



City of Huntington Beach Planning and Building Department
STAFF REPORT

TO: Planning Commission
FROM: Scott Hess, AICP, Director of Planning and Building
BY: Jill Arabe, Associate Planner 
DATE: December 9, 2014

SUBJECT: **MITIGATED NEGATIVE DECLARATION NO. 14-004/ CONDITIONAL USE PERMIT NO. 12-011/ COASTAL DEVELOPMENT PERMIT NO. 12-007 (OCEANSIDE PROPERTIES MIXED USE BUILDING)**

APPLICANT: Jeff Bergsma, Team Design, 221 Main St., Suite 'S', Huntington Beach, CA 92648

PROPERTY

OWNER: Oceanside Properties LLC, 3810 Wilshire Blvd. #911, Los Angeles, CA 90010

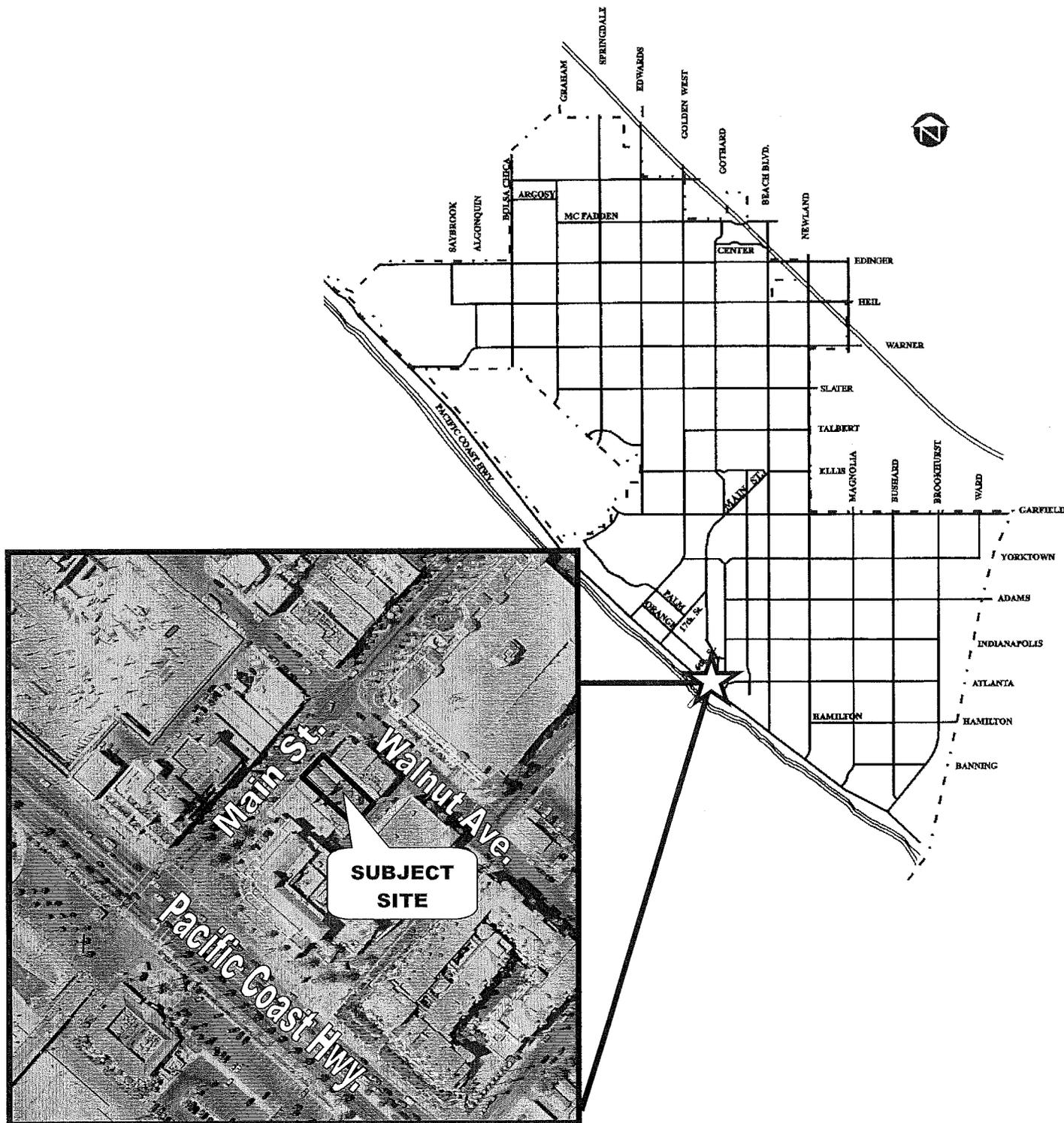
LOCATION: 122-124 Main Street, 92648 (east side of Main Street, between Pacific Coast Highway and Walnut Avenue)

STATEMENT OF ISSUE:

- ◆ Mitigated Negative Declaration (MND) No. 14-004 represents a request to analyze the potential environmental impacts associated with the project.
- ◆ Conditional Use Permit (CUP) No. 12-011 and Coastal Development Permit (CDP) No. 12-007 represent requests for the following:
 - To partially demolish existing historical buildings, rehabilitate and relocate historic storefront facades, construct a three-story mixed use building, and participate in the parking in-lieu fee program to offset the commercial parking spaces not provided onsite.
- ◆ Staff's Recommendation:
Approve Mitigated Negative Declaration No. 14-004 based upon the following:
 - The project, with incorporation of mitigation measures, will not have significant adverse impacts on the environment.

Approve Conditional Use Permit No. 12-011/ Coastal Development Permit No. 12-007 based upon the following:

- The project is consistent with the General Plan and zoning designations and will contribute to the City's commercial, office, and housing stock.
- The development will be compatible with surrounding uses and the urban environment of the Downtown.



VICINITY MAP
MITIGATED NEGATIVE DECLARATION NO. 14-004/ CONDITIONAL
USE PERMIT NO. 12-011/ COASTAL DEVELOPMENT PERMIT NO. 12-007
(OCEANSIDE PROPERTIES MIXED USE BUILDING – 122-124 MAIN STREET)

- The development involves right-of-way dedication for a greater sidewalk width while retaining the historical significance of the existing structures.
- The project will improve public access to coastal resources and not impact coastal views.
- Adequate parking is provided with participation in the in-lieu fee parking program.

RECOMMENDATION:

Motion to:

- A. “Approve Mitigated Negative Declaration No. 14-004 with findings and mitigation measures (Attachment No. 1);”
- B. “Approve Conditional Use Permit No. 12-011 and Coastal Development Permit No. 12-007 with findings and suggested conditions of approval (Attachment No. 1)”

ALTERNATIVE ACTION(S):

The Planning Commission may take alternative actions such as:

- A. “Deny Mitigated Negative Declaration No. 14-004, Conditional Use Permit No. 12-011, and Coastal Development Permit No. 12-007 with findings for denial.”
- B. “Continue Mitigated Negative Declaration No. 14-004, Conditional Use Permit No. 12-011, and Coastal Development Permit No. 12-007 and direct staff accordingly.”

PROJECT PROPOSAL:

Mitigated Negative Declaration No. 14-004 represents a request to analyze the potential environmental impacts associated with the project pursuant to Section 240.04, Environmental Review, of the Huntington Beach Zoning and Subdivision Ordinance (HBZSO) and the California Environmental Quality Act (CEQA).

Conditional Use Permit No. 12-011/ Coastal Development Permit No. 12-007 represent requests for the following:

- To partially demolish existing historical buildings, rehabilitate and relocate historic storefront facades, and construct a three-story mixed use building and associated infrastructure pursuant to Downtown Specific Plan (DTSP) Section 3.3.1.3.
- To participate in the parking in-lieu fee program to offset the commercial parking spaces not provided onsite pursuant to DTSP Section 3.2.26.11 and Chapter 245 of the Huntington Beach Zoning and Subdivision Ordinance (HBZSO).

The project is located within the downtown core area, which is comprised of mostly visitor-serving commercial developments with ground floor retail and restaurant uses mixed with upper-story office, commercial, and residential uses.

The project site is developed with two existing buildings of approximately 1,050 square feet and 1,150 square feet and paved with a parking lot at the rear of the site. A chain link fence is built along the rear property line separating the site from the alley with an opening for access into the parking lot.

The project request is to partially demolish the two existing commercial buildings and construct a new approximately 9,500 square feet three-story mixed use building on the subject site. The new mixed use building includes retail space on the first floor, office space on the second floor, one- 1-bedroom unit and two 2-bedroom units on the third floor. Because the two existing commercial buildings are listed as historical resources in the Historic and Cultural Resources Element of the City of Huntington Beach General Plan, the applicant is requesting to retain, rehabilitate, and relocate the storefront facades approximately six feet back from their existing locations at the front property line.

A total of 24 parking spaces are required for all uses based on commercial square footage and bedroom count per residential unit; however only seven parking spaces are proposed onsite to serve the residential uses. Each dwelling unit will have two enclosed parking spaces in tandem configuration. One guest parking space will also be provided. In order to satisfy the remaining requirement of 17 commercial parking spaces, the applicant is proposing to pay parking in-lieu fees in conjunction with the project request.

Study Session

The project was introduced to the Planning Commission (PC) on November 25, 2014, at a study session. Commissioner Kalmick identified that the historical resources assessment by PCR stated both that the project was complying and did not comply with Standard 3 of the Secretary of the Interior's Standards. The typographical error has been revised within the report and concludes that the project does not fully conform to Standard 3. The PC also requested additional information regarding the parking in-lieu fee program, affordable housing requirements, the Downtown Specific Plan purpose and goals, and the historical and architectural background of the site. Staff is addressing the affordable housing requirements and DTSP purpose and goals below and the remaining items will be addressed in the analysis section of the report.

Affordable Housing

Pursuant to HBZSO Section 230.26 and DTSP Section 3.2.20, a minimum of 10% of all new residential construction consisting of three or more units in size shall be affordable housing units. The whole number established by dividing the total unit count proposed by 10 shall be affordable units, unless the developer of the residential project consisting of 30 or fewer units elects to pay a fee in lieu of providing the units on-site to fulfill the requirement. The proposed development consists of three (3) residential rental units, which would require one unit to be available to low or moderate income households. The applicant/property owner has elected to pay the in-lieu fee, which is currently \$24,420, instead of providing one affordable unit onsite. Moreover, the fees accepted in lieu of the construction of affordable units are placed in the City's affordable housing trust fund. Accordingly, the funds shall be used for projects which have a minimum of 50% of the dwelling units affordable to very low- and low-income households, with at least 20% of the units available to very low-income households. The funds may, at the discretion of the City Council, be used for pre-development costs, land or air rights acquisition, rehabilitation, land write downs, administrative costs, gap financing, or to lower the interest rate of construction loans or permanent financing.

Downtown Specific Plan purpose and goals

The Downtown Specific Plan was updated and adopted by City Council Resolution No. 2009-61 on January 19, 2010, and certified by the California Coastal Commission on October 6, 2011. As indicated in the Introduction Chapter of the DTSP, the specific plan update involved community outreach and analyzing existing conditions, and addressing the existing issues such as parking, the mix of land uses, the lack of pedestrian orientation, and the desire to expand development past the first three blocks of Main Street. As a result of the goals, objectives, and policies of the updated DTSP, development standards were amended to encourage mixed-use development on underused parcels, unique architecture, integrating pedestrian pathways and ensuring adequate parking is available with existing and new development. Some of the changes in the specific plan included reducing parking ratios in District 1 (downtown core), increasing building height/stories, and reducing minimum site sizes for development. For example, in District 1 the restaurant parking ratio was amended from 10 spaces per 1,000 sf to 8 spaces per 1,000 sf, and the office parking ratio changed from 4 per 1,000 sf to 2 per 1,000 sf. The rationale behind reduced parking ratios was due to the shared parking environment in the downtown, considering that different uses have varying peak demands during the day, week, and throughout the year. Offices typically have lower parking demands on weekends or evenings because of hours of operation, whereas, restaurants and retail establishments typically have higher parking demands on weekends and evenings. A parking study was done in 2009 as part of the DTSP update and Program EIR, and it reflects the current conditions of the City’s downtown shared parking environment. Furthermore, high parking demands are heavily related to special events such as the Fourth of July Parade and the US Surf Open and good beach weather. The demand for parking stems not solely as a result of commercial development but it is also due to the amount of beach visitors occupying street and structure parking.

