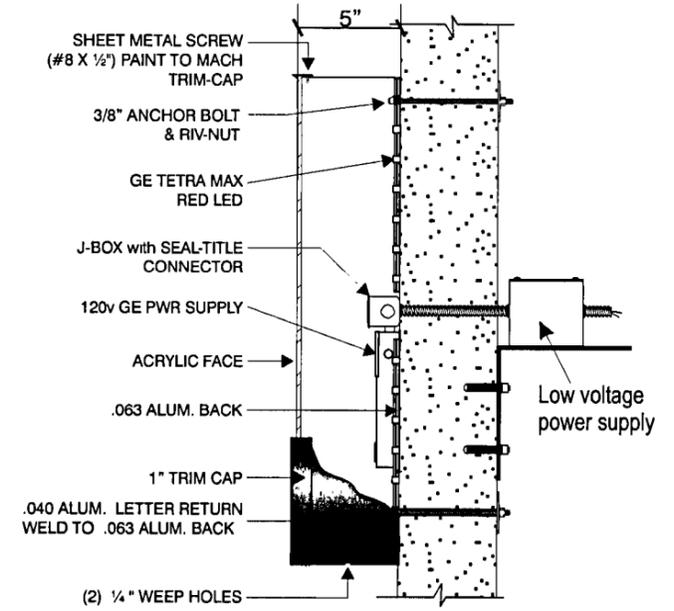
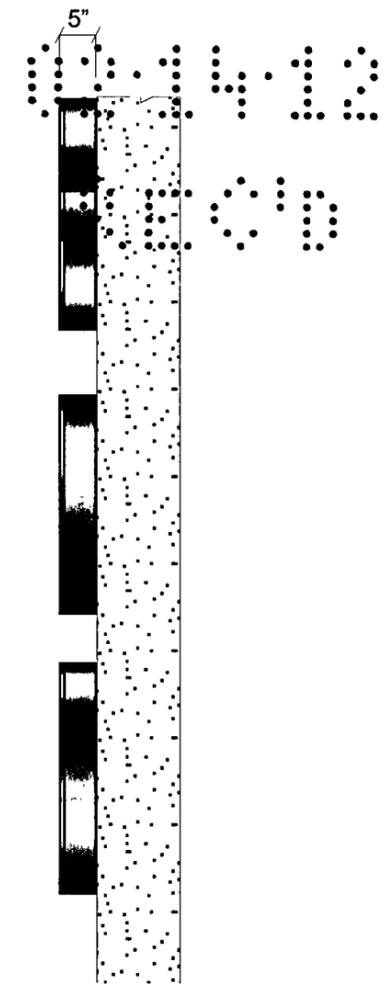
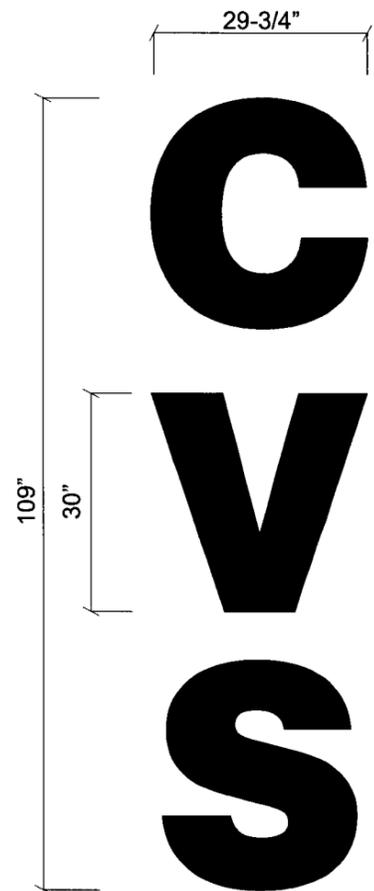


Date:	12-23-11	Project Name:	CVS Pharmacy
Scale:		Address:	Warner Ave & Beach Blvd
Drawn:	Paula M.	City / State:	Huntington Beach, CA
PM:	TH	Client Approval:	Date:

This is an original unpublished drawing created by Coast Sign, Inc. It is submitted for your personal use in conjunction with a project being planned for you by Coast Sign, Inc., And shall not be reproduced, used by or disclosed to any firm or corporation for any purpose whatsoever without written permission.

No.	Designer	Date	Revision Notes
7	HA	02-08-12	Refer to PATHFINDER.
8			
9			
10			
11			
12			

**DESIGN DRAWING 4 of 7**  
 Request Number:  
**DEV-CVS1-00280-r7**  
 File Location:  
 W:\CVS- Pharmacy\Art\Drawings\PRJ-CVS1-00285



**FRONT VIEW @ CHANNEL LETTERS**

Scale: 1/2"=1'-0"

22.51 SQ. FT.

**Specifications:**

Manufacture & install (1) set CVS/Pharmacy internally illuminated self contained channel letters.  
 1" bronze jewelite trimcap  
 0.040" X 8" alum. coil painted dark bronze returns.  
 0.063 pre-paint white aluminum back.  
 3/16" red acrylic #2793 face.

**SIDE VIEW**

**VERTICAL SECTION @ CHANNEL LETTERS**

Scale: NTS



Date:	12-23-11	Project Name:	CVS Pharmacy
Scale:		Address:	Warner Ave & Beach Blvd
Drawn:	Paula M.	City / State:	Huntington Beach, CA
PM:	TH	Client Approval:	Date:

This is an original unpublished drawing created by Coast Sign, Inc. It is submitted for your personal use in conjunction with a project being planned for you by Coast Sign, Inc., And shall not be reproduced, used by or disclosed to any firm or corporation for any purpose whatsoever without written permission.

No.	Designer	Date	Revision Notes
7	HA	02-08-12	Refer to PATHFINDER.
8			
9			
10			
11			
12			

**DESIGN DRAWING 5 of 7**  
 Request Number:  
**DEV-CVS1-00280-r7**  
 File Location:  
 W:\CVS- Pharmacy\Art\Drawings\PRJ-CVS1-00285



**D FRONT VIEW @ ILLUMINATED CHANNEL LETTERS**  
 Scale: 3/4"=1'-0"

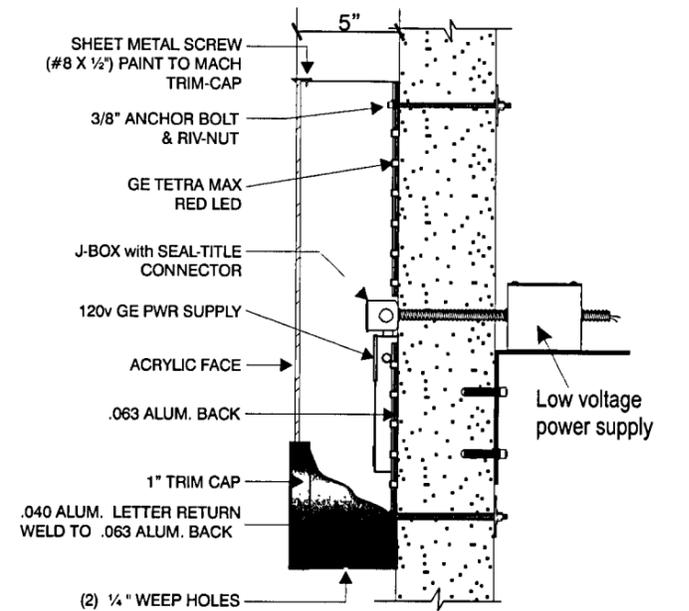
20.05 SQ. FT.

**SIDE VIEW**

**Specifications:**

Manufacture & install (1) set 18" internally illuminated self contained channel letters.

- TRIMCAP SPEC: 1" BRONZE JEWELITE TRIM CAP
- RETURN SPEC: 0.040" X 5.3" ALUM. COIL PAINTED DARK BRONZE.
- BACK SPEC: 0.063 PRE-PAINT WHITE ALUMINUM
- FACE SPEC: 3/16" RED ACRYLIC # 2793



**VERTICAL SECTION @ CHANNEL LETTERS**

Scale: NTS

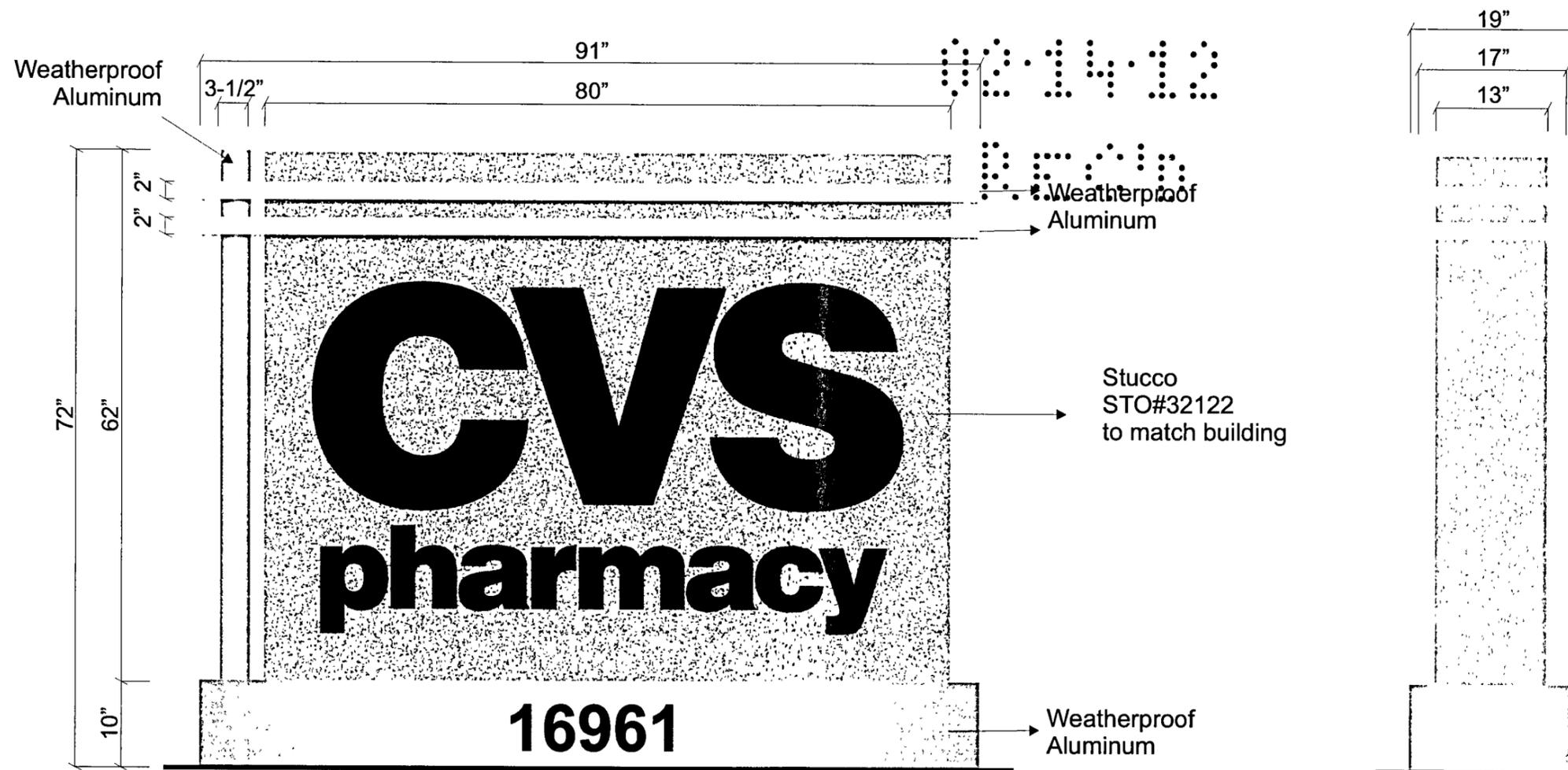


Date:	12-23-11	Project Name:	CVS Pharmacy
Scale:		Address:	Warner Ave & Beach Blvd
Drawn:	Paula M.	City / State:	Huntington Beach, CA
PM:	TH	Client Approval:	Date:

This is an original unpublished drawing created by Coast Sign, Inc. It is submitted for your personal use in conjunction with a project being planned for you by Coast Sign, Inc., And shall not be reproduced, used by or disclosed to any firm or corporation for any purpose whatsoever without written permission.

No.	Designer	Date	Revision Notes
7	HA	02-08-12	Refer to PATHFINDER.
8			
9			
10			
11			
12			

**DESIGN DRAWING 6 of 7**  
 Request Number:  
**DEV-CVS1-00280-r7**  
 File Location:  
 W:\CVS- Pharmacy\ArtDrawings\PRJ-CVS1-00285



**FRONT VIEW @ ILLUMINATED MONUMENT SIGN**  
 Scale: 1/2"=1'-0"

**SIDE VIEW**

**Specifications:**

Routed out aluminum face  
 with push thru acrylic letters.  
 First surface apply vinyl.



Date:	12-23-11	Project Name:	CVS Pharmacy
Scale:		Address:	Warner Ave & Beach Blvd
Drawn:	Paula M.	City / State:	Huntington Beach, CA
PM:	TH	Client Approval:	Date:

This is an original unpublished drawing created by Coast Sign, Inc. It is submitted for your personal use in conjunction with a project being planned for you by Coast Sign, Inc. And shall not be reproduced, used by or disclosed to any firm or corporation for any purpose whatsoever without written permission.