ISSUES:

Subject Property And Surrounding Land Use, Zoning And General Plan Designations:

LOCATION	GENERAL PLAN	ZONING	LAND USE
Subject Property:	M>30-d-sp-pd (Mixed Use > 30 du/acre – Design Overlay – Specific Plan Overlay – Pedestrian Overlay)	SP5-CZ-District 1 (Downtown Specific Plan – Coastal Zone Overlay – Downtown Core)	Commercial
North, East, South, and West (across Main St.) of Subject Property:	M>30-d-sp-pd	SP5-CZ-District 1	Commercial

General Plan Conformance:

The General Plan Land Use Map designation on the subject property is currently M>30-d-sp-pd (Mixed Use > 30 du/acre – Design Overlay – Specific Plan Overlay – Pedestrian Overlay). The proposed project is consistent with the General Plan land use designation of Mixed Use and the goals, objectives, and policies of the City’s General Plan as follows:

A. Land Use Element

- Goal LU 11: Achieve the development of projects that enable residents to live in proximity to their jobs, commercial services, and entertainment, and reduce the need for automobile use.
- Objective LU 11.1: Provide for the development of structures that integrate housing with commercial uses, and ensure the compatibility of these uses.
- Policy LU 11.1.1: Accommodate the development of structures and sites that integrate housing units with retail and office commercial uses in areas designated for “mixed use” on the Land Use Plan Map in accordance with Policy LU 7.1.1.
- Objective LU 15.2: Promote the establishment of commercial and mixed-use districts characterized by high levels of pedestrian activity.
- Objective LU 15.5: Ensure that development achieves the visual and physical character intended for the district in which it is located.

The project will continue to provide visitor-serving commercial uses at the ground floor, and integrate office and residential uses above. By utilizing and rehabilitating the existing storefront facades consistent with the Secretary of the Interior’s Standards, the visual and historical relationship of the commercial storefronts along Main Street remains. The new construction of the upper story residential units will be setback sufficiently to maintain the visually prominent historical facades. The proposed additional uses are compatible with the urban environment of the Downtown area and encourage pedestrian oriented activity.

The proposed project incorporates a building setback of three feet-six inches from the ultimate right-of-way (after dedication) consistent with the Downtown Specific Plan and similar to other projects in the vicinity. The setback will allow for public open space improvements including decorative paving and landscaping and greater sidewalk area for pedestrian access. Siting buildings along the sidewalk is a consistent pattern prevalent in the downtown area that visually ties the streetscape together. It provides visual interest while enhancing the pedestrian experience.

B. Historic and Cultural Resources Element

- Goal HCR 1: To promote the preservation and restoration of the sites, structures and districts which have architectural, historical, and/or archaeological significance to the City of Huntington Beach.
- Policy HCR 1.2.1: Utilize the Secretary of Interior Standards for Historic Rehabilitation and standards and guidelines as prescribed by the State Office of Historic Preservation as the architectural and landscape design standards for rehabilitation, alteration, or additions to sites containing historic resources

in order to preserve these structures in a manner consistent with the site's architectural and historic integrity.

Policy HCR 1.3.6: Encourage appropriate adaptive reuse of historic resources in order to prevent misuse, disrepair and demolition, taking care to protect surrounding neighborhoods from incompatible uses.

The existing historical storefronts will be preserved, rehabilitated, and relocated six feet back from their current locations. The storefronts are rare examples of the early architectural heritage of the City and with the project, will continue to be eligible as historical resources. The existing buildings located behind the storefronts are minimally visible from the street and are in poor condition to accommodate the new uses. As indicated by the Historical Resources Assessment by PCR Services, the side and rear elevations and building interiors do not principally contribute to the eligibility of the historical resources.

C. Urban Design Element

Goal UD 1: Enhance the visual image of the City of Huntington Beach.

Objective UD 1.1: Identify and reinforce a distinctive architectural and environmental image for each district in Huntington Beach.

Goal UD 2: Protect and enhance the City's public coastal views and oceanside character and screen any uses that detract from the City's character.

The project will allow for the continued use of the historical storefront facades, which will retain the visual streetscape of Main Street. Although the facades will be relocated approximately six feet back from their existing location, the project will enhance the pedestrian experience by providing a wider sidewalk in front of the building. In addition, the project will be consistent with the mixed use character of the Downtown with a proposal for retail, office, and residential uses.

D. Coastal Element

Policy C 1.1.4: Where feasible, locate visitor-serving commercial uses in existing developed areas or at selected points of attraction for visitors.

Policy C 4.1.1: The scenic and visual qualities of coastal areas shall be considered and protected as a resource of public importance. Permitted development shall be sited and designed to protect public views to and along the ocean and scenic coastal areas.

Policy C 5.1.6: Reinforce downtown as the City's historic center and as a pedestrian-oriented commercial and entertainment/recreation district.

The project provides for the incorporation of visitor-serving commercial uses on the ground floor and office and residential uses within the upper floors. The mix of uses complements the urban downtown environment by integrating commercial services with residential supporting uses. As part of the

project, the existing facades will be relocated back from their current location to expand the sidewalk width and improve public access. As a result, public views will not be impacted. The retention, rehabilitation, and relocation of the historic facades allows for the continuation of the false front architectural style of the City's history rather than the demolition of the historic resource. With the construction of the new building behind the existing facades and incorporation of mitigation measures, the project will reinforce the historical significance of the site through the visual prominence of the storefront facades at the forefront.

Zoning Compliance:

This project complies with the requirements of the SP5 zoning district. A zoning conformance table (Attachment No. 7) shows an overview of the project's conformance to the development standards. In addition, a list of City Code Requirements of the applicable provisions of the DTSP, HBZSO and Municipal Code has been provided to the applicant (Attachment No. 6) for informational purposes only.

Urban Design Guidelines Conformance:

Due to the site's designation as a historic resource in the City's General Plan, the architectural changes to the development shall comply with the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings. The façade at 122 Main is a two-story Western false-front storefront consisting of wood frame with a stucco finish, two rectangular window openings on the second-story level, and a tall crenellated parapet that wraps around a projecting belt-course above and below the second-floor windows. The façade at 124 Main is a single-story Streamline Moderne storefront with a stucco finish, fluted pilasters at each corner, tall parapet with wide band along the top and large recessed panel, recessed center entrance, large glass display windows, and multi-light transom above the display windows. The project will retain and rehabilitate the existing storefront facades; however the facades will be relocated approximately six feet from the existing front property line due to City requirements for street and sidewalk dedication and public open space. The remaining portions of the structures would be replaced with a three-story mixed use building.

The design of the new construction is respectful and sensitive to the historic storefronts. The new construction incorporates the horizontal lines of the historic storefronts and provides upper story setbacks to ensure the visual prominence of the storefront facades. As conditioned, the building color will differ between the new and old walls (as viewed from Main Street) and the modern glass balcony railings will be structurally separate from the parapets on the storefronts. The placement, scale and architectural rhythm of the window openings on the new construction are also compatible with the window and door openings on the historic storefronts. The project considers the pedestrian oriented environment and creates a wider sidewalk for public access and open space by relocating the storefronts. The distinctive materials, features, finishes and construction styles that characterize the property will be preserved. The project does not fully conform to the Secretary of the Interior's Standards because of the relocation of the storefronts and removal of the side and rear elevations. However the project as a whole would not substantially alter the eligibility of the historical resources and with mitigations incorporated, the project would result in a less than significant impact under CEQA.

Environmental Status:

On October 28, 2014, the Environmental Assessment Committee (EAC) recommended processing of a mitigated negative declaration for the project. Staff has reviewed the environmental assessment and determined the project with the incorporation of mitigation measures would not have significant environmental impacts. Subsequently, draft Mitigated Negative Declaration No. 14-004 (Attachment No. 4) was prepared pursuant to Section 240.04 of the HBZSO and the provisions of CEQA.

The Planning and Building Department advertised draft Mitigated Negative Declaration No. 14-004 for 20 days commencing on November 6, 2014, and concluding on November 26, 2014. Due to publication issues with the newspaper, the comment period was extended to December 2, 2014. Staff received two comments during the comment period (Attachment No. 5) and responses have been included as an attachment to this report.

Environmental Board Comments:

The Environmental Board was notified of the Mitigated Negative Declaration. As of December 2, 2014, no response has been received.

Prior to any action on Conditional Use Permit No. 12-011 and Coastal Development Permit No. 12-007, it is necessary for the Planning Commission to review and act on Mitigated Negative Declaration No. 14-004. Staff, in its initial study of the project, is recommending that the Mitigated Negative Declaration be approved with findings and mitigation measures.

Coastal Status: The proposed project is within a non-appealable portion of the Coastal Zone. Coastal Development Permit No. 12-007 is being processed concurrently with Conditional Use Permit No. 12-011 pursuant to Chapter 245 of the HBZSO. The proposed project complies with the zoning code, as conditioned.

Design Review Board: The Design Review Board initially reviewed the project on November 13, 2014, however, continued the project to December 4, 2014, in order to review the historical analysis prepared with the draft mitigated negative declaration. Comments and recommendations received from the Design Review Board will be forwarded to the Planning Commission as late communications prior to the public hearing.

Subdivision Committee: Not applicable.

Other Departments Concerns and Requirements:

The Departments of Public Works, Police, Fire, Office of Business Development, and Planning and Building have reviewed the project and identified a list of recommended conditions that are incorporated into the suggested conditions of approval as well as code requirements (Attachment No. 6) applicable to the project. The Office of Business Development has reviewed the request and supports the project's participation in the parking in-lieu fee program. Business Development suggests ensuring that the retail and office space be designed to encourage the type of high quality tenants compatible with the style of retail and office uses desired for the downtown.

Public Notification:

Legal notice was published in the Huntington Beach/Fountain Valley Independent on November 27, 2014, and notices were sent to property owners of record and tenants within a 500 ft. radius of the subject property, individuals/organizations requesting notification (Planning Division's Notification Matrix), applicant, and interested parties. As of December 2, 2014, staff has received one comment letter in opposition to the project to retain only the facades of the historic structures (Attachment 9).

Application Processing Dates:

<u>DATE OF COMPLETE APPLICATION:</u>	<u>MANDATORY PROCESSING DATE(S):</u>
Mitigated Negative Declaration; Conditional Use Permit; Coastal Development Permit: June 27, 2014	MND: December 27, 2014 (within 180-days) CUP/CDP: Within 60 days of adoption of MND – February 27, 2015

ANALYSIS:

The primary issues to consider when analyzing this project are land use compatibility of the mixed use development with surrounding uses, the potential environmental impacts of the project, participation in the parking in-lieu fee program, and the preservation and relocation of the historic facades. The following is a detailed discussion of these issues.

Compatibility

Based on a net lot size of 5,525 square feet, the General Plan and zoning designation on the subject site allow for a mixed-use development with a maximum of three residential dwelling units. Adjacent uses are primarily commercial, but residential uses are also found within the downtown core. Varied heights of buildings from one to four stories are currently located along Main Street. Commercial uses are required on the ground floor with building fronts close to the sidewalk to establish a more intimate pedestrian scale. The mix of uses within the proposed building (retail, office, and residential) contributes to the atmosphere of an urban environment within the Downtown.

Compatibility between residential and commercial/office uses is a concern within a mixed-use project. It is important to design the project so that noise, odor, and security, etc., impacts are mitigated to the greatest extent possible. The mixed-use building is designed with the most intense use (retail) on the ground floor, which will have direct access to Main Street. The second floor offices are less intense than the retail component and more appropriate beneath the residential third floor. In addition, the trash enclosure on the first floor shall be expanded to accommodate all the uses onsite and shall include recycling bins.

Staff believes that the proposed development would be appropriate for the site because it will contribute additional housing opportunities to the City's housing stock, improve the wood frame structures that are in poor condition while preserving primary features of the historical buildings, and enhance the image and quality of life in the environment. The proposed project will not conflict with the identified goals,

policies, and objectives contained in the General Plan and will not have a negative impact on the environment. Staff recommends approval for the mix of uses.

MND Overview

The MND provides a detailed analysis of potential impacts associated with the proposed project (Attachment No. 4). The project was determined to have less than significant impacts with the incorporation of mitigation measures related to Cultural Resources and as applicable from the Downtown Specific Plan Program EIR. A Historical Resources Assessment was performed on the property by qualified historians, PCR Services, (Attachment No. 8) confirming the existing buildings as historic resources. The façade at 122 Main is considered a rare example of the Western False Front and the building appears individually eligible for listing in the National Register and the California Register and as a Huntington Beach Historical Landmark. It is representative of Huntington Beach's early architectural heritage and has enough integrity to convey its historical association with Pacific City and the possible site of City Hall. The building at 124 Main contributes to a potential National Register district when combined with other historic buildings within the 100 block of Main Street. The distinctive and character-defining features that contribute to the significance of the historical resources are the two-story Western False front façade of 122 Main and the one-story Streamline Moderne façade of 124 Main. As indicated by PCR in the Historical Resources Assessment, the side and rear elevations are secondary rather than primary character-defining features. The secondary elevations do not substantially contribute to the eligibility of the subject properties as historical resources and are not clearly visible from the public right-of-way. Furthermore, the visual and historical relationships with other historical resources in the surrounding setting will be preserved with the retention, rehabilitation and relocation of the storefront facades. In their evaluation of the project, PCR determined that retention of the historic facades and construction of a three-story building behind the false fronts would not materially impair the significance of the structures, with mitigation measures incorporated. The Secretary of the Interior's Standards require new work to be differentiated from the old and compatible with the historic materials. PCR confirmed that if the new construction were to be removed in the future, leaving the historic storefronts intact, the historic properties and their environment would be unimpaired and they would remain eligible as historical resources.