No.	Designer	Date	Revision Notes
7	HA	02-08-12	Refer to PATHFINDER.
8			
9			
10			
11			
12			

**DESIGN DRAWING 7 of 7**  
 Request Number:  
**DEV-CVS1-00280-r7**  
 File Location:  
 W:\CVS- Pharmacy\Art\Drawings\PRJ-CVS1-00285



RECEIVED  
MAR 19 2012

Dept. of Planning  
& Building

## MASTER SIGN PROGRAM

16961 Beach Blvd.

HUNTINGTON BEACH, CA

MARCH 12, 2012

PSIP 12002	DATE	3/6/12
	EXPIRATION DATE	3/6/14
<input type="checkbox"/> APPROVED	<input type="checkbox"/> B.Z.A.	
<input checked="" type="checkbox"/> COND. APPROVED	<input type="checkbox"/> P.C.	
<input type="checkbox"/> DENIED	<input type="checkbox"/> C.C.	
<input type="checkbox"/> WITHDRAWN	<input checked="" type="checkbox"/> DIRECTOR	
<input type="checkbox"/> REFERRED	ACTION	
<input type="checkbox"/> PLAN CHECK	PERMIT ISSUED	





## PROJECT DIRECTORY

**LANDLORD:** KZ DevCo, LP  
18818 Teller Avenue  
Irvine, CA 92612  
Tel: (949) 476-2700  
Fax: (949) 476-2777

**CONSULTANT:** Coast Sign, Inc.  
1500 W. Embassy St.  
Anaheim, CA 92802  
Tel (714) 520-9144  
Fax (714) 520-5847  
Attn: Theresa Heitkamp



## TABLE OF CONTENTS

TITLE	1
PROJECT DIRECTORY	2
SUBMITTALS & APPROVALS	3
CONSTRUCTION REQUIREMENTS	4
SIGNAGE SPECIFICATIONS	6
PROHIBITED SIGNS	7
INSPECTION & MAINTENANCE	8
CROSS SECTIONS	9
ATTACHMENT DETAILS	10
SITE PLAN	11
CVS ELEVATIONS	12
CVS BUILDING SIGNAGE	14
CVS FREESTANDING SIGNAGE	16



**COAST SIGN**  
INCORPORATED  
1500 West Embassy St. Anaheim, CA 92802  
(714) 520-9144 FAX: (714) 520-5847

## **(A)** INTRODUCTION

The intent of this sign criteria is to provide the guidelines necessary to achieve a visually coordinated, balanced and appealing sign environment, harmonious with the architecture of the project, while maintaining provisions for individual graphic expression.

Performance of this sign criteria shall be rigorously enforced and any nonconforming sign shall be removed by the tenant or his sign contractor at their expense, upon demand by the Landlord.



## **(B)** LANDLORD/TENANT REQUIREMENTS

1. Tenant shall submit to Landlord for written approval, two (2) copies of the detailed shop drawings of this proposed sign, indicating conformance with the sign criteria herein outlined.
2. The Landlord shall determine and approve the availability and position of a Tenant name on any ground sign(s).
3. The Tenant shall pay for all signs, related materials and installation fees (including final inspection costs).
4. The Tenant shall obtain all necessary permits.
5. The Tenant shall be responsible for fulfillment of all requirements of this sign criteria.
6. It is the responsibility of the Tenant's sign company to verify all conduit and transformer locations and service access prior to fabrication.
7. Should a sign be removed, it is the Tenant's responsibility to patch all holes, paint surface to match the existing color, and restore surface to original condition.



© GENERAL SIGN CONSTRUCTION REQUIREMENTS:

1. All signs and their installation shall comply with all local building and electrical codes.

2. All electrical signs will be fabricated by a U.L. approved sign company, according to U.L. specifications and bear U.L. Label.

3. Sign company to be fully licensed with the city of Huntington Beach and State of California and shall have full Workman's Compensation and liability insurance.

4. All penetrations of building exterior surfaces are to be sealed waterproof in color and finish to match existing exterior.

5. Painted surfaces to have a satin finish. Only paint containing acrylic polyurethane products may be used.

6. Logo and letter heights shall be as specified and shall be determined by measuring the normal capital letter of a type font exclusive of swashes, ascenders, and descenders.

7. All sign fabrication work shall be of excellent quality. All logo images and type-styles shall be accurately reproduced. Lettering that approximates type-styles will not be acceptable. The Landlord reserves the right to reject any fabrication work deemed to be below standard.

8. All lighting must match the exact specification of the approved working drawings. No exposed conduits or raceways will be allowed.



**COAST SIGN**  
I N C O R P O R A T E D  
1500 West Embassy St. Anaheim, CA 92802  
(714) 520-9144 FAX: (714) 520-5847

© GENERAL SIGN CONSTRUCTION REQUIREMENTS(CONTINUED):

9. Signs must be made of durable rust –inhibiting materials that are appropriate and complimentary to the building.

10. Color coatings shall exactly match the colors specified on the approved plans.

11. Joining of materials (e.g., seams) shall be finished in way as to be unnoticeable. Visible welds shall be continuous and ground smooth. Rivets, screws, and other fasteners that extend to visible surfaces shall be flush, filled, and finished so as to be unnoticeable.

12. Finished surfaces of metal shall be free from oil canning and warping. All sign finishes shall be free from dust, orange peel, drips, and runs and shall have a uniform surface conforming to the highest standards of the industry.

13. In no case shall any manufacturer's label be visible from the street from normal viewing angles.

14. Exposed raceways are not permitted.

15. Exposed junction boxes, lamps, tubing or neon crossovers of any type are not permitted.



**COAST SIGN**  
INCORPORATED  
1500 West Embassy St. Anaheim, CA 92802  
(714) 520-9144 FAX: (714) 520-5847

ⓓ TENANT SIGNAGE SPECIFICATIONS:

TOTAL SIGN AREA

1. For each establishment, one and one-half square feet of total sign area shall be allowed for each lineal foot building frontage. Only one side of the building facing the street is to be used to determine the maximum sign area.
2. Freestanding signs shall have a maximum of thirty-two square feet of sign area.

WALL/CANOPY SIGNS

1. Wall signs shall only be permitted for non-residential uses with a dedicated ground floor entrance.
2. One canopy or wall sign may be located on elevations with street frontages.
3. Wall signs may be located on both sides of the architectural blade/tower sign facing East and West.
4. One wall sign may be located on elevation facing parking lot.
5. The maximum letter height for above canopy signs is 24".

MONUMENT/GROUND SIGNS

1. Monument signs shall only be permitted for non-residential uses with a dedicated ground floor entrance.
2. A maximum of one per arterial street frontage on parcels with less than 400 feet of arterial street frontage.
3. For corner lots with the greatest street frontage less than 400 feet, one monument sign per street frontage is allowed.
4. The overall height of the monument sign may not exceed 6 ft. height limit.
5. The site address located on the base of the monument sign shall be located at a minimum height of 2 ft. above the adjacent grade.



**ⓔ PROHIBITED SIGNS:**

**1. Signs constituting a Traffic Hazard:**

No person shall install or maintain, or cause to be installed or maintained, any sign which simulates or imitates in size, color, lettering or design any traffic sign or signal, or which makes use of the words "STOP", "LOOK", "DANGER" or any words, phrases, symbols, or characters in such a manner as to interfere with, mislead or confuse traffic.

**2. Signs in Proximity to Utility Lines:**

Signs which have less horizontal or vertical clearance from authorized communication or energized electrical power lines that are prescribed by the laws of the State of California are prohibited.

3. Signs painted directly on a building surface will not be permitted.

4. There shall be no signs that are flashing, moving or audible.

**5. Vehicle Signs:**

Signs on or affixed to trucks, automobiles, trailers, or other vehicles which are use for advertising, identity, or provide direction to a specific use or activity not related to its lawful activity are prohibited. ( i.e. Delivery trucks with tenant signage is permitted.)

**6. Light Bulb Strings:**

External displays, other than temporary decorative holiday lighting which consists of unshielded light bulbs are prohibited. An exception may be granted by the Landlord when the display is an integral part of the design character of the activity to which it relates.

**7. Banners, Pennants & Balloons Used for Advertising Purposes:**

Temporary flags, banners, or pennants, or a combination of same constituting an architectural feature which is an integral part of the design character of a project may be permitted subject to Municipal Code requirements, Landlord's, and City approval.

8. Billboard Signs are not permitted.

9. The use of permanent "sale" signs are prohibited. The temporary use of these signs are limited to a thirty-day period and is restricted to signs affixed to the interior of windows which do not occupy more that 20% of the window area. Each business is permitted a total of not more than ninety (90) days of temporary window sale signs per calendar year.

10. All signs listed as "Prohibited Signs" in Chapter 233.10 of the city's zoning ordinance.



**COAST SIGN**  
INCORPORATED  
1500 West Embassy St. Anaheim, CA 92802  
(714) 520-9144 FAX: (714) 520-5847

ⓕ ABANDONMENT OF SIGNS:

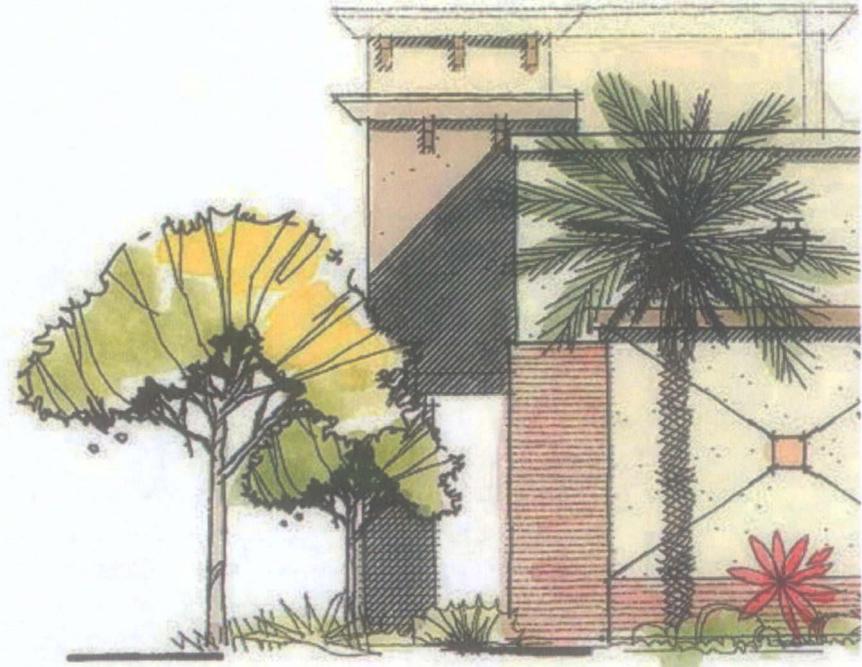
Any tenant sign left after thirty (30) days from vacating premises shall become the property of Landlord.

ⓐ INSPECTION:

Landlord reserves the right to hire an independent electrical engineer at the Tenant's sole expense to inspect the installation of all Tenant's signs and to require the Tenant to have any discrepancies and/or code violations corrected at the Tenant's expense.

ⓓ MAINTENANCE:

It is the Tenant's responsibility to maintain their signs in proper working and clean conditions at all times. Otherwise, landlord reserves the right to hire his own contractor, make the necessary corrections, and bill tenant should it be deemed necessary.



# CROSS SECTIONS

⊙ **Section A**  
**LEXAN FACED**  
**THROUGH FACE ILLUMINATION**

Use standard aluminum construction with Matthews  
(Or equivalent) satin acrylic polyurethane finish.  
Faces are translucent Lexan with trim cap.  
Illuminate with 30 ma neon, fluorescent tubes or LED lighting.  
Paint returns any color.

⊙ **Section B**  
**REVERSE PAN CHANNEL**  
**HALO ILLUMINATION.**

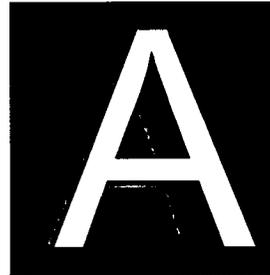
Use standard aluminum construction with Matthews (or equivalent ) satin  
acrylic polyurethane finish.  
Illuminate with 30 ma neon, fluorescent tubes or LED lighting.  
Paint faces and returns any color.

⊙ **Section C**  
**LEXAN FACED CHANNEL**  
**THROUGH FACE AND HALO**  
**ILLUMINATION.**

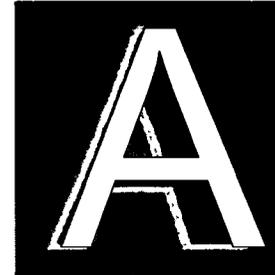
Use standard aluminum construction with Matthews (or equivalent ) satin  
acrylic polyurethane finish.  
Faces are Lexan with trim cap.  
Illuminate with 30 ma neon, fluorescent tubes or LED lighting..  
Paint returns any color.

⊙ **Section D**  
**ALUMINUM FACED CHANNEL**  
**THROUGH FACE AND HALO**  
**ILLUMINATION.**

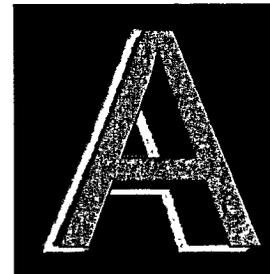
Use standard aluminum construction with Matthews (or equivalent ) satin  
acrylic polyurethane finish.  
Route out aluminum faces where graphics occur and back up or push  
through lexan graphics.  
Illuminate with 30 ma neon, fluorescent tubes or LED lighting.  
Paint face and returns any color.