Four mitigation measures are proposed to reduce the potentially adverse impacts resulting from the relocation of the storefronts and removal of the side and rear elevations. Mitigation Measure CULT-1 involves the recordation of the subject properties in a Historic American Buildings Survey (HABS) report, which will include the history and appearance of the subject properties prior to commencement of construction. Of the two buildings, only 122 Main would be required to implement mitigation measure CULT-2, which would ensure that a demolition monitoring and salvage program is performed to evaluate the portions of the structure to be removed for salvage, analysis and interpretation in a report. Mitigation Measure CULT-3 requires a permanent metal plaque to be affixed to each storefront or a marker imbedded in the pavement in front, to briefly explain that the storefronts were relocated. Mitigation Measure CULT-4 requires the submittal of an engineered approved bracing plan to retain the structural integrity of the structures during transport.

Parking

The three residential units require seven (7) spaces and all spaces will be provided onsite. Each unit will have two enclosed spaces in tandem configuration that are accessed from the alley. The applicant is requesting to participate in the In-Lieu Parking Fee Program for 17 commercial parking spaces pursuant to Section 3.2.26.11 of the DTSP.

The In-Lieu Parking program was established in 1993 per City Council Resolution 6522 for certain properties within the Downtown Parking Master Plan area based on a shared parking concept. Visitors to the downtown area will usually park once and patronize multiple establishments and locations in one trip. In 1995, per City Council Resolution 6720 and 6721, the program was expanded and the fee was increased to \$12,000 per space with the option to pay over a 15-year term and adjusted annually based on the Consumer Price Index (CPI). In 2010, the Downtown Specific Plan was updated with recommendations to more effectively manage the parking supply in the downtown area through the in-lieu parking fee program.

The objective of the program is to facilitate traffic and pedestrian movement in the Downtown core, and provide future opportunities for additional parking. The site is not large enough to provide adequate vehicular circulation and turnaround for a 17-space parking area (surface lot or subterranean structure). It is suitable for the project to pay in-lieu fees for parking because the project site is located within the downtown core (District 1), which is an urban, pedestrian oriented, shared parking environment. Additional parking opportunities are created by the parking in-lieu fee program that would serve the project and maximize utilization of the parking supply for the downtown area. The parking in-lieu fee program creates programs such as valet, re-stripping, shuttle trolley, and other similar programs resulting in the provision of additional parking or construction of surface or structured parking and associated design costs in District 1 of the DTSP. Furthermore, within the shared parking environment of the downtown core, on-street parking and parking facilities serve multiple uses in the vicinity. Angled metered parking stalls are located in front of the subject site and a public parking structure is located across the street from the development.

The in-lieu fee amount applicable to this project is approximately \$26,383 per parking space. Therefore, a \$448,515.64 in-lieu parking fee is required to satisfy the parking requirement for this project and may be paid in multiple installments. The in-lieu fee payment will be combined with previously collected fees to provide future parking opportunities within the Downtown. An In-Lieu Parking Fee Participation Agreement is required to be submitted. The agreement shall be reviewed and approved by the Office of Business Development, Planning and Building Department, and City Attorney as to form and content and recorded with the County of Orange. A lump sum payment or first installment payment of the in-lieu fees shall be made to the City Treasurer prior to approval of issuance of building permits or a certificate of occupancy. The payment of in-lieu fees would be more beneficial to the downtown area than constructing the spaces for private use onsite. The downtown businesses would share the cost of providing public parking by paying into the in-lieu fee program. Staff recommends approval of the request for parking in-lieu fees for the mixed-use development.

Preservation and Relocation of Historic Facades

A bracing and relocation plan was included in the project plans to prevent damage to the historic storefronts and demonstrate that the wood frame construction of the facades could be transported. The applicant has identified that the wood frame construction is light weight and easy to transport. As stated above, the primary features of the historical resources are the Western False-front storefront and the Streamline Moderne storefront with recessed center entrance. These distinctive features will be preserved or repaired, or where necessary, due to damage or deterioration they will be replaced in kind. The removal or alteration of distinctive features that characterize the subject properties will be avoided, and the spatial relationships with other historical resources in the immediate surrounding setting will be preserved. According to PCR, the facades will be relocated a small distance from their original location, and their general relationship with the surrounding setting will still appear similar to what it was during the historic period.

The structural condition of the storefronts has been compromised over the years by weathering and some of the wood members are deteriorated or rotted. Similarly, the stucco cladding is over 80 years old and in need of repair. Due to damage or deterioration, some features will be repaired or replaced in kind. For example, the framing for the parapets at 122 Main will be repaired or replaced in kind to match the original. The plaster finish and horizontal banding on the parapet and storefront will be removed and replaced in kind. The window and door openings will be made ADA (Americans with Disabilities Act) compliant and compatible with the original historic appearance in design, color, texture, and where possible materials, substantiated by historic photographs. The fluted Art Deco pilasters on 124 Main will be preserved and the remaining plaster will be replaced in kind to original appearance. All the wood framing on the glass storefront is termite ridden and/or not original, therefore the glass storefront will be repaired or replaced in kind to match the original. The transom windows (steel frame and obscure glass) will be retained and preserved. The existing doors will be replaced with historically appropriate wood and glass doors, and the recessed entrance will be made ADA compliant. Based on PCR's historic resources assessment that the proposed preservation and relocation of the storefronts retains the property's eligibility as a historical resource, staff supports the project with mitigation measures.

SUMMARY:

Staff recommends approval of Mitigated Negative Declaration No. 14-004, Conditional Use Permit No. 12-011, and Coastal Development Permit No. 12-007 based upon the following:

- The project with incorporation of mitigation measures will not have significant adverse impacts to the environment.
- The project is consistent with the General Plan and zoning designations and will contribute to the City's commercial, office, and housing stock.
- The development will be compatible with surrounding uses and the urban environment of the Downtown.
- The development involves right-of-way dedication for a greater sidewalk width while retaining the historical significance of the existing structures.
- The project will improve public access to coastal resources and not impact coastal views.
- Adequate parking is provided with participation in the in-lieu fee parking program.

ATTACHMENTS:

1. Suggested Findings and Conditions of Approval for Mitigated Negative Declaration No. 14-004, Conditional Use Permit No. 12-011, Coastal Development Permit No. 12-007
2. Site Plan, Floor Plans and Elevations dated and received May 27, 2014
3. Narrative dated November 17, 2014
4. Mitigated Negative Declaration No. 14-004 (not attached – previously provided with Study Session packet and available for review at City Hall and City’s website
<http://www.huntingtonbeachca.gov/government/departments/planning/Environmentalreports.cfm>)
5. MND No. 14-004 Comment Letters and Response to Comments
6. Code Requirements Letter (for informational purposes only) dated July 10, 2014
7. Zoning Conformance Table
8. Historical Resources Assessment by PCR Services dated and received December 1, 2014
9. Letters in Opposition
10. Updated DPR Forms for 122-124 Main Street received and dated August 7, 2012

SH:JJ:JA

ATTACHMENT NO. 1

SUGGESTED FINDINGS AND CONDITIONS OF APPROVAL

MITIGATED NEGATIVE DECLARATION NO. 14-004

CONDITIONAL USE PERMIT NO. 12-011

COASTAL DEVELOPMENT PERMIT NO. 12-007

SUGGESTED FINDINGS FOR APPROVAL – MITIGATED NEGATIVE DECLARATION NO. 14-004:

1. Mitigated Negative Declaration No. 14-004 has been prepared in compliance with Article 6 of the California Environmental Quality Act (CEQA) Guidelines. It was advertised and available for a public comment period of twenty seven (27) days. Any comments received during the comment period were considered by the Planning Commission prior to action on the Mitigated Negative Declaration, Conditional Use Permit No. 12-011, and Coastal Development Permit No. 12-007.
2. Mitigation measures, incorporated into the attached conditions of approval, avoid or reduce the project's effects to a point where clearly no significant effect on the environment will occur.
3. There is no substantial evidence in light of the whole record before the Planning Commission that the project, as mitigated through the attached mitigation measures, will have a significant effect on the environment.

SUGGESTED FINDINGS FOR APPROVAL - CONDITIONAL USE PERMIT NO. 12-011:

1. Conditional Use Permit No. 12-011 for the partial demolition of existing historical buildings, rehabilitation and relocation of historic storefront facades, construction of a three-story mixed use building, and participation in the parking in-lieu fee program will not be detrimental to the general welfare of persons working or residing in the vicinity or detrimental to the value of the property and improvements in the neighborhood. The project will improve the condition of the site by removing the elevations that are in poor condition and replace the buildings with new construction that integrate a mix of uses that are similar to and consistent with existing uses in the vicinity. As discussed in the Mitigated Negative Declaration, the project with the incorporation of mitigation measures will result in less than significant environmental impacts including traffic, noise, lighting, aesthetics, and cultural resources. Proposed mitigation measures include proper documentation by a qualified historian of the historic properties, a demolition monitoring and salvage plan for 122 Main, a plaque/marker recognizing the historic structures, and an engineered bracing plan for the relocation of the facades. The relocation of the facades is necessary to widen the sidewalk in an effort to improve pedestrian access along Main Street. The project is located in the downtown area (District 1), which encourages mixed-use developments including residential uses and ground floor visitor-serving commercial uses. Because of the shared parking environment in the downtown area, the payment of parking in-lieu fees for the commercial uses is adequate because the parking in-lieu fee program provides additional parking opportunities that serve the downtown area. Synonymous with downtown as well as clustered shopping centers, visitors and residents typically park once (if traveling by vehicle) and frequently walk to and patronize multiple establishments in one visit. In

addition, various land uses experience different peak demands at different hours of the day and days of the week. The payment of in-lieu fees would be more beneficial to the downtown area than constructing the spaces for private use onsite. The downtown businesses would share the cost of providing public parking by paying into the in-lieu fee program.

2. The conditional use permit will be compatible with surrounding residential and commercial uses. The proposed building height is three stories with a rooftop deck and within comparable height limits of other developments along Main Street, which vary in height from one story to four stories. The proposed uses consist of the most intense use (retail) on the ground floor, office space on the second floor, and three residential dwelling units. The proposed rehabilitation and adaptive reuse will retain and preserve the historic character-defining storefronts and will not destroy any of the primary historic materials, features or spatial relationships that characterize the property. The design of the new construction is respectful and sensitive to the historic storefronts, continuing the horizontal lines of the historic facades in the new construction. Parking for the residential uses will be provided onsite. Tandem parking is adequate for the proposed units consisting of one and two bedrooms. Payment into the parking in-lieu fee program will help enhance the potential parking opportunities that the program will provide to the downtown area. Instead of providing onsite commercial parking spaces, the downtown businesses would share the cost of providing public parking.
3. The proposed project will comply with the provisions of the base district and other applicable provisions in Titles 20-25 of the Huntington Beach Zoning and Subdivision Ordinance. As conditioned, the project complies with the development standards in terms of minimum onsite parking (with parking in-lieu fees for the commercial uses), building height, and setbacks. The payment of parking in-lieu fees for the commercial uses is adequate because the project is located in District 1 of the downtown area, which is an urban, pedestrian oriented, shared parking environment, and is subject to a conditional use permit.
4. The granting of the conditional use permit will not adversely affect the General Plan. The proposed project is consistent with the General Plan land use designation of Mixed Use and the goals, objectives, and policies of the City's General Plan as follows:

A. Land Use Element

Goal LU 11: Achieve the development of projects that enable residents to live in proximity to their jobs, commercial services, and entertainment, and reduce the need for automobile use.

Objective LU 11.1: Provide for the development of structures that integrate housing with commercial uses, and ensure the compatibility of these uses.

Policy LU 11.1.1: Accommodate the development of structures and sites that integrate housing units with retail and office commercial uses in areas designated for "mixed use" on the Land Use Plan Map in accordance with Policy LU 7.1.1.

Objective LU 15.2: Promote the establishment of commercial and mixed-use districts characterized by high levels of pedestrian activity.

Objective LU 15.5: Ensure that development achieves the visual and physical character intended for the district in which it is located.

The project will continue to provide visitor-serving commercial uses at the ground floor, and integrate office and residential uses above. By utilizing and rehabilitating the existing storefront facades consistent with the Secretary of the Interior's Standards, the visual and historical relationship of the commercial storefronts along Main Street remains. The new construction of the upper story residential units will be setback sufficiently to maintain the visually prominent historical facades. The proposed additional uses are compatible with the urban environment of the Downtown area and encourage pedestrian oriented activity.