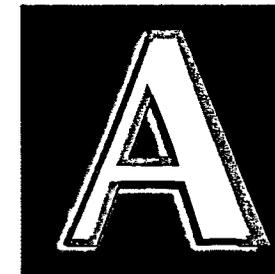
Section A



Section C



Section B

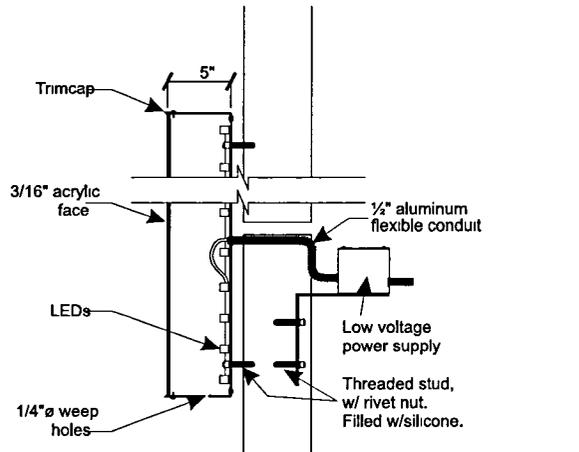


Section D

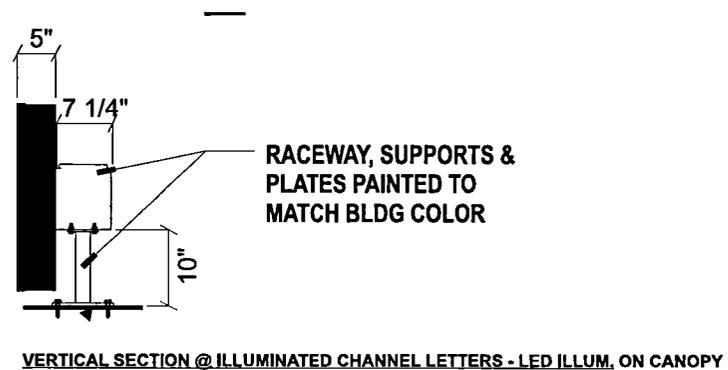


**COAST SIGN**  
INCORPORATED  
1500 West Embassy St. Anaheim, CA 92802  
(714) 520-9144 FAX: (714) 520-5847

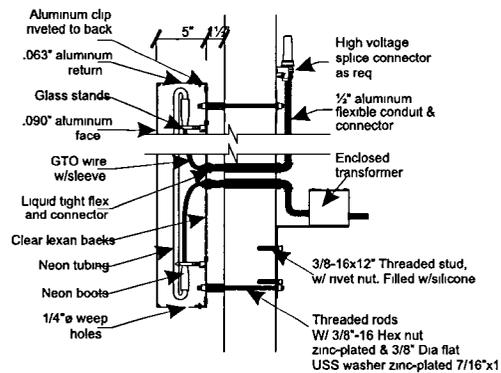
# ATTACHMENT DETAILS



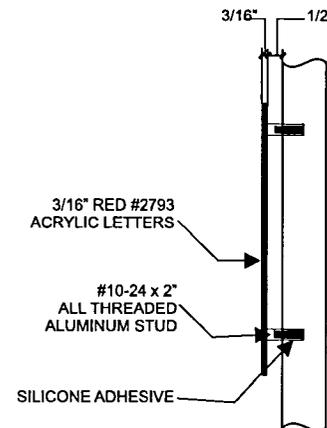
**VERTICAL SECTION @ ILLUMINATED CHANNEL LETTERS - LED ILLUM.**



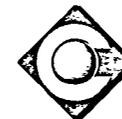
**VERTICAL SECTION @ ILLUMINATED CHANNEL LETTERS - LED ILLUM. ON CANOPY**



**VERTICAL SECTION @ HALO LIT REVERSE CHANNEL LETTERS**  
NTS

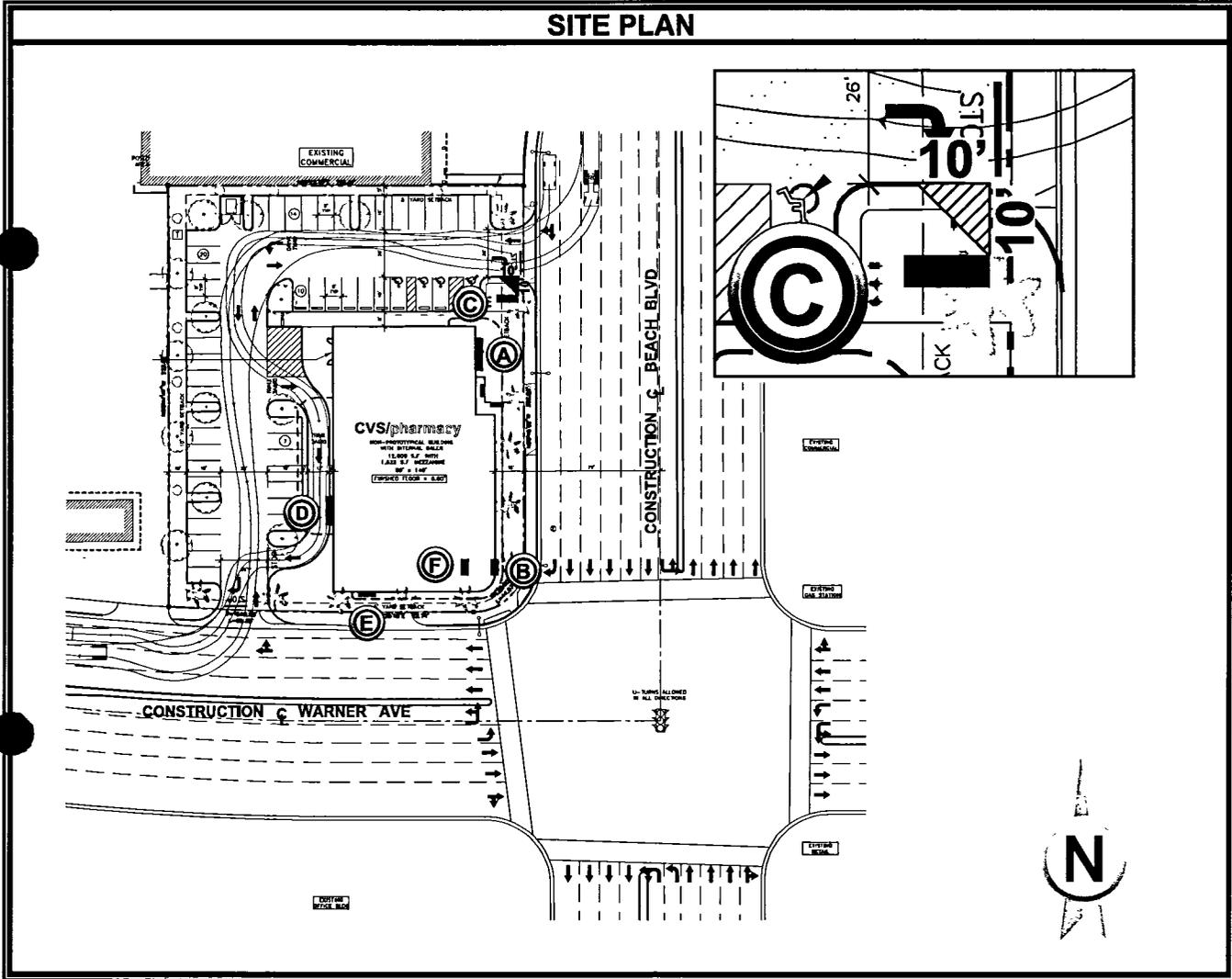


**VERTICAL SECTION @ FCO LETTERS**  
Scale: NTS



**COAST SIGN**  
INCORPORATED  
1500 West Embassy St. Anaheim, CA 92802  
(714) 520-9144 FAX: (714) 520-5847

# SITE PLAN



<b>SIGNAGE SPECIFICATIONS</b>	
<b>(A)</b>	ILLUMINATED CHANNEL LETTERS
<b>(B)</b>	ILLUMINATED CHANNEL LETTERS
<b>(C)</b>	ILLUMINATED MONUMENT
<b>(D)</b>	ILLUMINATED CHANNEL LETTERS
<b>(E)</b>	ILLUMINATED CHANNEL LETTERS
<b>(F)</b>	ILLUMINATED CHANNEL LETTERS

**COAST SIGN**  
INCORPORATED  
1500 West Embassy St. Anaheim, CA 92802  
(714) 520-9144 FAX: (714) 520-5847

# CVS PHARMACY ELEVATIONS

SIZE: 1.5 SQUARE FOOT OF SIGN AREA PER LINEAR OF BUSINESS FRONTAGE.  
 QUANTITY: ONE ABOVE-CANOPY SIGN PER STREET FRONTAGE. ONE WALL SIGN PER ELEVATION ORIENTED TOWARDS STREET OR PARKING LOT.  
 COPY: TENANT NAME AND / OR LOGO  
 TYPEFACE: CUSTOM LOGO AND TYPE OK  
 COLORS: CUSTOM COLORS OK  
 ILLUMINATION: YES



Aluminum supports to match building color, mounted on 8" x 4" steel tubing.

## SOUTH ELEVATION

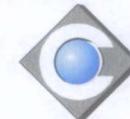
Scale: 1/16"=1'-0"



Aluminum supports to match building

## EAST ELEVATION

Scale: 1/16"=1'-0"



**COAST SIGN**  
 INCORPORATED  
 1500 West Embassy St. Anaheim, CA 92802  
 (714) 520-9144 FAX: (714) 520-5847

# CVS PHARMACY ELEVATIONS



**NORTH ELEVATION**

Scale: 1/16"=1'-0"

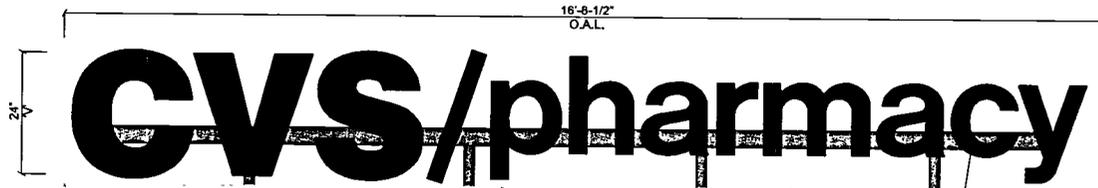


**WEST ELEVATION**

Scale: 1/16"=1'-0"



# CVS PHARMACY WALL SIGNAGE



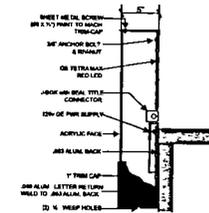
(A) (E)

33.41 SQ. FT.

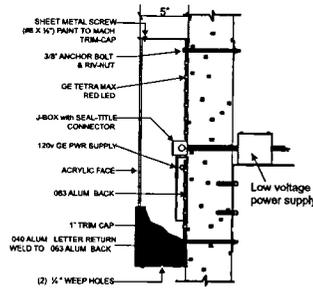
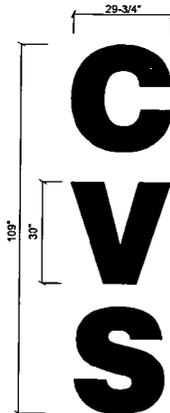
**Specifications:**

Manufacture & install (1) set CVS/Pharmacy internally illuminated, self-contained channel letters.  
 1" bronze jewelite trimcap  
 0.040" X 8" alum. coil painted dark bronze returns.  
 0.063 pre-paint white aluminum back.  
 3/16" red acrylic #2793 face.

to match building color,  
 mounted on 8" x 4"  
 steel tubing



**VERTICAL SECTION @ CHANNEL LETTERS**  
 Scale: NTS



**VERTICAL SECTION @ CHANNEL LETTERS**  
 Scale: NTS

(B) (F)

22.51 SQ. FT.

**Specifications:**

Manufacture & install (1) set CVS/Pharmacy internally illuminated, self-contained channel letters.  
 1" bronze jewelite trimcap  
 0.040" X 8" alum. coil painted dark bronze returns.  
 0.063 pre-paint white aluminum back.  
 3/16" red acrylic #2793 face.