The proposed project incorporates a building setback of three feet-six inches from the ultimate right-of-way (after dedication) consistent with the Downtown Specific Plan and similar to other projects in the vicinity. The setback will allow for public open space improvements including decorative paving and landscaping and greater sidewalk area for pedestrian access. Siting buildings along the sidewalk is a consistent pattern prevalent in the downtown area that visually ties the streetscape together. It provides visual interest while enhancing the pedestrian experience.

B. Historic and Cultural Resources Element

Goal HCR 1: To promote the preservation and restoration of the sites, structures and districts which have architectural, historical, and/or archaeological significance to the City of Huntington Beach.

Policy HCR 1.2.1: Utilize the Secretary of Interior Standards for Historic Rehabilitation and standards and guidelines as prescribed by the State Office of Historic Preservation as the architectural and landscape design standards for rehabilitation, alteration, or additions to sites containing historic resources in order to preserve these structures in a manner consistent with the site's architectural and historic integrity.

Policy HCR 1.3.6: Encourage appropriate adaptive reuse of historic resources in order to prevent misuse, disrepair and demolition, taking care to protect surrounding neighborhoods from incompatible uses.

The existing historical storefronts will be preserved, rehabilitated, and relocated six feet back from their current locations. The storefronts are rare examples of the early architectural heritage of the City and with the project, will continue to be eligible as historical resources. The existing buildings located behind the storefronts are minimally visible from the street and are in poor condition to accommodate the new uses. As indicated by the Historical Resources Assessment by PCR Services, the side and rear elevations and building interiors do not principally contribute to the eligibility of the historical resources.

C. Urban Design Element

Goal UD 1: Enhance the visual image of the City of Huntington Beach.

Objective UD 1.1: Identify and reinforce a distinctive architectural and environmental image for each district in Huntington Beach.

Goal UD 2: Protect and enhance the City's public coastal views and Oceanside character and screen any uses that detract from the City's character.

The project will allow for the continued use of the historical storefront facades, which will retain the visual streetscape of Main Street. Although the facades will be relocated approximately six feet back from their existing location, the project will enhance the pedestrian experience by providing a wider sidewalk in front of the building. In addition, the project will be consistent with the mixed use character of the Downtown with a proposal for retail, office, and residential uses.

SUGGESTED FINDINGS FOR APPROVAL – COASTAL DEVELOPMENT PERMIT NO. 12-007:

1. Coastal Development Permit No. 12-007 to partially demolish existing historical buildings, rehabilitate and relocate historic storefront facades, construct a three-story mixed use building, and participate in the parking in-lieu fee program to offset the commercial parking spaces not provided onsite conforms with the General Plan, including the Local Coastal Program. The proposed project complies with the following policies of the Coastal Element of the General Plan:

Policy C 1.1.4: Where feasible, locate visitor-serving commercial uses in existing developed areas or at selected points of attraction for visitors.

Policy C 4.1.1: The scenic and visual qualities of coastal areas shall be considered and protected as a resource of public importance. Permitted development shall be sited and designed to protect public views to and along the ocean and scenic coastal areas.

Policy C 5.1.6: Reinforce downtown as the City's historic center and as a pedestrian-oriented commercial and entertainment/recreation district.

The project will continue to provide commercial uses that are visitor oriented and will also serve residential uses in the vicinity. It will not impact public views of the ocean or coastal areas because it is surrounded by adjacent commercial buildings of similar heights and will be setback from its current location to provide for improved pedestrian access. No public view easements are impacted by the project. The building will continue to maintain the downtown, pedestrian-oriented relationship with the rest of Main Street. Payment of the in-lieu fees into the parking program contributes to the public parking opportunities that are created by the program. Beachgoers and other downtown businesses who utilize street parking and structured parking would also benefit from the additional parking opportunities whereas construction of onsite parking would only be useful for the project's commercial uses. Divergent peak demands for parking between the proposed office and retail uses would demonstrate underutilized parking spaces throughout the day. The shared parking nature of downtown which serves multiple uses (office, retail, restaurant, and beachgoers) is an efficient management of the parking supply as an asset.

2. The project is consistent with the requirements of the CZ Overlay District, the base zoning district, as well as other applicable provisions of the Municipal Code. The project complies with the zoning code including minimum onsite parking (with in-lieu fees for the commercial uses), building height, and minimum setbacks. It will not impact public views of coastal resources.
3. At the time of occupancy, the proposed development can be provided with infrastructure in a manner that is consistent with the Local Coastal Program. The project is within an urban developed area where connections to public infrastructure are available.
4. The development conforms with the public access and public recreation policies of Chapter 3 of the California Coastal Act. The project will involve street and alley dedications that will relocate facades and incorporate a wider sidewalk for public access in front of the building.

MITIGATION MEASURES FOR ENVIRONMENTAL CONCERNS:

1. Prior to submittal of demolition permits for the 122 Main St. and 124 Main St. buildings, the following shall be required:
 - a. A Historic American Buildings Survey (HABS) Level III recordation document shall be prepared for the existing buildings; their property type, the Western False Front style, wood frame construction, and the Streamline Moderne style; and document other similar property types in downtown Huntington Beach; and its possible association with the City Hall of Pacific City and the economic and cultural development of the City of Huntington Beach. The HABS document shall be prepared by a qualified architectural historian or historic preservation professional who satisfies the Secretary of the Interior's Professional Qualification Standards for Architectural History pursuant to 36 CFR 61. This document shall include a historical narrative on the architectural and historical importance of the Western False Front, wood frame, and Streamline Moderne style commercial buildings in Huntington Beach, downtown Huntington Beach and Main Street, association with the City Hall of Pacific City, and record the existing appearance of the building in professional large format HABS photographs. The building exterior, representative interior spaces, character-defining features, as well as the property setting and contextual views shall be documented. All documentation components shall be completed in accordance with the Secretary of the Interior's Standards and Guidelines for Architectural and Engineering Documentation (HABS standards). Original archivally-sound copies of the report shall be submitted to the HABS collection at the Library of Congress, and South Central Coastal Information Center, California State University, Fullerton, CA. Non-archival copies will be distributed to the City of Huntington Beach and Huntington Beach Public Library (Main Branch). In addition, any existing and available design and/or as-built drawings shall be compiled, reproduced, and incorporated into the recordation document. Results of the demolition monitoring and salvage investigations shall be incorporated into the final draft of the HABS report. The final draft of the HABS report shall be submitted prior to final inspections for the new building. **(Mitigation Measure)**
 - b. The project applicant shall retain a qualified architectural historian to conduct construction monitoring during demolition. Any important historic fabric associated with the period of significance, ca. 1902, shall be fully recorded in photographic images and written manuscript

notes. Significant material shall be inventoried and evaluated for potential salvage, analysis and interpretation. A qualified architectural historian or historic preservation professional who satisfies the Secretary of the Interior's Professional Qualification Standards for Architectural History, pursuant to 36 CFR 61, shall prepare the necessary written and illustrated documentation in a construction monitoring and salvage report. This document shall record the history of 122 Main Street and the wood-frame construction methods during the period of significance as well document its present physical condition through site plans; historic maps and photographs; sketch maps; 35mm photography; and written data and text. All documentation components shall be completed in accordance with the Secretary of the Interior's Standards and for Archaeological Documentation for above ground structures. The completed documentation shall be placed on file at the South Central Coastal Information Center, California State University, Fullerton, CA; and the City of Huntington Public Library. Findings shall be incorporated into the HABS report. **(Mitigation Measure)**

2. Prior to submittal for building permits, the developer shall submit an engineered approved bracing plan demonstrating the ability to retain the structural integrity of the storefronts and relocate them approximately six feet back from the existing property line. The engineered approved bracing plan shall be approved by the City of Huntington Beach prior to issuance of demolition permits for the buildings behind the storefronts. **(Mitigation Measure)**
3. Prior to issuance of certificate of occupancy for both buildings, a permanent metal plaque shall be affixed to the 122 Main St. and 124 Main St. storefronts or markers shall be embedded in the pavement in front, which will briefly explain the storefronts were relocated. The City of Huntington Beach shall verify the installation of the plaques/markers at the site. **(Mitigation Measure)**

SUGGESTED CONDITIONS OF APPROVAL - CONDITIONAL USE PERMIT NO. 12-011/COASTAL DEVELOPMENT PERMIT NO. 12-007:

1. The site plans, floor plans, and elevations received and dated May 27, 2014, shall be the conceptually approved design with the following modifications:
 - a. The site plan shall depict a minimum of 166 square feet of public open space on the ground floor including 50 square feet of landscaping.
 - b. A minimum of 5 bicycle parking spaces shall be depicted on the site plan.
 - c. The rear elevation shall be revised to remove the garage door in front of the guest parking space.
 - d. The trash enclosure shall be expanded in size to provide sufficient refuse area for all uses (residential, retail, and office) as approved by Rainbow Environmental.
 - e. The plans shall be revised to depict the height of the elevator and enclosed stairways leading to the rooftop deck not to exceed 10 feet above the building height.
 - f. The man doors leading into the garages shall be revised to open into the hallway instead of into the garages.
 - g. The interior dimensions of each parking garage shall be depicted on the floor plans with a minimum clear width of 9 ft. and a minimum clear depth of 38 ft.

- h. The glass balcony railings shall be structurally separated from the historic facades.
 - i. The front elevation and third floor plan shall be revised to depict a minimum 5 ft. high wall between the private balconies of the third floor units.
 - j. The opening of the wall leading to the den on the third floor (Unit 303) shall be revised to be a minimum of 50% open.
2. Comply with all mitigation measures adopted for the project in conjunction with Downtown Specific Plan Environmental Impact Report No. 08-001.
 3. Prior to submittal for building permits, the following shall be completed:
 - a. Zoning entitlement conditions of approval shall be printed verbatim on one of the first three pages of all the working drawing sets used for issuance of building permits (architectural, structural, electrical, mechanical and plumbing) and shall be referenced in the sheet index. The minimum font size utilized for printed text shall be 12 point.
 - b. Submit three (3) copies of the approved site plan and the processing fee to the Planning and Building Department for addressing of the new buildings/units.
 4. Prior to issuance of building permits, the following shall be completed:
 - a. Contact the United States Postal Service for approval of mailbox location(s).
 - b. Submit a copy of the revised site plan, floor plans and elevations pursuant to Condition No. 1 for review and approval and inclusion in the entitlement file to the Planning and Building Department; and submit 8 inch by 10 inch colored photographs of all colored renderings, elevations, materials sample board, and massing model to the Planning and Building Department for inclusion in the entitlement file.
 - c. An interim parking and building materials storage plan shall be submitted to the Planning Department to assure adequate parking and restroom facilities are available for employees, customers and contractors during the project's construction phase and that adjacent properties will not be impacted by their location. The plan shall also be reviewed and approved by the Fire Department and Public Works Department. The applicant shall obtain any necessary encroachment permits from the Department of Public Works.
 5. The structure(s) cannot be occupied, the final building permit(s) cannot be approved, and utilities cannot be released for the first residential unit until the following has been completed:
 - a. The applicant shall obtain the necessary permits from the South Coast Air Quality Management District and submit a copy to Planning and Building Department.
 - b. Compliance with all conditions of approval specified herein shall be accomplished and verified by the Planning and Building Department.
 - c. All building spoils, such as unusable lumber, wire, pipe, and other surplus or unusable material, shall be disposed of at an off-site facility equipped to handle them.
 - d. Parkland dedication in-lieu fees (Quimby Fees) shall be paid to the Planning and Building Department.
 6. Signage shall be reviewed under separate permits and applicable processing.