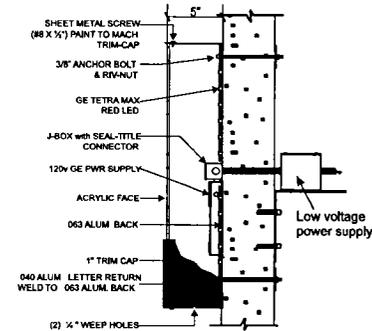
**COAST SIGN**  
 INCORPORATED  
 1500 West Embassy St. Anaheim, CA 92802  
 (714) 520-9144 FAX: (714) 520-5847

# CVS PHARMACY WALL SIGNAGE



**FRONT VIEW @ ILLUMINATED CHANNEL LETTERS**  
 Scale 3/4"=1'-0"  
 20 SQ. FT.

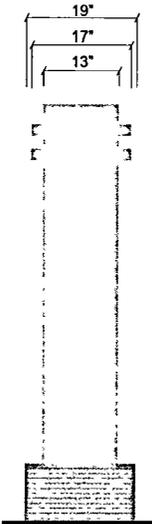
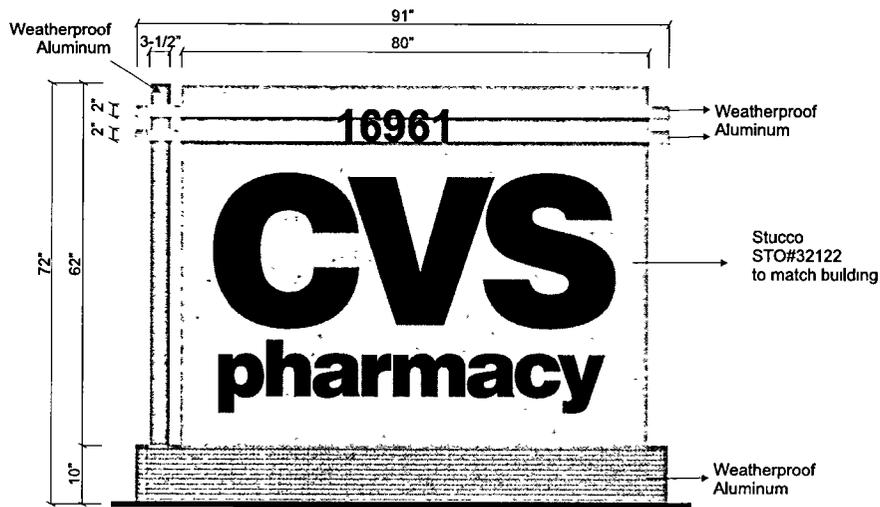
- TRIMCAP SPEC 1" BRONZE JEWELITE TRIM CAP
- RETURN SPEC 0.040" X 5.3" ALUM. COIL PAINTED DARK BRONZE.
- BACK SPEC 0.083 PRE-PAINT WHITE ALUMINUM
- FACE SPEC 3/16" RED ACRYLIC # 2793



**VERTICAL SECTION @ CHANNEL LETTERS**  
 Scale NTS



# CVS PHARMACY FREESTANDING SIGNAGE



Corner lots with the greatest street frontage less than 400 feet are allowed one monument sign per street frontage.

**ILLUMINATION:** Internal illumination for items of information only.

**FACES:** Routed-out aluminum with push through letters.

**HEIGHT:** Cannot exceed 6' in height and 32 sq. ft. in area.

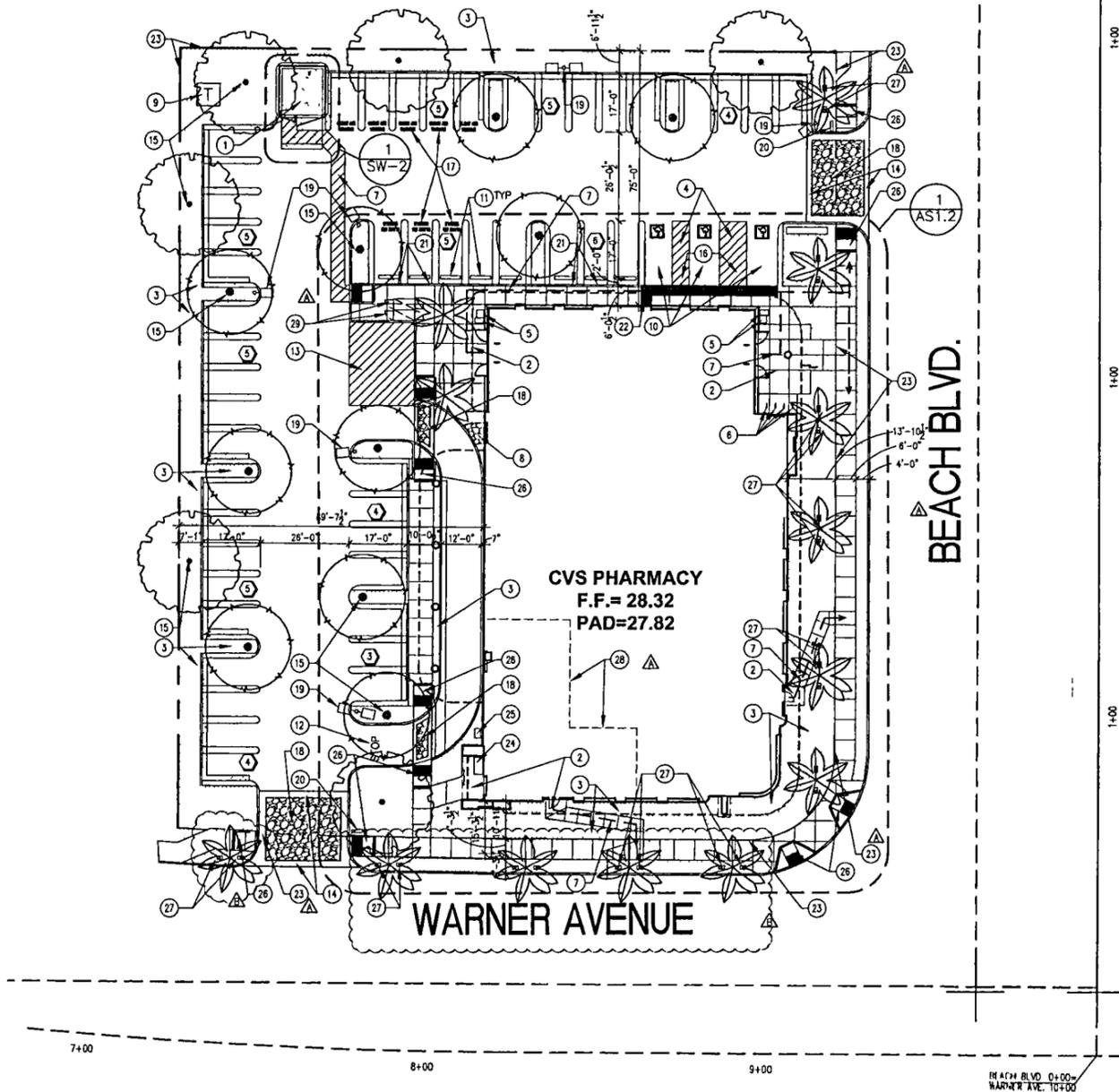
**COLORS:** Custom Colors OK



**Specifications:**  
 Routed out aluminum face with push thru acrylic letters.  
 First surface apply vinyl.



User = Newkirk, Cory G.  
 Date = Thursday, August 25, 2011 11:30:43 AM  
 Filename = E:\PROJECTS\CVS\_CA\_South\_Kids\Drawings\FRMR3701\_CVS Warner & Beach\PRD\_ARCHITECTURAL\_SHEETS\FRMR3701\_SWP\_AS1.dwg



1 SITE PLAN  
 AS-1.1 SCALE: 1" = 20'-0"



PRIOR TO FINAL BUILDING INSPECTION, SURVEILLANCE CAMERAS SHALL BE INSTALLED AT THE ENTRANCE OF THE BUILDING AND DRIVE-THRU AREA AND SHALL RECORD 24 HOURS A DAY, CONTINUOUSLY EVERYDAY.

REFER TO CIVIL "PRECISE GRADING PLAN" FOR MOU INFORMATION.

ALL SIGNAGE IS UNDER SEPARATE PERMIT.

- GENERAL NOTES:**
- COORDINATE LOCATION OF ALL SITE UTILITIES WITH CIVIL.
  - CONTRACTOR NOTE: ALL SIDEWALKS AT STOREFRONT SHALL BE POURED BEFORE STOREFRONT IS INSTALLED.
  - CONTRACTOR TO VERIFY ALL OVERHEAD AND UNDERGROUND UTILITIES PRIOR TO INSTALLATION. THIS INCLUDES WATER, SEWER, ELECT, TEL, & NATURAL GAS BOTH TO THE BUILDING & TO SITE LOCATIONS OF SERVICE & LIGHT POLE BASES AND CONDUIT.
  - ALL SIDEWALK CONCRETE PER THIS PLAN SHOULD BE POURED UNDER THE BUILDING FOOT PER ARCHITECTURAL DRAWINGS. SIDEWALK TO BE 4" CONCRETE WITH #4" WIRE MESH REIN. SLOPE AWAY FROM BUILDING.
  - CONTRACTOR IS TO PROVIDE & INSTALL REGULATION MAILBOX IN LOCATION SPECIFIED BY POST OFFICE, PER USPS SPECS & GUIDELINES.
  - ALL EXISTING DRIVEWAY APPROACHES WHICH NO LONGER PROVIDE ACCESS TO APPROVED VEHICLE PARKING AREAS SHALL BE REMOVED UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. SUCH AREAS SHALL BE RECONSTRUCTED WITH CURB, GUTTER AND SIDEWALK TO MATCH EXISTING ADJACENT STREET IMPROVEMENTS. THIS WORK SHALL BE COMPLETED AND ACCEPTED BEFORE A PERMIT OF OCCUPANCY IS ISSUED OR THE BUILDING IS OCCUPIED. AUTHORITY: FAC 11-209.
  - REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
  - ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A REGISTERED CIVIL ENGINEER OR A LICENSED LAND SURVEYOR.
  - CONSTRUCT CONCRETE SIDEWALKS, CURBS, GUTTERS, AND DRIVEWAY APPROACHES TO PUBLIC WORKS STANDARD SPECIFICATIONS.
  - A MINIMUM OF (5) WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS. ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA) CALL 1-800-942-2444.
  - PRIOR TO FINAL BUILDING INSPECTION, SURVEILLANCE CAMERAS SHALL BE INSTALLED AT THE ENTRANCE OF THE BUILDING AND DRIVE-THRU AREA AND RECORD 24 HOURS A DAY, EVERYDAY.
  - FRONTAGE AREA USED FOR ALLOWABLE AREA INCREASES PER CBC 508.2 ARE TO BE PERMANENTLY MAINTAINED.
  - FINISH GRADE AROUND THE STRUCTURE/ADDITION SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A MINIMUM DISTANCE OF 10 FEET.

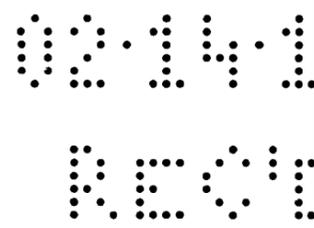
- NOTES BY SYMBOL:**
- TRASH ENCLOSURE WITH ROOF RE: SW-1/SW-2
  - EXTERIOR FINISH GRADE MUST BE FLUSH WITH BLDG F.F.E. AT ALL EXTERIOR DOORS. LEVEL & CLEAR LANDING AREA (MIN DIMENSIONS: 80" LONG x WIDTH OF DOOR + 24" ON EXTERIOR JAMB)
  - LANDSCAPING AREA RE: CIVIL / LANDSCAPE PLANS
  - WITHIN THE ACCESSIBLE PARKING SHALL ACCESS ANGLES, THE WORDS "NO PARKING" ARE TO BE PAINTED IN WHITE, 12" HIGH LETTERS MINIMUM.
  - OUTDOOR TRASH RECEPTACLE & RECYCLABLE CONTAINER (ALLED FIREGLASS)
  - A MIN. OF 3 BICYCLE PARKING REQ., 8 BICYCLE PARKING PROVIDED
  - ACCESSIBLE PATH OF TRAVEL, 5% MAX. SLOPE 2% MAX. CROSS SLOPE
  - ROOF DRAINAGE LANDSCAPE AREA RE: CIVIL & LANDSCAPE
  - TRANSFORMER RE: ELECTRICAL DWGS
  - ACCESSIBLE PARKING PROVIDE 2% MAX SLOPE IN ALL DIRECTIONS. RE: CIVIL
  - WHEELSTOPS AT PARKING SPACES IN FRONT OF THE BUILDING RE: 2/AS-1.3
  - GROUND PAINTED SIGNS - RE: CIVIL
  - LOADING AREA - RE: CIVIL
  - DRIVEWAY - RE: CIVIL
  - SEE RE: LANDSCAPE PLANS
  - PARKING STRIPPING REFER TO CIVIL FOR PARKING LAYOUT
  - PAINT IN WHITE LETTERS "CLEAN AIR VEHICLE" SIGN LETTERS SHALL BE NO LESS THAN 12" HIGH LOWER EDGE OF THE LAST WORD SHALL ALIGN WITH THE END OF THE STRIP STRIPPING TO BE VISIBLE BENEATH A PARKED VEHICLE.
  - DECORATIVE CONCRETE. RE: CIVIL FOR DETAIL
  - LIGHT POLE SEE DETAIL 2/SE-1.1. RE: ELEC DWGS FOR ADDITIONAL INFORMATION WHERE LIGHT POLE IS IN PROXIMITY TO A TREE, NO TREE BRANCH SHALL BE ALLOWED WITHIN 3' OF THE LUMINAIRE OR POLE.
  - SITE ENTRANCE SIGN REF: 8/AS-1.3
  - "ZERO CURB" AT INTERSECTION BETWEEN SIDEWALK & PAVEMENT TACTILE WARNING SYSTEM TO 3'-0" DEPTH PER NOTE #22.
  - SURFACE MOUNTED COMPOSITE TACTILE WARNING PANELS - SAFETY YELLOW - BY KIM SOLUTIONS, INC. SEE AS ENGINEERED AND SHOWN ON PLANS. CONTACT JON WENJAMAN AT (800) 372-0519 FOR PRODUCT INFORMATION. THIS PRODUCT IS APPROVED FOR USE IN THE STATE OF CALIFORNIA PER LETTER OF APPROVAL BY THE DIVISION OF THE STATE ARCHITECT.
  - TRUE PROPERTY LINE AFTER DEDICATIONS - RE: CIVIL
  - ELEC METER & DISCONNECT RE: ELEC
  - GAS METER RE: PLEB
  - CONCRETE RAMP RE: CIVIL FOR DETAIL
  - IN-GROUND LANDSCAPE LIGHTING: PLACE LIGHTING PARALLEL TO STREET AND AT LEAST 3'-0" FROM THE BASE OF THE TRUNK. - RE: ELEC FOR MORE INFORMATION
  - EDGE OF MEZZANINE ABOVE
  - BICYCLE LOCKERS - MODEL CS 2-C BY CREATIVE PPE, INC (800) 844-8487 VERIFY FINISH COLORS WITH CVS PM

**REQUIRED PARKING MATRIX**

Per Chapter 203 of Huntington Beach Zoning & Subdivision Ordinance, Gross Floor Area is determined by "the total enclosed area of all floors of a building measured to the outside face of the structural members of exterior walls, and including halls, stairways, elevator shafts of each floor level, service and mechanical rooms, and habitable basement or attic areas but excluding area for vehicle parking and loading."

<b>GROSS FLOOR AREA</b>	
MAIN FLOOR SF + MEZZANINE SF = GROSS FLOOR AREA	
12,834 SF + (1,777) SF = 14,611 SF	
<b>REQUIRED PARKING COUNT</b> Per Beach and Edinger Corridors Specific Plan, the project fee in the Term Center Business Segment, therefore required parking is as per Section 2.1.8 - Parking Regulations 2.7.1 - Item 3)	
GROSS FLOOR AREA x 4 PARKING SPACES / 1,000 SF = REQUIRED PARKING	
14,611 SF x 4 PARKING SPACES / 1,000 SF = 51 PARKING SPACES REQUIRED (AS PER FINDINGS OF APPROVAL - TENTATIVE PARCEL NO 10-041 - FINDING #2) = ✓ OK	
<b>BICYCLE PARKING &amp; LONG-TERM BICYCLE STORAGE</b> CALIFORNIA 2010 - Chapter 2 - Section 5.108.1.1 requires bike rack storage at a minimum of 5% of motorized vehicle capacity. Therefore, 51 parking spaces required x 5% = 2.55 racks = 3 space racks. This project is provided as (4) 2-space racks = ✓ OK (REFER TO NOTE BY SYMBOL #8 THIS SHEET)	
<b>CALIFORNIA 2010 - Chapter 2 - Section 5.108.1.2</b> requires bike locker enclosure at a minimum of 5% of motorized vehicle capacity. Therefore, 51 parking spaces required x 5% = 2.55 racks = 3 space racks. This project is provided as (2) 2-space enclosures = ✓ OK (REFER TO NOTE BY SYMBOL #29 THIS SHEET)	

LEGEND  
 (29) INDICATES NUMBER OF PARKING SPACES PROVIDED IN THIS ROW



**CVS pharmacy**

CALIFORNIA PROTO - LEFT SIDE DRIVE - THRU  
 STORE NUMBER: 07088  
 16961 BEACH BLVD,  
 (NWC WARNER BLVD & BEACH BLVD),  
 HUNTINGTON BEACH, CA 92647  
 PROJECT TYPE: NEW STORE  
 DEAL TYPE: FEE FOR SERVICE / LAND  
 CS PROJECT NUMBER: 47733

ARCHITECT OF RECORD  
**JACOBS**  
 JACOBS ENGINEERING GROUP INC.  
 180 PROMENADE CIRCLE  
 SUITE 300  
 SACRAMENTO, CA 95834  
 TEL (916) 929-3323  
 FAX (916) 929-1772

CONSULTANT:

DEVELOPER:  
  
 18818 TELLER AVE, SUITE 100  
 IRVINE, CA 92612  
 PHONE (949) 476-2700  
 FAX (949) 476-2777

SEAL:

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL THE SEAL AND SIGNATURE OF THE RESPONSIBLE REGISTRANT APPEARS ON THE DRAWING, AND PROPER PERMIT FORMS AND RELATED FEES ARE TRANSMITTED BY THE OWNER, OWNER'S AGENT OR CONTRACTOR TO THE AUTHORITY HAVING JURISDICTION.

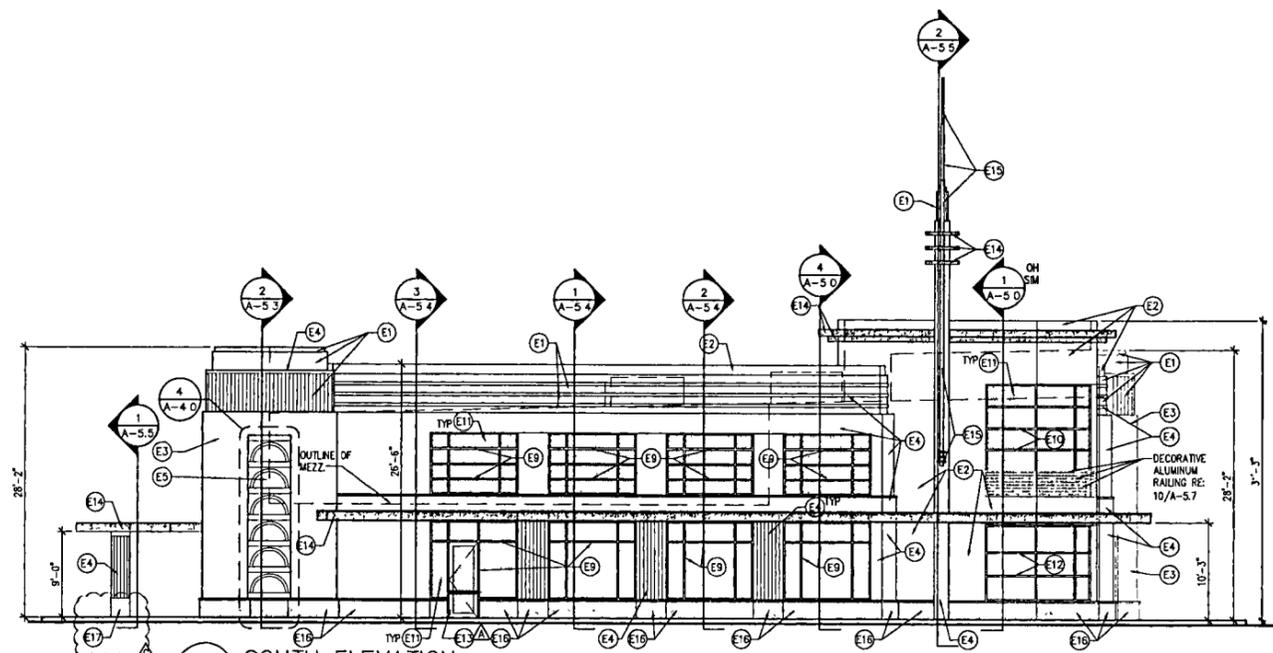
REVISIONS:  
 A REGULATORY AGENCY COMMENTS 06/23/11  
 B REGULATORY AGENCY COMMENTS #2 07/14/11

DRAWING BY: CGN  
 DATE: 19 APRIL 2011  
 JOB NUMBER: FRWR3701

TITLE:  
 ARCHITECTURAL SITE PLAN  
 SHEET NUMBER:  
 AS-1.1

COMMENTS:  
 ISSUED FOR PERMIT AND PRICING

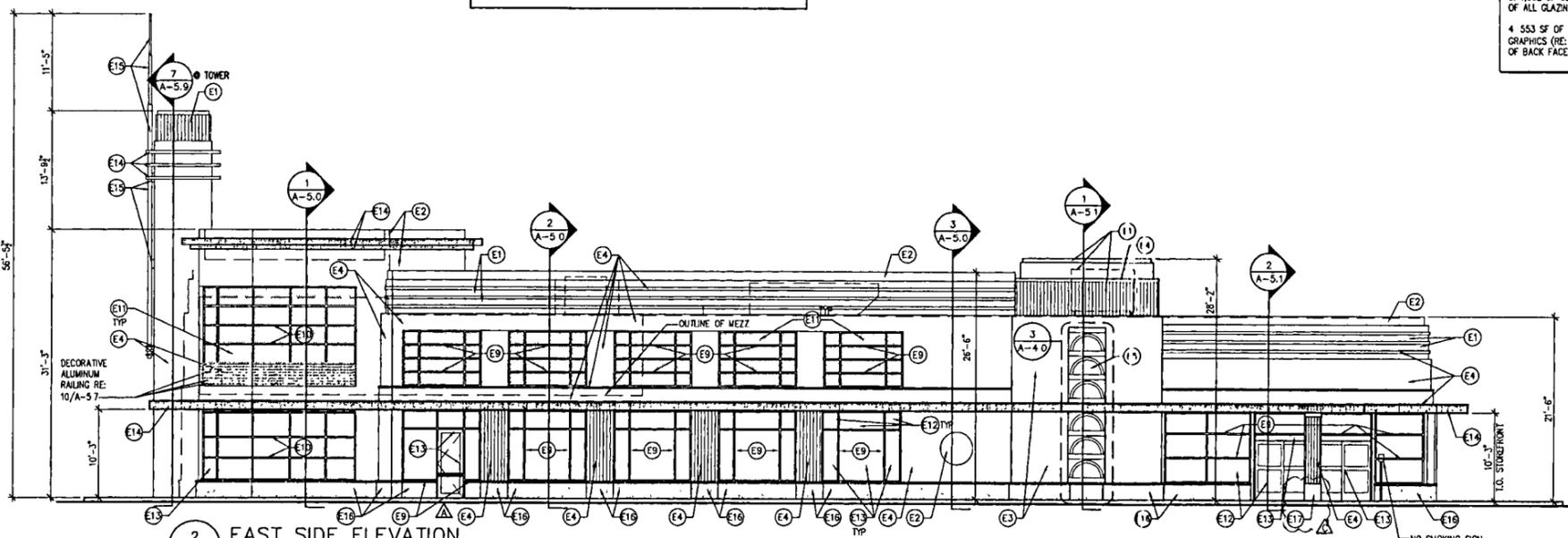
User = Newmark, Corp. G.  
 Date = Thursday, September 01, 2011 10:22:05 AM  
 Filename = R:\PROJECTS\CVS\_CA\_South\_KChidings\FRWR3701\_CIS\_Werner & Beach\PROJ\ARCHITECTURAL\SHEETS\FRWR3701\_A40\_A41.dwg



**1 SOUTH ELEVATION**  
A-4.0 SCALE: 1/8" = 1'-0"

**SOUTH ELEVATION - MM4.1-2 COMPLIANCE**

340 SF = AREA OF FROSTED GLASS COATING	AREAS MARKED WITH THIS PATTERN = E19
616 SF = TOTAL AREA OF GLAZING THIS SIDE	
55.19% OF TOTAL GLAZING HAS A GLASS COATING COMPLYING WITH MM4.1-2	



**2 EAST SIDE ELEVATION**  
A-4.0 SCALE: 1/8" = 1'-0"

**EAST ELEVATION - MM4.1-2 COMPLIANCE**

335 SF = AREA OF FROSTED GLASS COATING	AREAS MARKED WITH THIS PATTERN = E19
887 SF = TOTAL AREA OF GLAZING THIS SIDE	
37.77% OF TOTAL GLAZING HAS A GLASS COATING COMPLYING WITH MM4.1-2	