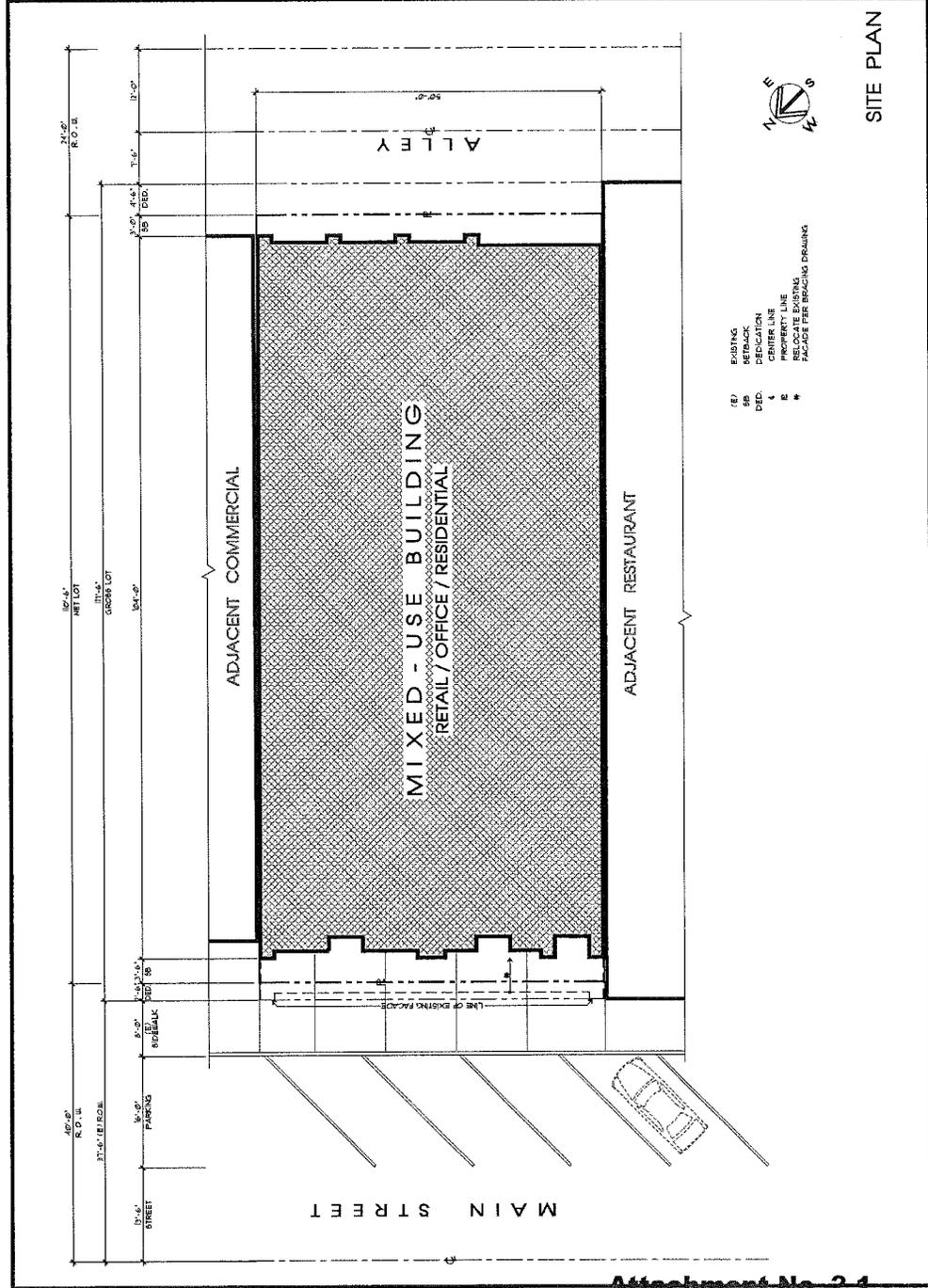
7. The applicant and/or applicant's representative shall be responsible for ensuring the accuracy of all plans and information submitted to the City for review and approval.
8. Incorporating sustainable or "green" building practices into the design of the proposed structures and associated site improvements is highly encouraged. Sustainable building practices may include (but are not limited to) those recommended by the U.S. Green Building Council's Leadership in Energy and Environmental Design (LEED) Program certification (<http://www.usgbc.org/DisplayPage.aspx?CategoryID=19>) or Build It Green's Green Building Guidelines and Rating Systems (<http://www.builditgreen.org/green-building-guidelines-rating>).

INDEMNIFICATION AND HOLD HARMLESS CONDITION:

The owner of the property which is the subject of this project and the project applicant if different from the property owner, and each of their heirs, successors and assigns, shall defend, indemnify and hold harmless the City of Huntington Beach and its agents, officers, and employees from any claim, action or proceedings, liability cost, including attorney's fees and costs against the City or its agents, officers or employees, to attack, set aside, void or annul any approval of the City, including but not limited to any approval granted by the City Council, Planning Commission, or Design Review Board concerning this project. The City shall promptly notify the applicant of any claim, action or proceeding and should cooperate fully in the defense thereof.

MIXED - USE RETAIL / OFFICE / RESIDENTIAL

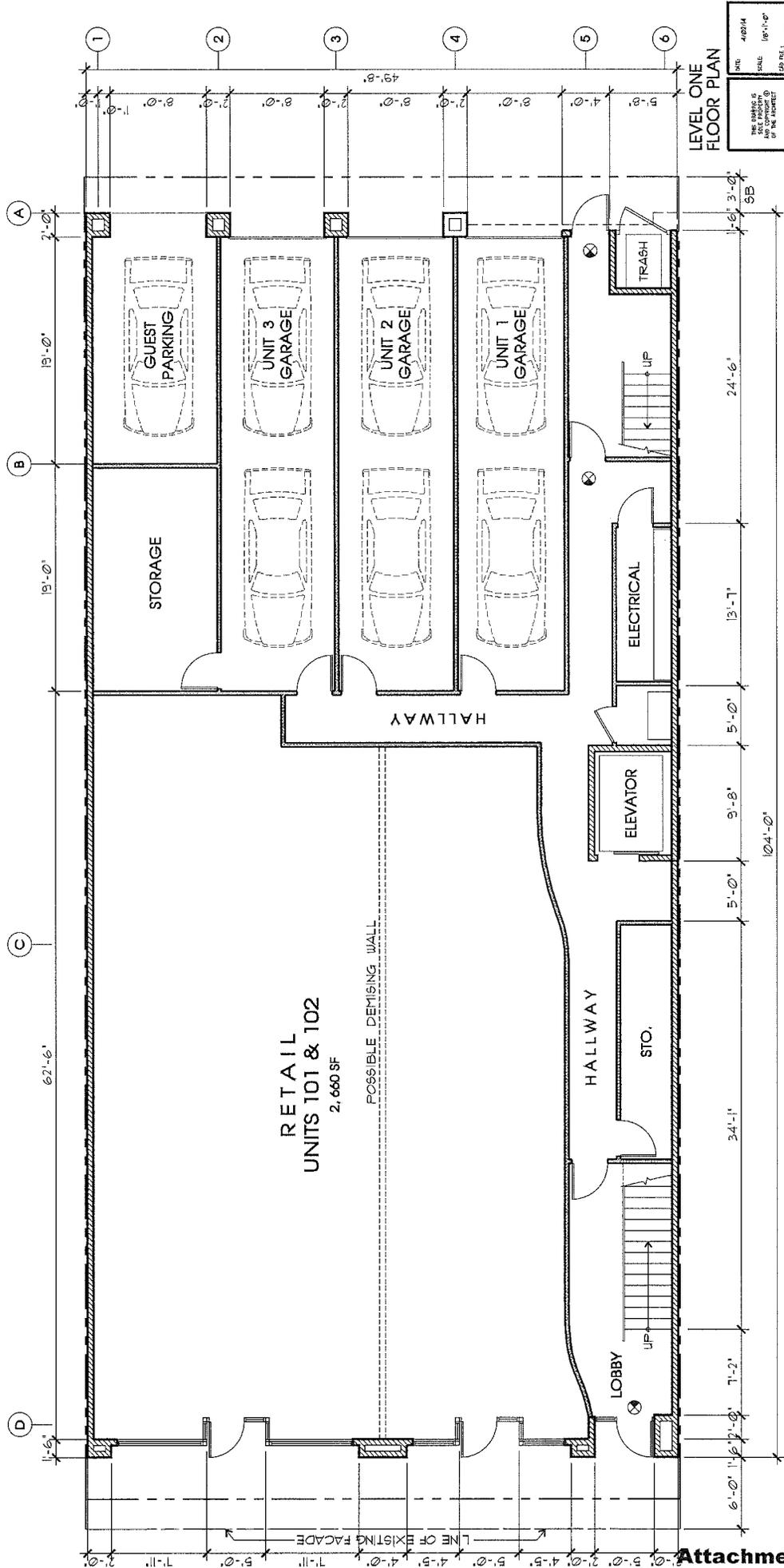
122 -124 MAIN STREET, HUNTINGTON BEACH, CALIFORNIA



- (E) EXISTING
- SB SETBACK
- DED DEDICATION
- C CENTER LINE
- RELOCATE EXISTING
- * FACADE FIRE BRACING DRAWING

SITE PLAN

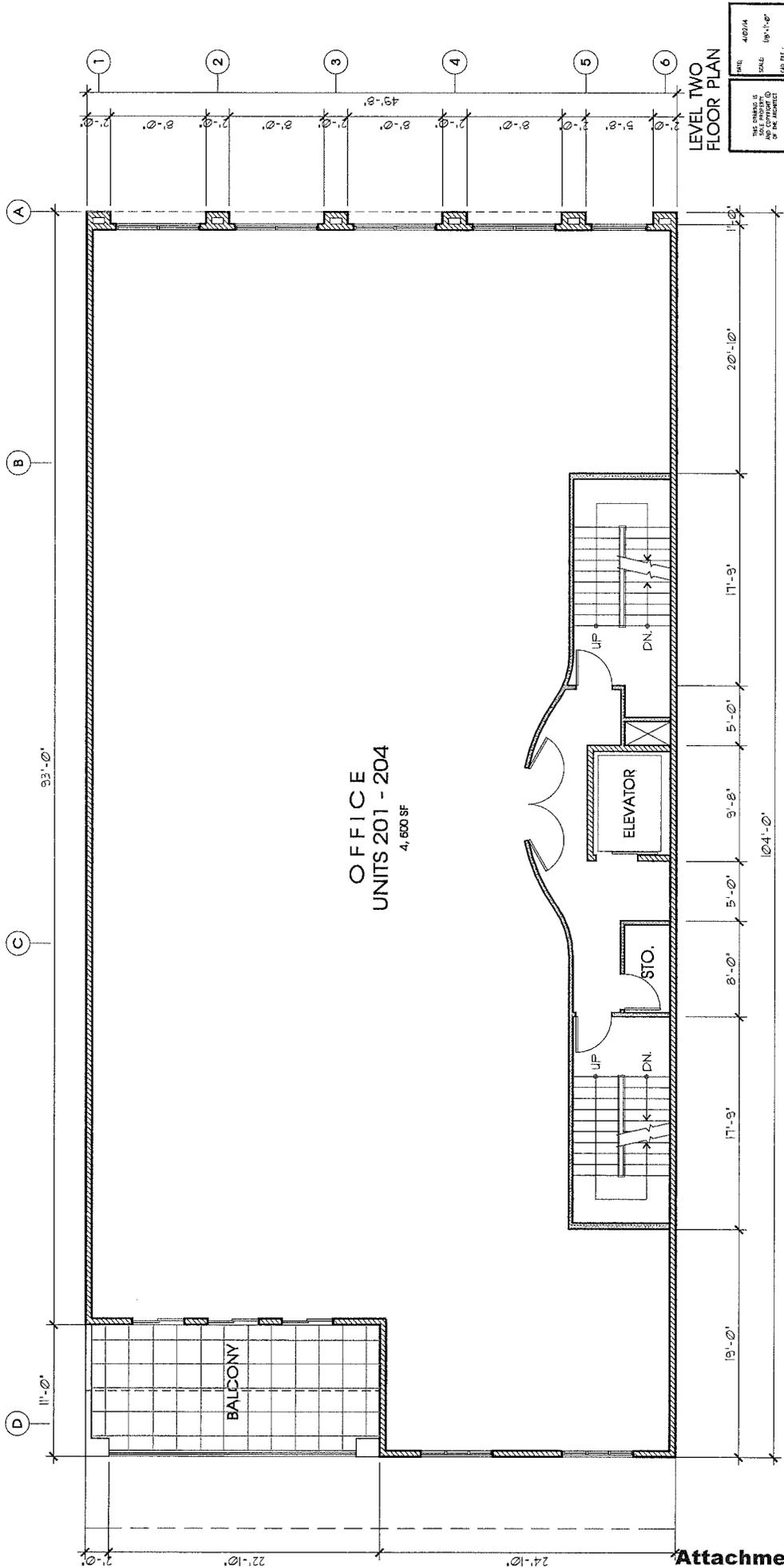
ZONING MATRIX <table border="1"> <thead> <tr> <th>ITEM</th> <th>CODE SECTION</th> <th>REQUIRED</th> <th>PROPOSED</th> </tr> </thead> <tbody> <tr> <td>PARKING</td> <td>D, T, S, P</td> <td>20 SPACES</td> <td>24 SPACES</td> </tr> <tr> <td>DENSITY</td> <td>-</td> <td>30 DU / ACRE</td> <td>3 UNITS</td> </tr> <tr> <td>SETBACK SIDE</td> <td>S, S, I, 1, 1</td> <td>0'</td> <td>0'</td> </tr> <tr> <td>SETBACK REAR</td> <td>S, S, I, 1, 1</td> <td>0'</td> <td>0'</td> </tr> <tr> <td>SETBACK FRONT</td> <td>S, S, I, 1, 0</td> <td>0'-8"</td> <td>0'</td> </tr> <tr> <td>HEIGHT</td> <td>S, S, I, 1, 8</td> <td>30 FT.</td> <td>30 FT.</td> </tr> <tr> <td>OPEN SPACE</td> <td>S, S, I, 1, 8</td> <td>2% - 6%</td> <td>2%</td> </tr> </tbody> </table>		ITEM	CODE SECTION	REQUIRED	PROPOSED	PARKING	D, T, S, P	20 SPACES	24 SPACES	DENSITY	-	30 DU / ACRE	3 UNITS	SETBACK SIDE	S, S, I, 1, 1	0'	0'	SETBACK REAR	S, S, I, 1, 1	0'	0'	SETBACK FRONT	S, S, I, 1, 0	0'-8"	0'	HEIGHT	S, S, I, 1, 8	30 FT.	30 FT.	OPEN SPACE	S, S, I, 1, 8	2% - 6%	2%	VICINITY MAP
ITEM	CODE SECTION	REQUIRED	PROPOSED																															
PARKING	D, T, S, P	20 SPACES	24 SPACES																															
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HEIGHT	S, S, I, 1, 8	30 FT.	30 FT.																															
OPEN SPACE	S, S, I, 1, 8	2% - 6%	2%																															
SHEET INDEX ARCHITECTURAL A0 SITE PLAN, VICINITY MAP, STATISTICS A1 FIRST LEVEL FLOOR PLAN A2 SECOND LEVEL FLOOR PLAN A3 THIRD LEVEL FLOOR PLAN A4 BUILDING SECTION A5 ELEVATION A6 ELEVATION A7 ELEVATION A8 ELEVATION A9 ELEVATION		STATISTICS APN: 026-164-02 IMPROVEMENTS: LOCK 103, LOTS 22 & 24 NET LOT AREA: 8,190 S.F. = 1.9 ACRE ZONING: D, T, S, P, DISTRICT #1 OCCUPANCY: M.B., D-1, R-3 CONSTRUCTION: TYPE V, N, FULLY FIRE SPRK. HEIGHT: 35' / 3-STORY BUILDING AREA: 2,330 S.F. 2ND LEVEL OFFICE: 6,000 S.F. 3RD LEVEL RESIDENTIAL: 2,200 S.F. TOTAL: 9,630 S.F. PARKING: RETAIL: 2,640 / 333 = 8 RESIDENTIAL: 2,200 / 100 = 22 REQUIRED COMMERCIAL = 17 SPACES * RESIDENTIAL: 17 UNITS * 2 = 34 UNITS GUEST 3 X 20 = 1 SPACE * PROPOSED IN-LIEU FEE SPACES																																
OWNER / DEVELOPER: MORNING JADE CORP. 2866 PULLMAN ST. SANTA ANA, CA 92705		RECEIVED MAY 27 2014 Dept. of Planning & Building																																
TEAM JEFF BERGMAN ARCHITECTURE 111 211 1111 916.771.1111 917.771.1111		AO THE PUBLIC IS SOLE PROPRIETOR OF THE PROJECT DATE: 4/29/14 SCALE: 1/8" = 1'-0" DRAWN BY: JMB-AP																																