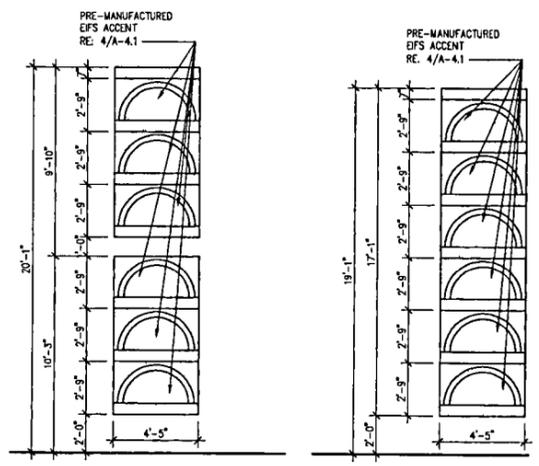
**EXTERIOR FINISH SCHEDULE**

TAG	MATERIAL / DESCRIPTION	MFR.	STYLE	COLOR	NOTES
E1	EFS / STUCCO	STO LOTUSAN SYSTEM	191 STOLT LOTUSAN 1.5 - LIMESTONE FINISH	STO #32137	RE: SPECIFICATION
E2	EFS	STO LOTUSAN SYSTEM	191 STOLT LOTUSAN 1.5 - LIMESTONE FINISH	STO #32138	RE: SPECIFICATION
E3	EFS	STO LOTUSAN SYSTEM	191 STOLT LOTUSAN 1.5 - LIMESTONE FINISH	STO #32139	RE: SPECIFICATION
E4	EFS	STO LOTUSAN SYSTEM	191 STOLT LOTUSAN 1.5 - LIMESTONE FINISH	STO #32140	RE: SPECIFICATION
E5	EFS	STO LOTUSAN SYSTEM	191 STOLT LOTUSAN 1.5 - LIMESTONE FINISH	STO #32141	RE: SPECIFICATION
E6	PAINT	BENJAMIN MOORE	AURA WATERBORNE - FLAT FINISH 629	MATCH OSHA YELLOW	TYP FOR ALL PIPE BOLLARDS
E7	PAINT	BENJAMIN MOORE	AURA WATERBORNE - FLAT FINISH 629	PANT TO MATCH EFS "E4"	
E8	PAINT	BENJAMIN MOORE	AURA WATERBORNE - FLAT FINISH 629	PANT TO MATCH EFS "E4"	
E9	ALUM STOREFRONT	SEE SPECS	SEE SPECS	CLEAR ANODIZED	
E10	ALUM AUTOMATIC DOOR	STANLEY	SEE SPECS	CLEAR ANODIZED	
E11	FROSTED GLAZING FILM	JM	FASARA	SHIMAZAW "OPAQUE WHITE"	APPLIED TO INTERIOR FACE
E12	CURVED ALUM STOREFRONT	KAMNEER	ENDCORE 4-1/2"	CLEAR ANODIZED	RE: A-7.0 FOR MORE INFORMATION
E13	ALUM STOREFRONT DOOR	KAMNEER	STANDARD 500	CLEAR ANODIZED	RE: A-7.0 DOOR SCHEDULE FOR MORE INFORMATION
E14	CANOPY FASCIA & MISC. METAL			BRUSHED ALUMINUM	METAL CANOPIES, FINIS & TOWER CORNICE TYP
E15	PAINT	BENJAMIN MOORE	WEATHERPROOF ALUMINUM PAINT 184	PANT TO MATCH E14	FLASHING ADJACENT TO E14 FINISH STEEL SPIRE TYP
E16	PRECAST CONCRETE WAINSCOT & CAP	WAUSAU TILE	CUSTOM PRECAST CONCRETE PANELS	FINISH COLOR TO MATCH E1	WORTAR TO MATCH WAINSCOT COLOR
E17	CAST-IN-PLACE CONCRETE COLUMN BASES		SMOOTH FINISH	FINISH COLOR TO MATCH E1	

LEGEND

X - RE: EXTERIOR FINISH SCHEDULE

- ELEVATION NOTES:**
1. ALL SIGNAGE SHALL BE UNDER SEPARATE PERMIT
  2. UNLESS NOTED OTHERWISE, ITEMS NOTED AS "MM" REFER TO MITIGATION MEASURES OUTLINED IN THE "BEACH AND EDINGER CORRIDORS SPECIFIC PLAN"
  2. GLASS COATINGS PROVIDED AS FINISH E19 TO ACHIEVE COMPLIANCE OF MM4.1-2 PLEASE REFER TO TABLE BELOW EACH ELEVATION.
  3. 1,002 SF GLASS COATING / 2,000 SF TOTAL GLAZING = 50.1% OF ALL GLAZING HAS A GLASS COATING.
  4. 553 SF OF TOTAL GLAZING ARE DISPLAY WINDOWS WITH HANGING GRAPHICS (RE: DETAILS ON A-8.1) AND A BACKWALL WITHIN 18" OF BACK FACE OF GLAZING.
  5. ALL EFS & NON-METALLIC PAINT PRODUCTS HAVE A VOC LIMITS LESS THAN 50 g/L TO BE COMPLIANT WITH MM4-2.12. TECHNICAL DATA SHEETS ARE PROVIDED ON SHEET A-4TDS
  6. METALLIC PAINT FOR ALUMINUM IS COMPLIANT WITH MAXIMUM VOC LIMIT OF LESS THAN 500 g/L PER CALGREEN 2010 TABLE 5.504.3 TECHNICAL DATA SHEETS ARE PROVIDED ON SHEET A-4TDS
  7. ALUMINUM DOOR & WINDOW FRAMING; ALUMINUM CANOPY FASCIA, MISCELLANEOUS METAL; AND PRECAST CONCRETE WAINSCOT & CAPS WILL BE COMPLIANT WITH MM4.2-13



**3 ENLARGED EIFS ACCENT ELEVATION**  
A-4.0 SCALE: 1/4" = 1'-0"

**4 ENLARGED EIFS ACCENT ELEVATION**  
A-4.0 SCALE: 1/4" = 1'-0"

**CVS pharmacy**

**CALIFORNIA PROTO - LEFT SIDE DRIVE - THRU**

STORE NUMBER: 07088  
 16961 BEACH BLVD.  
 (NWC WARNER BLVD & BEACH BLVD)  
 HUNTINGTON BEACH, CA 92647  
 PROJECT TYPE: NEW STORE  
 DEAL TYPE: FEE FOR SERVICE / LAND  
 CS PROJECT NUMBER: 47733

**ARCHITECT OF RECORD**

**JACOBS**

JACOBS ENGINEERING GROUP INC.

180 PROMENADE CIRCLE  
 SUITE 300  
 SACRAMENTO, CA 95834  
 TEL (916) 929-3323  
 FAX (916) 929-1772

**CONSULTANT:**

**DEVELOPER:**

**DEVCO LP**

18818 TELLER AVE, SUITE 100  
 IRVINE, CA 92612  
 PHONE (949) 476-2700  
 FAX (949) 476-2777

**SEAL:**

THOMAS A. BIRTELLI  
 014416  
 09/13  
 RENEWAL DATE

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL THE SEAL AND SIGNATURE OF THE RESPONSIBLE REGISTRANT APPEARS ON THE DRAWING, AND PROPER PERMIT FORMS AND RELATED FEES ARE TRANSMITTED BY THE OWNER, OWNER'S AGENT OR CONTRACTOR TO THE AUTHORITY HAVING JURISDICTION.

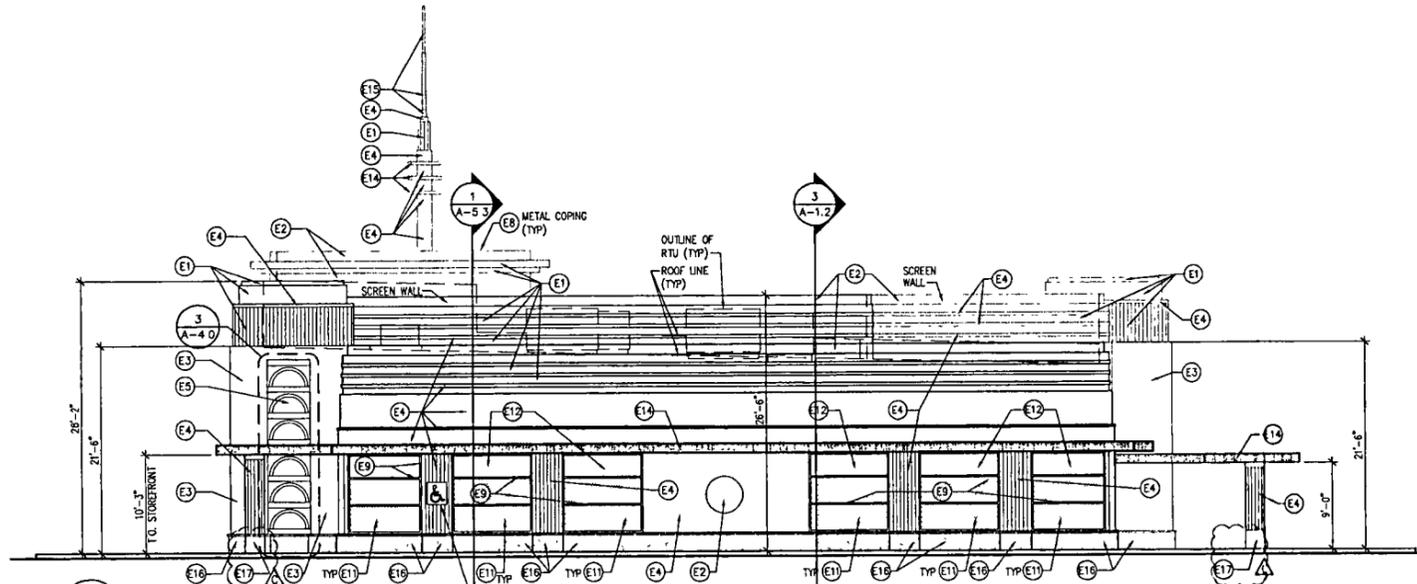
REVISIONS:  
 REGULATORY AGENCY COMMENTS 06/23/11  
 DEVELOPER PLAN REVIEW COMMENTS 09/01/11

DRAWING BY: CGN  
 DATE: 19 APRIL 2011  
 JOB NUMBER: FRWR3701  
 TITLE: EXTERIOR ELEVATIONS

SHEET NUMBER:  
A-4.0

COMMENTS:  
 ISSUED FOR PERMIT AND PRICING

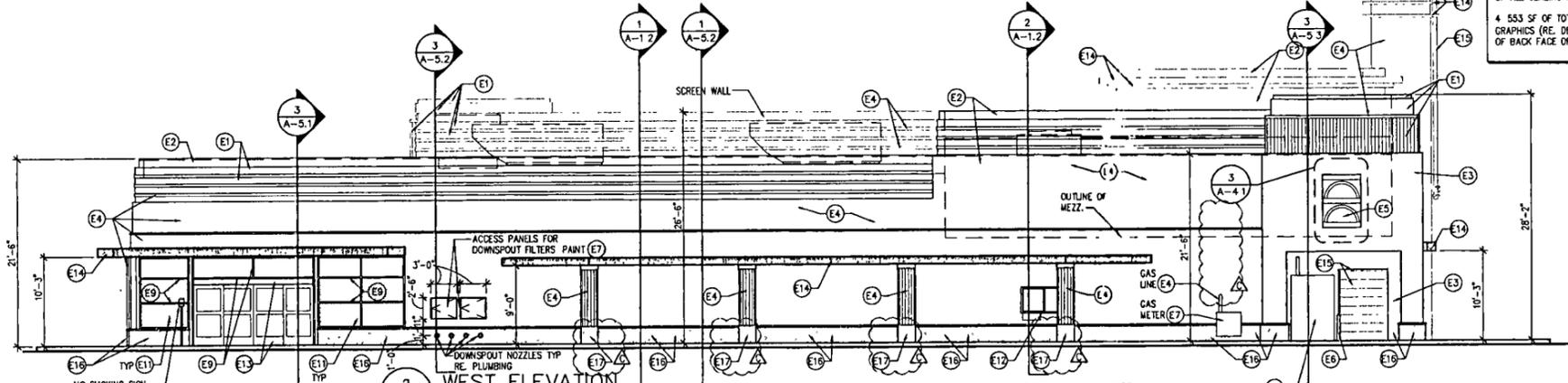
User = Newmark, Cory G.  
 Date = Thursday, September 01, 2011 10:22:41 AM  
 Filename = R:\PROJECTS\CVS\_CA\_South\_KIDsendings\FRWR3701\ARCH\EXTERIOR SHEETS\FRWR3701\_A40\_A41.dwg



**1 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

**NORTH ELEVATION - MM4.1-2 COMPLIANCE**

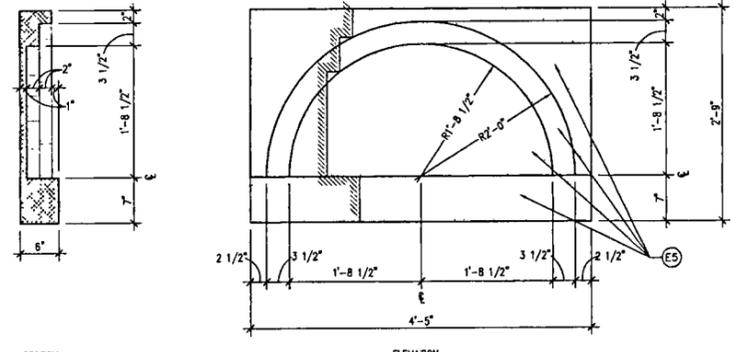
248 SF = AREA OF FROSTED GLASS COATING	AREAS MARKED WITH THIS PATTERN = E1
353 SF = TOTAL AREA OF GLAZING THIS SIDE	
70.25% OF TOTAL GLAZING HAS A GLASS COATING COMPLYING WITH MM4.1-2	



**2 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

**WEST ELEVATION - MM4.1-2 COMPLIANCE**

79 SF = AREA OF FROSTED GLASS COATING	AREAS MARKED WITH THIS PATTERN = E1
144 SF = TOTAL AREA OF GLAZING THIS SIDE	
54.86% OF TOTAL GLAZING HAS A GLASS COATING COMPLYING WITH MM4.1-2	



**4 PRE-MANUFACTURED EIFS ACCENT DETAIL**  
SCALE: 1" = 1'-0"

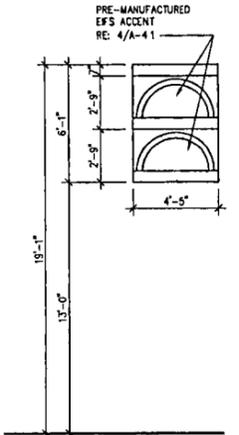
EXTERIOR FINISH SCHEDULE					
TAG	MATERIAL / DESCRIPTION	MFR.	SPCLS.	COLOR	NOTES
E1	EIFS / STUCCO	STO LOTUSAN SYSTEM	191 STOLT LOTUSAN 1.5 - LIMESTONE FINISH	STO #32137	RE: SPECIFICATION
E2	EIFS	STO LOTUSAN SYSTEM	191 STOLT LOTUSAN 1.5 - LIMESTONE FINISH	STO #32138	RE: SPECIFICATION
E3	EIFS	STO LOTUSAN SYSTEM	191 STOLT LOTUSAN 1.5 - LIMESTONE FINISH	STO #32139	RE: SPECIFICATION
E4	EIFS	STO LOTUSAN SYSTEM	191 STOLT LOTUSAN 1.5 - LIMESTONE FINISH	STO #32140	RE: SPECIFICATION
E5	EIFS	STO LOTUSAN SYSTEM	191 STOLT LOTUSAN 1.5 - LIMESTONE FINISH	STO #32141	RE: SPECIFICATION
E6	PAINT	BENJAMIN MOORE	AURA WATERBORNE - FLAT FINISH 629	MATCH OSHA YELLOW	TYP FOR ALL PIPE BOLLARDS
E7	PAINT	BENJAMIN MOORE	AURA WATERBORNE - FLAT FINISH 629	PAINT TO MATCH E6'S "E4"	
E8	PAINT	BENJAMIN MOORE	AURA WATERBORNE - FLAT FINISH 629	PAINT TO MATCH E6'S "E4"	
E9	ALUM STOREFRONT	SEE SPECS	SEE SPECS	CLEAR ANODIZED	
E10	ALUM AUTOMATIC DOOR	STANLEY	SEE SPECS	CLEAR ANODIZED	
E11	FROSTED GLAZING FILM	3M	FASARA	"OPAQUE WHITE"	APPLIED TO INTERIOR FACE
E12	CURVED ALUM STOREFRONT	KAWNEER	ENCORE 4-1/2"	CLEAR ANODIZED	RE: A-7.0 FOR MORE INFORMATION
E13	ALUM STOREFRONT DOOR	KAWNEER	STANDARD 500	CLEAR ANODIZED	RE: A-7.0 DOOR SCHEDULE FOR MORE INFORMATION
E14	CANOPY FASCIA & MISC. METAL			BRUSHED ALUMINUM	METAL CANOPIES, FINNS & TOWER CORNICE TYP
E15	PAINT	BENJAMIN MOORE	WEATHERPROOF ALUMINUM PAINT J44	PAINT TO MATCH E14	FLASHING ADJACENT TO E14 FINISH: STEEL SPIRE TYP
E16	PRECAST CONCRETE WAINSCOT & CAP	WAUSAU TILE	CUSTOM PRECAST CONCRETE PANELS	FINISH COLOR TO MATCH E1	WORTAR TO MATCH WAINSCOT COLOR
E17	CAST-IN-PLACE CONCRETE COLUMN BASES		SMOOTH FINISH	FINISH COLOR TO MATCH E1	

**LEGEND**

(X) - RE: EXTERIOR FINISH SCHEDULE

**ELEVATION NOTES:**

- ALL SIGNAGE SHALL BE UNDER SEPARATE PERMIT.
- UNLESS NOTED OTHERWISE, ITEMS NOTED AS "MM" REFER TO MITIGATION MEASURES OUTLINED IN THE "BEACH AND ENDANGER CORRIDORS SPECIFIC PLAN."
- GLASS COATINGS PROVIDED AS FINISH E1 TO ACHIEVE COMPLIANCE OF MM4.1-2 PLEASE REFER TO TABLE BELOW EACH ELEVATION.
- 1,002 SF GLASS COATING / 2,000 SF TOTAL GLAZING = 50.1% OF ALL GLAZING HAS A GLASS COATING
- ALL EIFS & NON-METALLIC PAINT PRODUCTS HAVE A VOC LIMITS LESS THAN 50 g/L TO BE COMPLIANT WITH MM4.2-12. TECHNICAL DATA SHEETS ARE PROVIDED ON SHEET A-4TDS
- METALLIC PAINT FOR ALUMINUM IS COMPLIANT WITH MAXIMUM VOC LIMIT OF LESS THAN 500 g/L PER CALGREEN 2010 TABLE 5.504.3. TECHNICAL DATA SHEETS ARE PROVIDED ON SHEET A-4TDS
- ALUMINUM DOOR & WINDOW FRAMING, ALUMINUM CANOPY FASCIA, MISCELLANEOUS METAL, AND PRECAST CONCRETE WAINSCOT & CAPS WILL BE COMPLIANT WITH MM4.2-13



**3 ENLARGED EIFS ACCENT ELEVATION**  
SCALE: 1/4" = 1'-0"

**CVS pharmacy**  
**CALIFORNIA PROTO - LEFT SIDE DRIVE - THRU**  
 STORE NUMBER: 07088  
 16961 BEACH BLVD.  
 (NWC WARNER BLVD & BEACH BLVD),  
 HUNTINGTON BEACH, CA 92647  
 PROJECT TYPE: NEW STORE  
 DEAL TYPE: FEE FOR SERVICE / LAND  
 CS PROJECT NUMBER: 47733

**ARCHITECT OF RECORD**  
**JACOBS**  
 JACOBS ENGINEERING GROUP INC.  
 180 PROMENADE CIRCLE  
 SUITE 300  
 SACRAMENTO, CA 95834  
 TEL (916) 929-3323  
 FAX (916) 929-1772

**CONSULTANT:**

**DEVELOPER:**

**DEVCO LP**  
 18818 TELLER AVE, SUITE 100  
 IRVINE, CA 92612  
 PHONE (949) 476-2700  
 FAX (949) 476-2777

**SEAL:**

**LICENSED ARCHITECT**  
 THOMAS A. HATFIELD, III  
 14416  
 01/31/2013 RENEWAL DATE  
 STATE OF CALIFORNIA

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL THE SEAL AND SIGNATURE OF THE RESPONSIBLE REGISTRANT APPEARS ON THE DRAWING, AND PROPER PERMIT FORMS AND RELATED FEES ARE TRANSMITTED BY THE OWNER, OWNER'S AGENT OR CONTRACTOR TO THE AUTHORITY HAVING JURISDICTION

**REVISIONS:**

REGULATORY AGENCY COMMENTS 06/23/11  
 DEVELOPER PLAN REVIEW COMMENTS 09/01/11

**DRAWING BY:** CGN  
**DATE:** 19 APRIL 2011  
**JOB NUMBER:** FRWR3701  
**TITLE:**

**EXTERIOR ELEVATIONS**

**SHEET NUMBER:**  
 A-4.1

**COMMENTS:**  
 ISSUED FOR PERMIT AND PRICING



Ⓔ



021412  
R500

Aluminum supports to match building color, mounted on 8" x 4" steel tubing.

**SOUTH ELEVATION**

Scale: 1/16"=1'-0"

Ⓑ

Ⓐ



Aluminum supports to match building color, mounted on 8" x 4" steel tubing.

**EAST ELEVATION**

Scale: 1/16"=1'-0"



Date:	12-23-11	Project Name:	CVS Pharmacy
Scale:		Address:	Warner Ave & Beach Blvd
Drawn:	Paula M.	City / State:	Huntington Beach, CA
PM:	TH	Client Approval:	Date:

This is an original unpublished drawing created by Coast Sign, Inc. It is submitted for your personal use in conjunction with a project being planned for you by Coast Sign, Inc., And shall not be reproduced, used by or disclosed to any firm or corporation for any purpose whatsoever without written permission.

No.	Designer	Date	Revision Notes
7	HA	02-08-12	Refer to PATHFINDER.
8			
9			
10			
11			
12			

**DESIGN DRAWING 2 of 7**

Request Number:  
**DEV-CVS1-00280-r7**

File Location:  
W:\CVS- Pharmacy\Art\Drawings\PRJ-CVS1-00285



02-14-12  
R204

**NORTH ELEVATION**

Scale: 1/16"=1'-0"



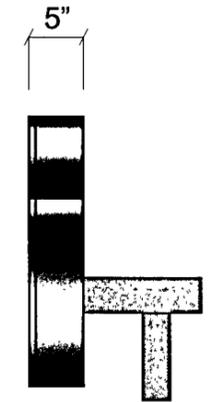
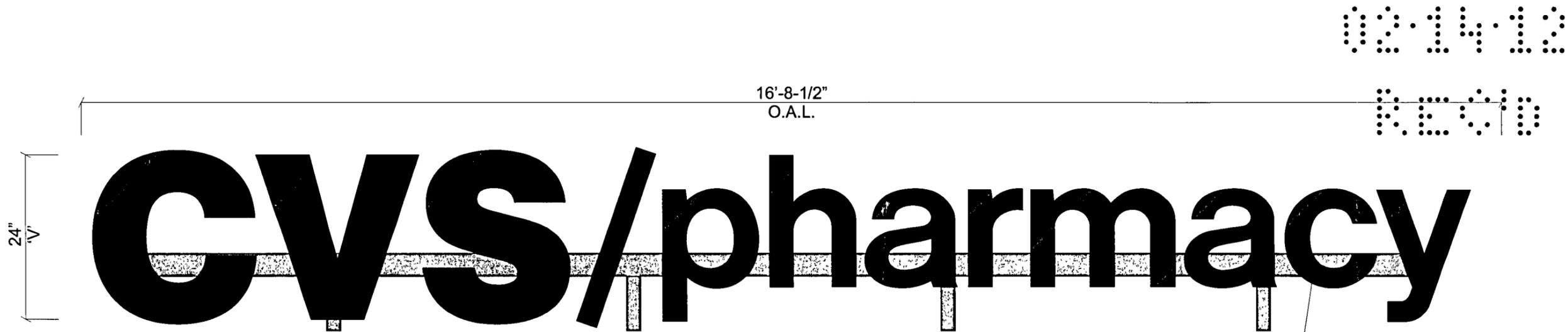
**WEST ELEVATION**

Scale: 1/16"=1'-0"



Date: 12-23-11	Project Name: CVS Pharmacy	This is an original unpublished drawing created by Coast Sign, Inc. It is submitted for your personal use in conjunction with a project being planned for you by Coast Sign, Inc., And shall not be reproduced, used by or disclosed to any firm or corporation for any purpose whatsoever without written permission.	No.	Designer	Date	Revision Notes
Scale:	Address: Warner Ave & Beach Blvd		7	HA	02-08-12	Refer to PATHFINDER.
Drawn: Paula M.	City / State: Huntington Beach, CA		8			
PM: TH	Client Approval: _____ Date: _____		9			
			10			
			11			
			12			

**DESIGN DRAWING 3 of 7**  
 Request Number:  
**DEV-CVS1-00280-r7**  
 File Location:  
 W:\CVS- Pharmacy\ArtDrawings\PRJ-CVS1-00285



**(A)(E) FRONT VIEW @ CHANNEL LETTERS**  
Scale: 3/4"=1'-0"

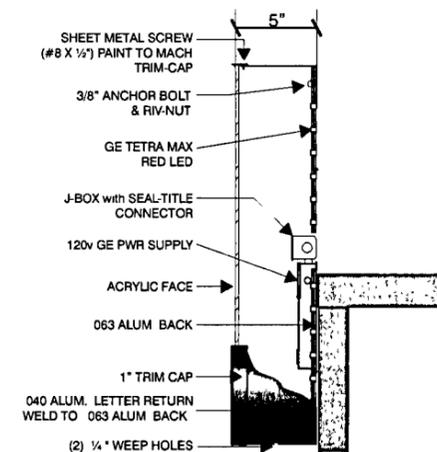
33.41 SQ. FT.

**Specifications:**

Manufacture & install (1) set CVS/Pharmacy internally illuminated self contained channel letters.  
 1" bronze jewelite trimcap  
 0.040" X 8" alum. coil painted dark bronze returns.  
 0.063 pre-paint white aluminum back.  
 3/16" red acrylic #2793 face.

Aluminum supports to match building color, mounted on 8" x 4" steel tubing.

**SIDE VIEW**



**VERTICAL SECTION @ CHANNEL LETTERS**  
Scale: NTS

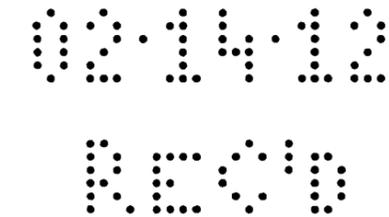
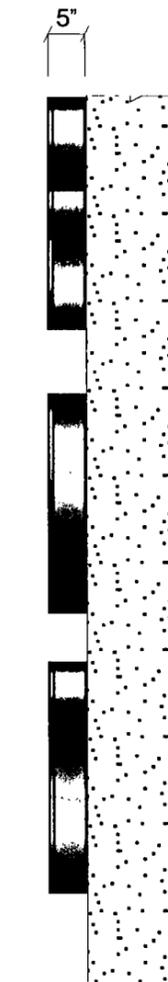
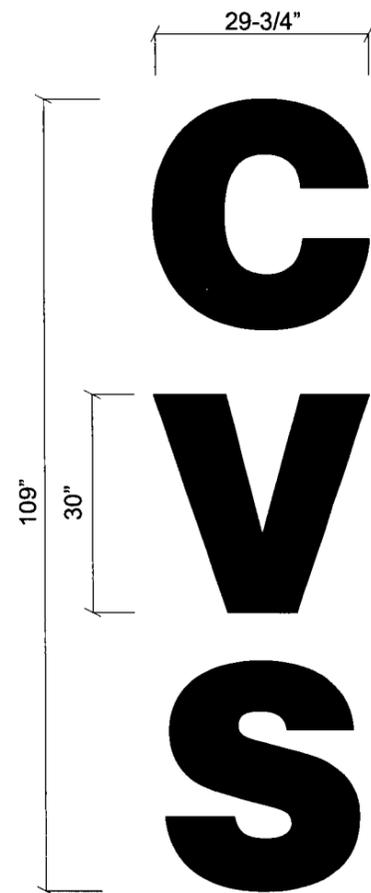


Date:	12-23-11	Project Name:	CVS Pharmacy
Scale:		Address:	Warner Ave & Beach Blvd
Drawn:	Paula M.	City / State:	Huntington Beach, CA
PM:	TH	Client Approval:	Date:

This is an original unpublished drawing created by Coast Sign, Inc. It is submitted for your personal use in conjunction with a project being planned for you by Coast Sign, Inc., And shall not be reproduced, used by or disclosed to any firm or corporation for any purpose whatsoever without written permission.