LEVEL ONE FLOOR PLAN

SHEET NO. 40214 DATE 08-11-10 SCALE 1/8" = 1'-0" PROJECT NO. 101-102	MIXED-USE BUILDING 101-102 MANATEE NATIVIDAD BEACH FLORIDA	A1
THE FIRM IS AN EQUAL OPPORTUNITY AFFIRMATIVE ACTION EMPLOYER	JEFF BERGMAN ARCHITECT 908 S. 11th St. TAMPA, FL 33604 TEL: 813.251.1000 FAX: 813.251.1001	TEAM



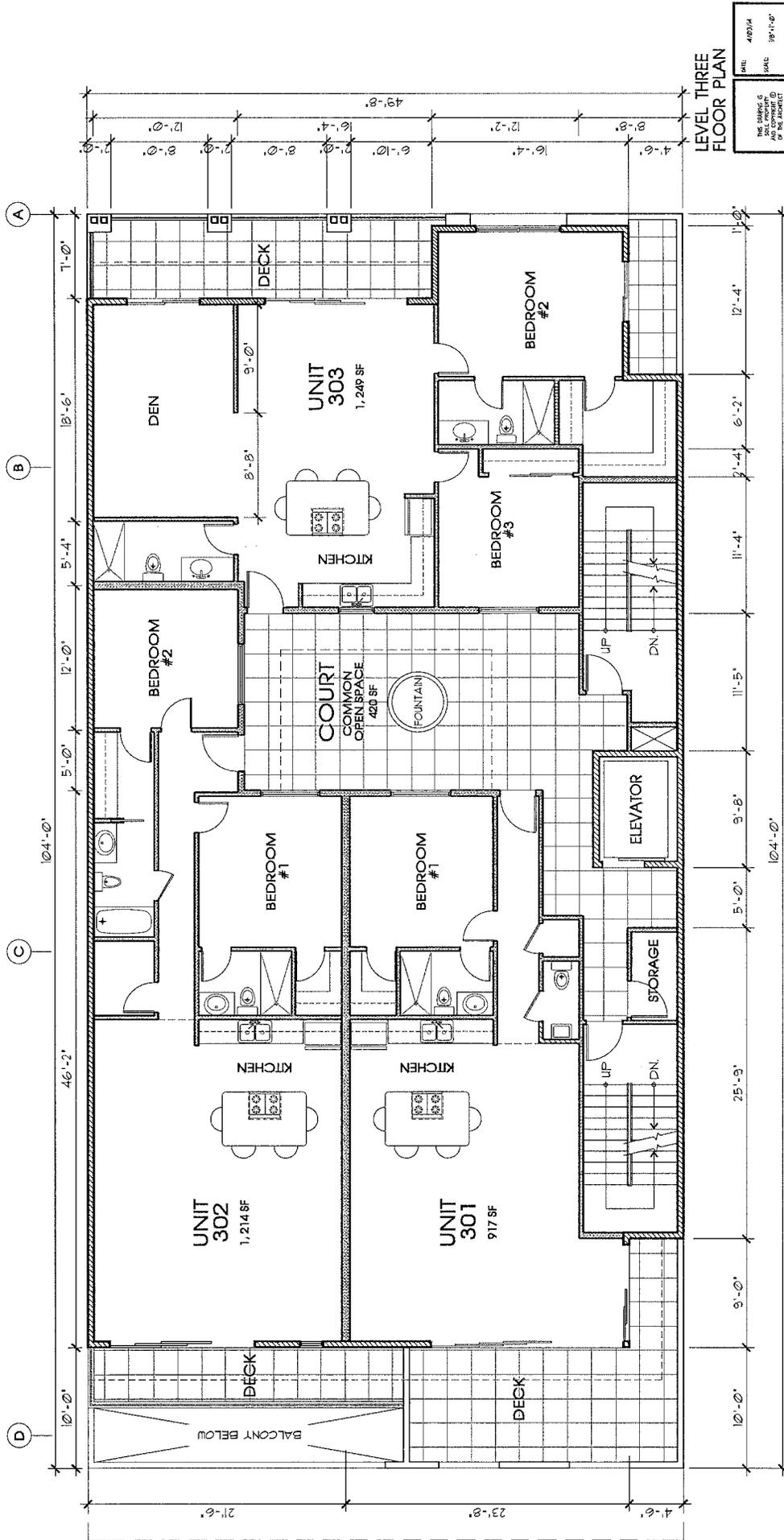


OFFICE
UNITS 201 - 204
4,500 SF

LEVEL TWO
FLOOR PLAN

SHEET 410214 DATE 10/1/07 JOB NO. 100-100 JOB FILE # 100-100-02	MIXED-USE BUILDING 100-100 MAIN ST. MIAMI BEACH, FLORIDA	A2
THE ARCHITECTS 100-100 MAIN ST. MIAMI BEACH, FLORIDA	JEFF BERGOMINI ARCHITECT	TEAM 100-100 MAIN ST. MIAMI BEACH, FLORIDA

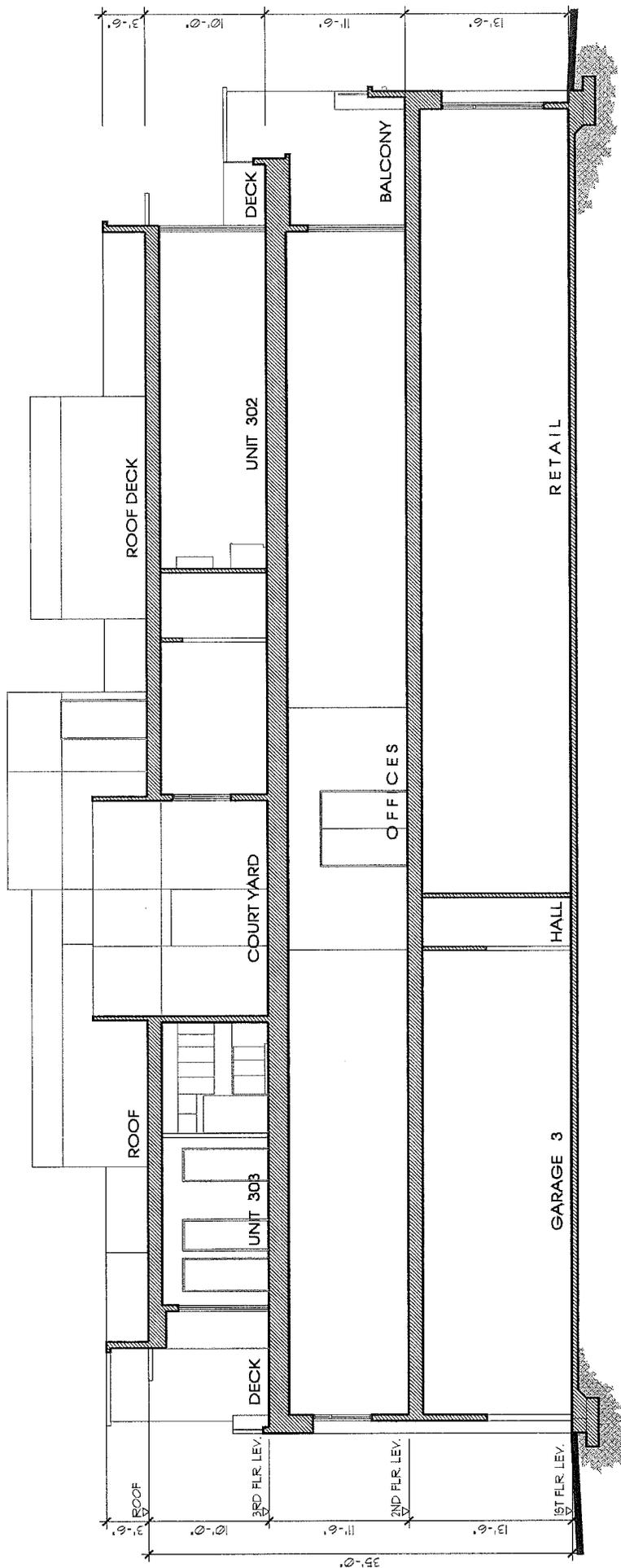




LEVEL THREE
FLOOR PLAN

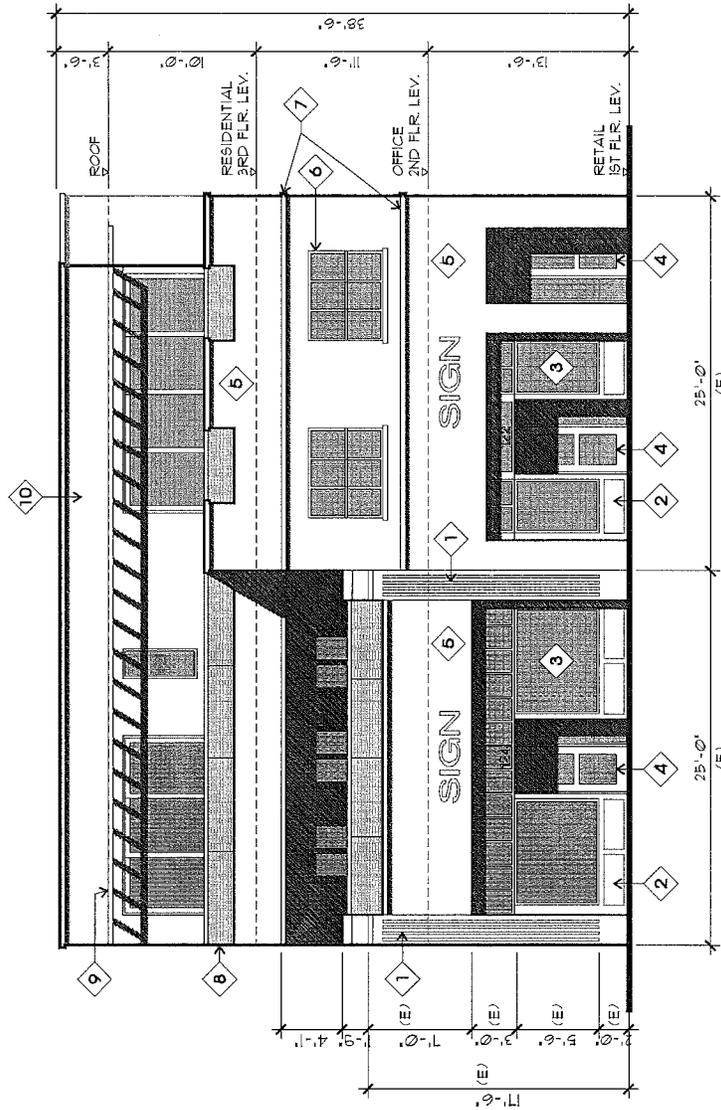
SHEET 403/14 DATE 10/11/07 BY J. M. [unreadable] CHECKED BY [unreadable]	PROJECT MIXED USE BUILDING 125-124 MARK ST. HUNTINGTON BEACH, CALIFORNIA	A3
ARCHITECT JEFF BERGOWA ARCHITECTS TEAM 1111 1111 1111 1111 1111 1111 1111 1111 1111		