No.	Designer	Date	Revision Notes
7	HA	02-08-12	Refer to PATHFINDER.
8			
9			
10			
11			
12			

**DESIGN DRAWING 4 of 7**  
 Request Number:  
**DEV-CVS1-00280-r7**  
 File Location:  
 W:\CVS- Pharmacy\Art\Drawings\PRJ-CVS1-00285



**FRONT VIEW @ CHANNEL LETTERS**

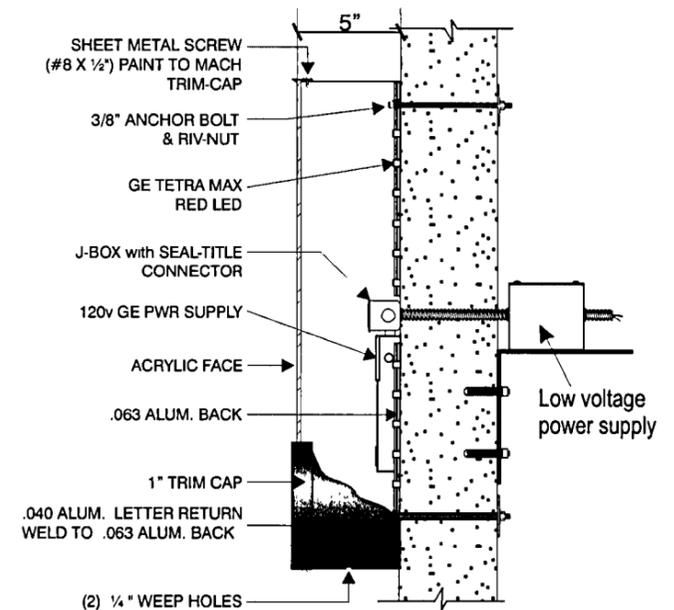
Scale: 1/2"=1'-0"

22.51 SQ. FT.

**Specifications:**

Manufacture & install (1) set CVS/Pharmacy internally illuminated self contained channel letters.  
 1" bronze jewelite trimcap  
 0.040" X 8" alum. coil painted dark bronze returns.  
 0.063 pre-paint white aluminum back.  
 3/16" red acrylic #2793 face.

**SIDE VIEW**



**VERTICAL SECTION @ CHANNEL LETTERS**

Scale: NTS



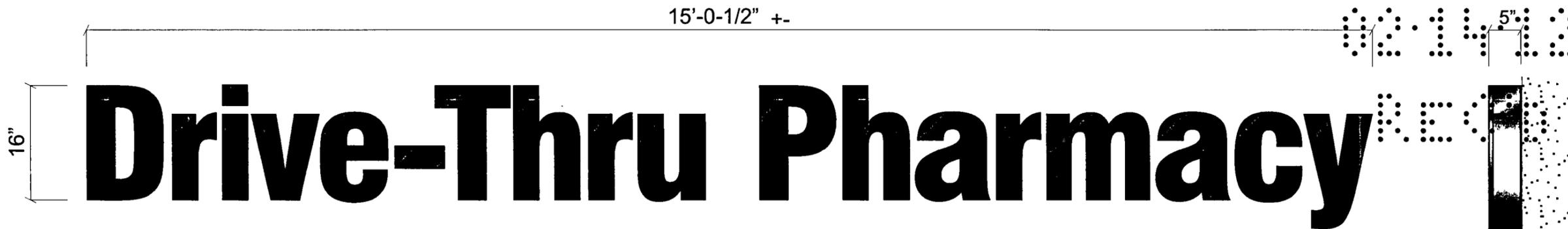
Date:	12-23-11	Project Name:	CVS Pharmacy
Scale:		Address:	Warner Ave & Beach Blvd
Drawn:	Paula M.	City / State:	Huntington Beach, CA
PM:	TH	Client Approval:	Date:

This is an original unpublished drawing created by Coast Sign, Inc. It is submitted for your personal use in conjunction with a project being planned for you by Coast Sign, Inc., And shall not be reproduced, used by or disclosed to any firm or corporation for any purpose whatsoever without written permission.

No.	Designer	Date	Revision Notes
7	HA	02-08-12	Refer to PATHFINDER
8			
9			
10			
11			
12			

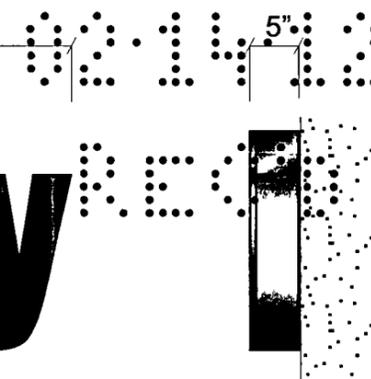
**DESIGN DRAWING 5 of 7**

Request Number:  
**DEV-CVS1-00280-r7**  
 File Location:  
 W:\CVS- Pharmacy\Art\Drawings\PRJ-CVS1-00285



**D** FRONT VIEW @ ILLUMINATED CHANNEL LETTERS  
Scale: 3/4"=1'-0"

20.05 SQ. FT.

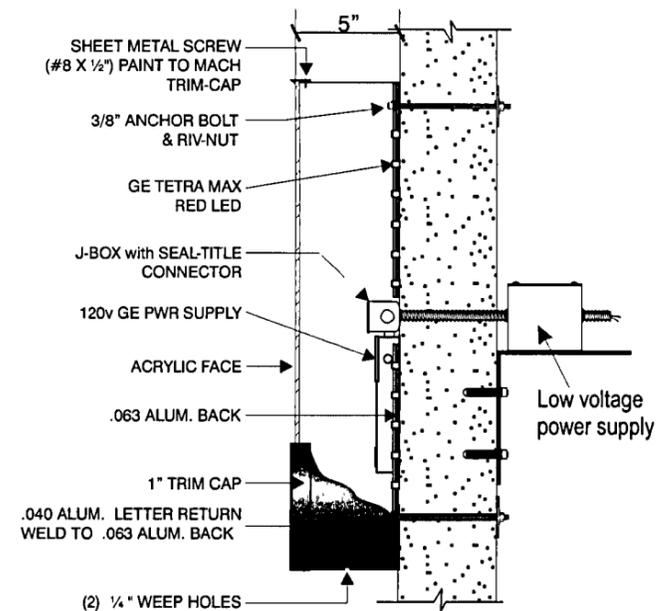


SIDE VIEW

**Specifications:**

Manufacture & install (1) set 18" internally illuminated self contained channel letters.

- TRIMCAP SPEC: 1" BRONZE JEWELITE TRIM CAP
- RETURN SPEC: 0.040" X 5.3" ALUM. COIL PAINTED DARK BRONZE.
- BACK SPEC: 0.063 PRE-PAINT WHITE ALUMINUM
- FACE SPEC: 3/16" RED ACRYLIC # 2793



**VERTICAL SECTION @ CHANNEL LETTERS**

Scale: NTS

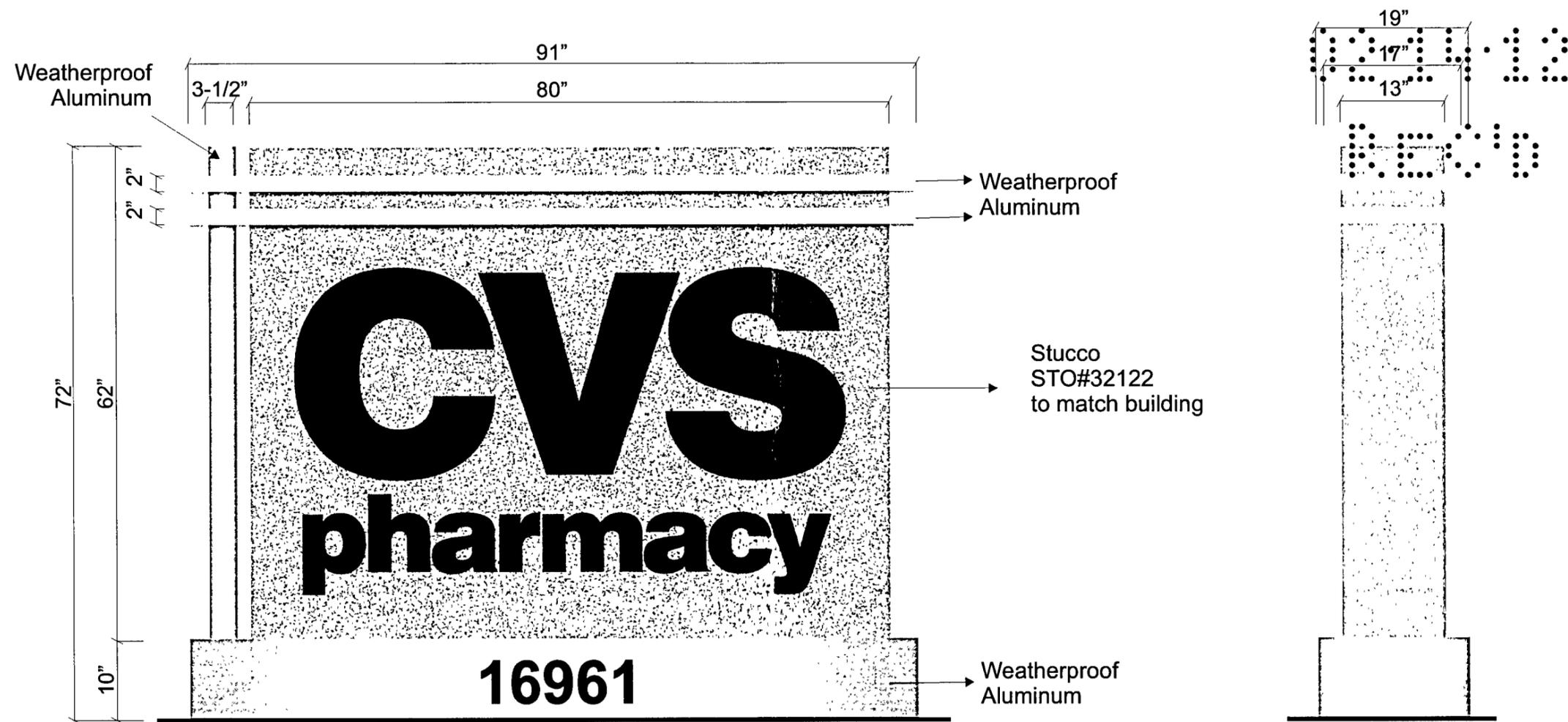


Date:	12-23-11	Project Name:	CVS Pharmacy
Scale:		Address:	Warner Ave & Beach Blvd
Drawn:	Paula M.	City / State:	Huntington Beach, CA
PM:	TH	Client Approval:	Date:

This is an original unpublished drawing created by Coast Sign, Inc. It is submitted for your personal use in conjunction with a project being planned for you by Coast Sign, Inc., And shall not be reproduced, used by or disclosed to any firm or corporation for any purpose whatsoever without written permission.

No.	Designer	Date	Revision Notes
7	HA	02-08-12	Refer to PATHFINDER.
8			
9			
10			
11			
12			

**DESIGN DRAWING 6 of 7**  
Request Number:  
**DEV-CVS1-00280-r7**  
File Location:  
W:\CVS- Pharmacy\Art\Drawings\PRJ-CVS1-00285



**FRONT VIEW @ ILLUMINATED MONUMENT SIGN**  
 Scale: 1/2"=1'-0"

**Specifications:**

Routed out aluminum face with push thru acrylic letters.  
 First surface apply vinyl.

**SIDE VIEW**

**COAST SIGN**  
 INCORPORATED  
 1500 West Embassy St. Anaheim, CA 92802  
 (714) 520-9144 FAX: (714) 520-5847

Date: 12-23-11	Project Name: CVS Pharmacy
Scale:	Address: Warner Ave & Beach Blvd
Drawn: Paula M.	City / State: Huntington Beach, CA
PM: TH	Client Approval: _____ Date: _____

This is an original unpublished drawing created by Coast Sign, Inc. It is submitted for your personal use in conjunction with a project being planned for you by Coast Sign, Inc., And shall not be reproduced, used by or disclosed to any firm or corporation for any purpose whatsoever without written permission.

No.	Designer	Date	Revision Notes
7	HA	02-08-12	Refer to PATHFINDER.
8			
9			
10			
11			
12			

**DESIGN DRAWING 7 of 7**  
 Request Number:  
**DEV-CVS1-00280-r7**  
 File Location:  
 W:\CVS- Pharmacy\Art\Drawings\PRJ-CVS1-00285