BUILDING SECTION

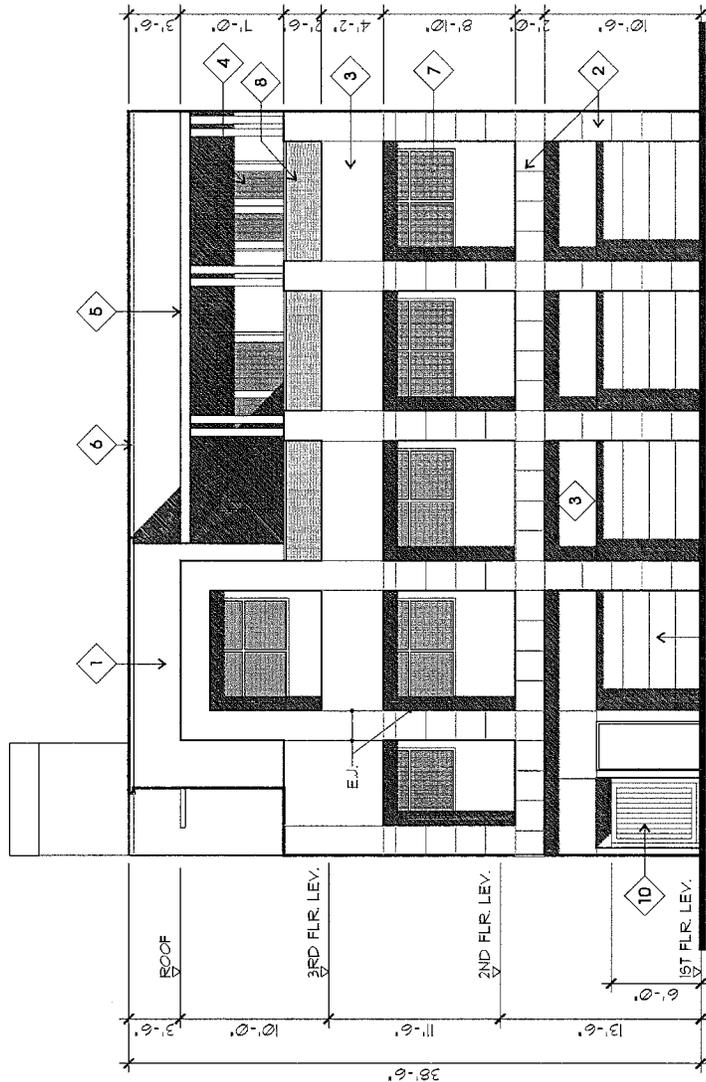
DATE: 7/26/13	THE DRAWING IS FOR THE PROJECT AS SHOWN ON THE SHEET OF THE ARCHITECT	SCALE: 1/8" = 1'-0"	DATE: 7/26/13
MIXED-USE BUILDING		122-124 MANLYE, HUNTINGTON BEACH, CALIFORNIA	
JEFF BERGMAN ARCHITECTS		TEAM	
A5		FILE NO. 1311-1111 DRAWING NO. 2-101 DATE: 7/26/13	



KEYNOTES - EXISTING HISTORIC FACADE

- 1 PRESERVE (E) FLUTED CONC. PILASTERS
- 2 REPLACE CAST PLASTER STOREFRONT BASE
- 3 REPLACE HISTORIC GLASS STOREFRONT
- 4 REPLACE HISTORIC WOOD & GLASS DOORS (ENTRY ADA COMPLIANT)
- 5 RENOVATE OR REPLACE SMOOTH PLASTER
- 6 REPLACE HUNG WOOD WINDOWS TO MATCH ORIGINAL
- 7 REPLACE PLASTER BANDING
- 8 GLASS GUARDRAIL
- 9 SUN SCREEN - WOOD
- 10 NEW SMOOTH PLASTER

THE ARCHITECT 2001 UNIVERSITY AVENUE SUITE 100 BERKELEY, CA 94704	DATE: 08/14/14
	SCALE: N.T.S.
JEFF BERGMAN ARCHITECT	PROJECT: MIXED-USE BUILDING 100 UNIVERSITY AVENUE BERKELEY, CA 94704
	SHEET: NORTH ELEVATION OF 11

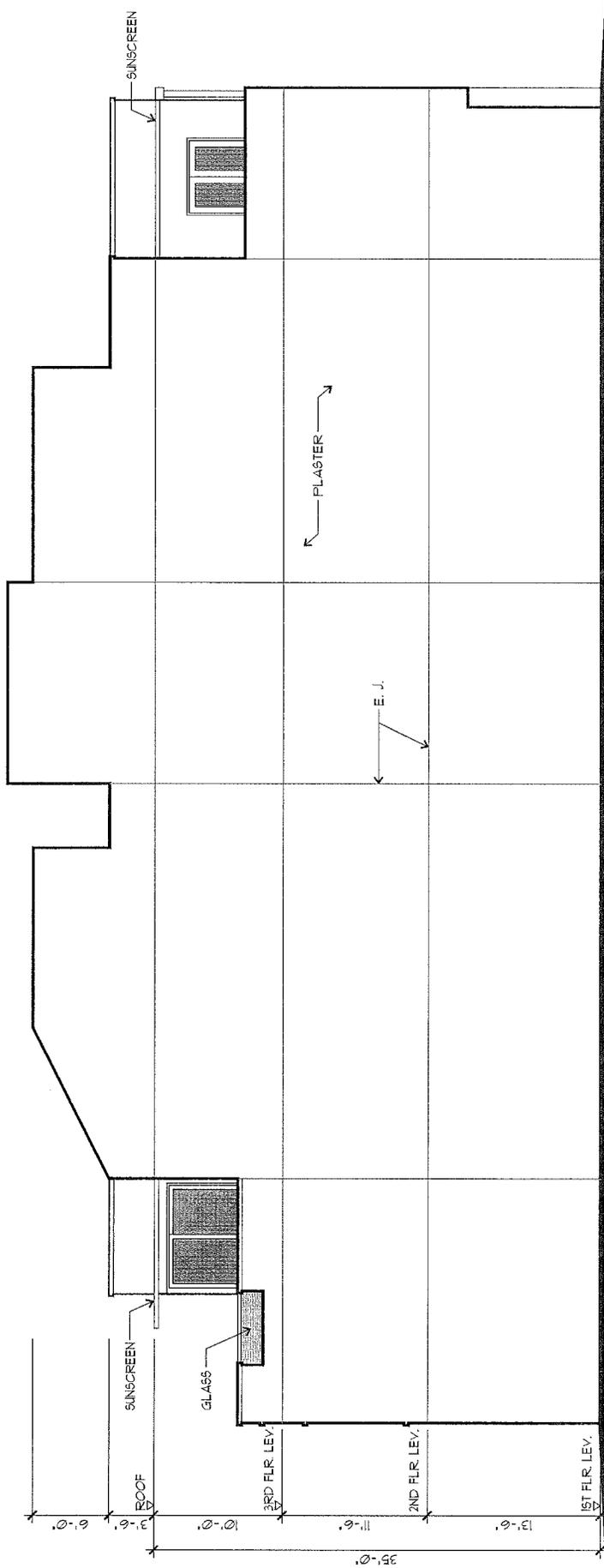


KEYNOTES

NEW MATERIAL	COLOR
1 SMOOTH STUCCO	SAND
2 STONE 2' X 2'	MARBLE
3 ACCENT PANEL	MED. GREY
4 STOREFRONT GLASS / ALUM.	CLEAR / GREY
5 SUNSHADE	DARK GREY
6 SHI. MTL. COPING	ZINC GREY
7 WINDOW / DOOR	TINTED GLASS
8 GUARD RAIL W/ ALUM. RAIL	TINTED GLASS
9 PANEL DOOR	GREY
10 TRASH GATE	GREY

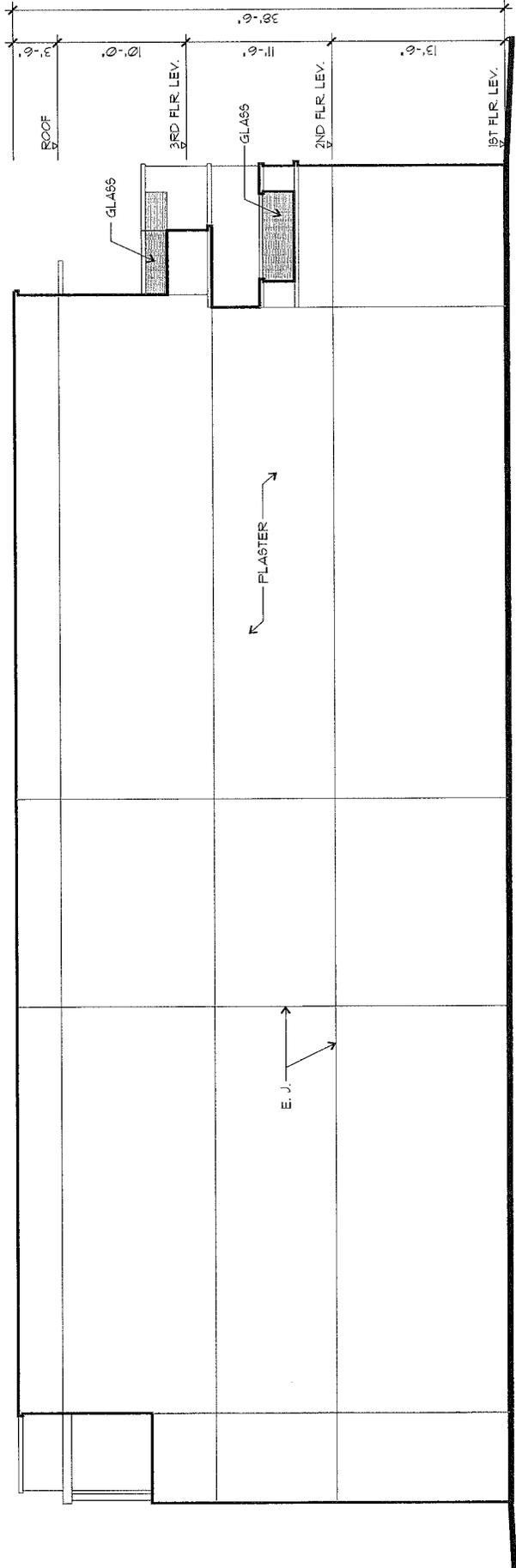
**SOUTH ELEVATION
ALLEY**

DATE: 10/26/14 SCALE: N.T.S. SHEET: 09 OF 11 PROJECT: 14-0000-01	ARCHITECT: TEAM 714.333.3241 14000 BUCKLE UP BLVD. SUITE 200 IRVINE, CA 92618	OWNER: MIXED-USE BUILDING 14000 BUCKLE UP BLVD. IRVINE, CA 92618	SHEET NO.: A7
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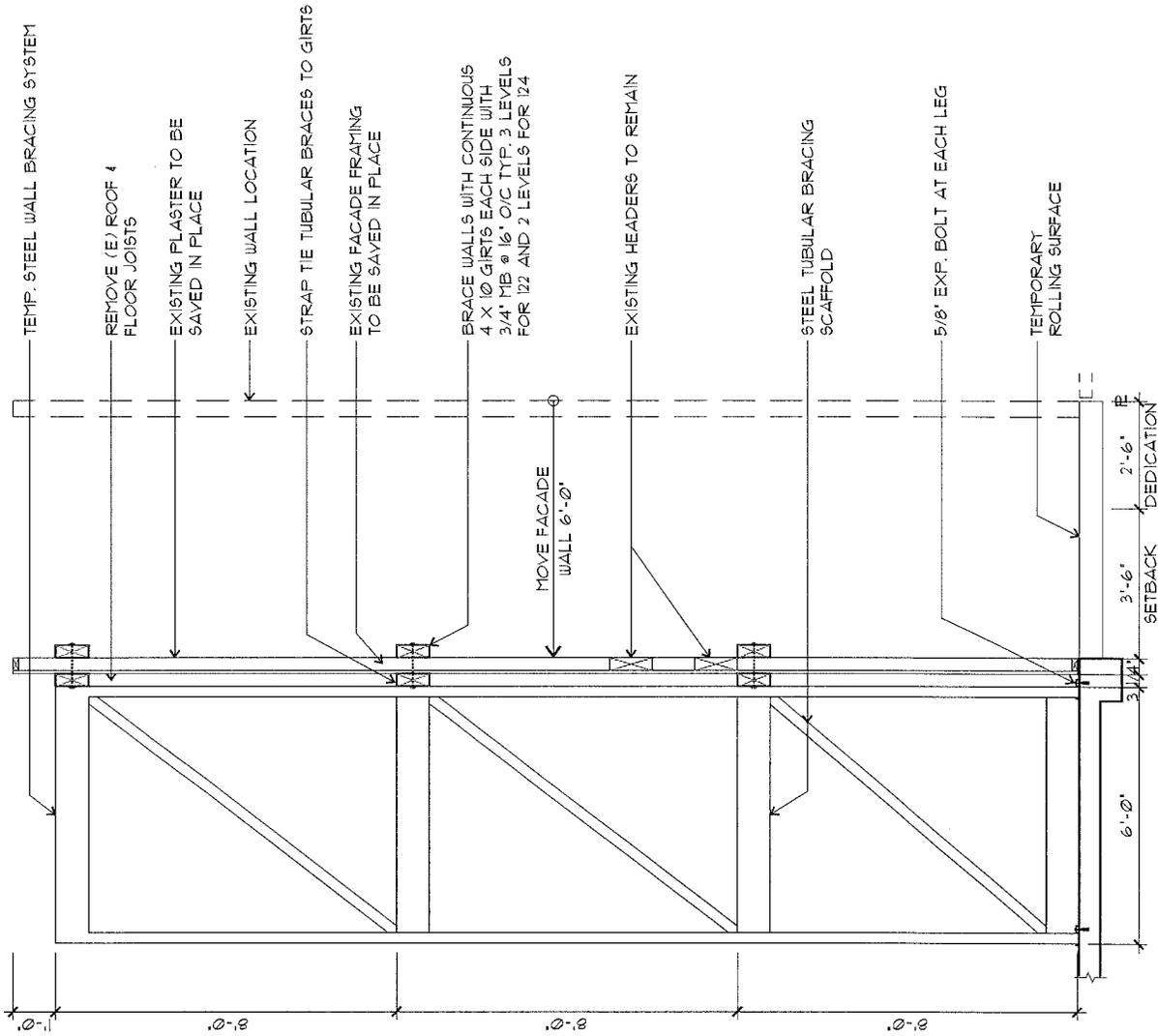
WEST ELEVATION

SHE: 4/19/14 DATE: NTS BY: J.E. / J.S.H. / J.S.H.	MIXED-USE BUILDING 125 1/2 MAIN ST. HUNTINGTON BEACH, CALIFORNIA	A8
THE OFFICE OF JEFF BERGERMAN ARCHITECTS 711 232 2321 1000 MAIN ST. SUITE 200 HUNTINGTON BEACH, CA 92648 PH: 714 311 1111	JEFF BERGERMAN ARCHITECTS	TEAM D · E · B · I · C · K



EAST ELEVATION

DATE: 4/23/14	NO. SHEETS: 5	DATE: 4/23/14
SCALE: N.T.S.	DATE PREPARED: 4/23/14	SCALE: N.T.S.
PROJECT: HSHB-A9	BY: E.J.	PROJECT: HSHB-A9
MIXED USE BUILDING		
122 JUDAH BLVD. HUNTINGTON BEACH CALIFORNIA		
JEFF BERGMAN ARCHITECTS		A9
TEAM 314 521 1100 314 521 1100 314 521 1100		



FACADE BRACING
FACADE WALL FOR RELOCATION
 122 - 124 MAIN STREET
 HUNTINGTON BEACH

THE NUMBER & SIZE PROPERTY OF THE PROJECT SHEET NO. 41021A SCALE 3/8" = 1'-0" DATE 09.01.11, HSB-140	MIXED-USE BUILDING 122 - 124 MAIN ST. HUNTINGTON BEACH, CALIFORNIA	A10
JEFF BERGOWA ARCHITECT 114, 112, 110 MAIN STREET HUNTINGTON BEACH, CA 949 433 2322	TEAM DESIGN 114, 112, 110 MAIN STREET HUNTINGTON BEACH, CA 949 433 2322	

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NOV 17 2014

Dept. of Planning
& Building

Revised - 11/11//2014

Mixed-Use
122-124 Main Street
Huntington Beach, CA

Narrative

1. Proposal is to preserve the existing "Western False Front" facade and demolish existing buildings and build new 3-story Mixed-Use project including:
 - a. Retail at grade (2,600 S.F.) + (3) tandem garages, and (1) guest space for residential units.
Retail open 7:00 am to 12:00 pm.
 - b. Parking (17) In-lieu spaces.
 - c. Office at 2nd level (5,000 S.F.)
 - d. (3) Residential Units at 3rd level (2,200 S.F.) with communal roof deck.
2. C.U.P. is being applied for as required by D.T.S.P. new building under 100' of frontage.
3. All surrounding uses are commercial.
4. The proposed retail on the first floor will be Visitor Serving.
5. The project is proposed to be parked to code by a combination of on-site and in-lieu spaces.
6. Affordable Housing requirements to be paid in-lieu.

**Previously provided with Study Session packet and
available for review at City Hall and City's website**

<http://www.huntingtonbeachca.gov/government/departments/planning/Environmentalreports.cfm>

RESPONSES TO COMMENTS FOR DRAFT MITIGATED NEGATIVE DECLARATION NO. 14-004

- I. This document serves as the Response to Comments on Draft Mitigated Negative Declaration No. 14-004. This document contains all information available in the public record related to the Oceanside Properties Mixed Use Building as of December 3, 2014, and responds to comments in accordance with Section 15088 of the California Environmental Quality Act (CEQA) Guidelines.

This document contains six sections. In addition to this Introduction, these sections are Public Participation and Review, Comments, Responses to Comments, Errata to Draft Mitigated Negative Declaration No. 14-004, and Appendix.

The Public Participation section outlines the methods the City of Huntington Beach has used to provide public review and solicit input on Draft Mitigated Negative Declaration No. 14-004. The Comments section contains those written comments received from agencies, groups, organizations and individuals as of December 3, 2014. The Response to Comments section contains individual responses to each comment.

It is the intent of the City of Huntington Beach to include this document in the official public record related to Draft Mitigated Negative Declaration (MND) No. 14-004. Based on the information contained in the public record, the decision makers will be provided with an accurate and complete record of all information related to the environmental consequences of the project.

II. PUBLIC PARTICIPATION AND REVIEW

The City of Huntington Beach notified all responsible and interested agencies and interested groups, organizations, and individuals that Draft Mitigated Negative Declaration No. 14-004 had been prepared for the proposed project. The City also used several methods to solicit input during the review period for the preparation of Draft Mitigated Negative Declaration No. 14-004. The following is a list of actions taken during the preparation, distribution, and review of Draft Mitigation Negative Declaration No. 14-004.

An official 27-day public review period for Draft Mitigated Negative Declaration No. 14-004 was established on November 6, 2014 and ended on December 2, 2014. Public comment letters were received by the City of Huntington Beach through December 3, 2014.

Notice of Draft Mitigated Negative Declaration No. 14-004 was published in the Huntington Beach Independent on November 27, 2014 as well as advertised on the City's website. Notices were also sent to property owners and tenants within a 500' radius of the project site.

Copies of the document were made available to agencies, groups, organizations, and individuals at the following locations:

City Hall – City Clerk's Office;
City Hall – Planning & Zoning Counter;
Main Street Branch Library; and

on the City's Website.

III. COMMENTS

Copies of all written comments received as of December 3, 2014 are contained in Appendix A of this document. All comments have been numbered and are listed on the following pages. All comments are referenced by number with the responses directly adjacent to the reference number for clarity. Responses to Comments for each comment that was submitted on Draft Mitigated Negative Declaration No. 14-004 that raised an environmental issue are contained in this document.

IV. RESPONSE TO COMMENTS

Draft Mitigated Negative Declaration No. 14-004 was distributed to responsible agencies, interested groups, organizations, and individuals. The report was made available for public review and comment for a period of 27 days. The public review period for Draft Mitigated Negative Declaration No. 14-004 was established on November 6, 2014 and expired December 2, 2014. The City of Huntington Beach received comment letters through December 3, 2014.

Copies of all documents received as of December 3, 2014 are contained in Appendix A of this report. Comments have been numbered with responses correspondingly numbered. Responses are presented for each comment that raised a significant environmental issue.

Several comments do not address the completeness or adequacy of Draft Mitigated Negative Declaration No. 14-004, do not raise significant environmental issues, or request additional information. A substantive response to such comments is not appropriate within the context of the California Environmental Quality Act (CEQA). Such comments are responded to with a "comment acknowledged" or similar reference. This indicates that the comment will be forwarded to all appropriate decision makers for review and consideration.

V. ERRATA TO DRAFT MITIGATED NEGATIVE DECLARATION NO. 14-004

No changes to Draft Mitigated Negative Declaration No. 14-004 and Initial Study Checklist are necessary.

RESPONSES TO COMMENTS - DRAFT MITIGATED NEGATIVE DECLARATION (MND NO. 14-004)

STATE DEPARTMENT

Department Of Transportation (DOT)

- DOT-1 The comment provides direction for the applicant to submit a Traffic Management Plan (TMP) for construction vehicles to Caltrans in order to minimize the impacts to State highway facilities, specifically SR-1. It is advised that the hauling of materials should not occur during A.M. and P.M. peak period of travel on State facilities during demolition and construction of the proposed project. This comment is acknowledged and has been forwarded to the applicant for their information.

CITY ADVISORY BOARD

Historic Resources Board (HRB)

- HRB-1 The comment provides information on the HRB's review of the Draft Mitigated Negative Declaration and the Historic Resources Assessment Report. The HRB identifies that the MND is incomplete and the buildings have a greater history than what is reported in the document. In the body of their letter, the HRB does not further discuss how the MND is incomplete.

- HRB-2 Comment:
First and foremost, the HRB strongly urges the applicant to seek a variance from existing setback requirements that would force relocation of the facades of these important and irreplaceable historic structures.

Response:

The comment advises the applicant to seek a variance to retain the facades at the existing locations. The goals of the Downtown Specific Plan and Local Coastal Program include encouraging a pedestrian oriented environment and improving public access, in which significant improvements of sites along Main Street warrant street dedication and ultimately wider sidewalks. The developments of Pierside Pavilion and Oceanview Promenade are distinct examples where the buildings are significantly setback from the street curb to provide public plaza areas and wider sidewalks for pedestrian access. The request to retain the facades in their existing locations, as part of a project that involves new construction, would therefore violate dedication requirements, the Downtown Specific Plan, and the Local Coastal Program and encroach into the ultimate public right-of-way. The project would require an application for a Zoning Text Amendment and Local Coastal Program Amendment to alter the goals and requirements for greater pedestrian access. Furthermore, the applicant is proposing to comply with the specific plan by relocating the facades as well as retain the primary defining characteristics of the historic resources. By keeping the rare architectural form of the false storefronts in front of the new building, the historical relationship of the downtown Main Street commercial buildings will still be preserved.

HRB-3 Comment:
Relocation efforts would be costly and deprive the applicant of usable interior square footage. Further, the process of relocation could jeopardize these structures, depriving the entire community of this tangible evidence of our past.

Response:
The comment identifies that the project would benefit with more square footage if the facades were not relocated. Comment acknowledged. The HRB identifies the potential to jeopardize the structural integrity and to lose tangible evidence of the City's past during relocation of the facades. The MND is proposing Mitigation Measure CULT-4, which involves submittal of an engineered approved bracing plan demonstrating the ability to retain the structural integrity of the storefronts during transport. The HRB does not provide evidence that the mitigation measure is infeasible or inadequate.

HRB-4 Comment:
The MND states that the side elevations are not publicly visible. But, as numerous photographs in the PCR Report show, the side view of the full parapet of 122 Main Street is clearly visible above the columns of 124 Main Street and is very much a character defining feature.

Response:
The comment is demonstrating that the side of the parapet of 122 Main is visible from the street. The tall crenellated parapet that wrapped around the sides of 122 Main Street will be preserved as part of the project and is a primary character defining feature. To clarify, the MND identifies that the secondary elevations of the buildings are not clearly visible from the public right-of-way. On 122 Main, the secondary elevations refer to the rear and sides of the buildings that are composed of wood frame construction, sheathed in wood shiplap siding with a gabled roof. On 124 Main, the secondary elevations refer to the rear and side of the buildings that are composed of wood frame construction sheathed in corrugated metal siding with a gabled roof. These portions of the buildings are not clearly visible from the public right-of-way as stated in the MND.

HRB-5 Comment:
Furthermore, leaving as much as possible of the existing structure intact would enhance the owners opportunity to take full advantage of the Mills Act. Under this recently approved program, preservation rather than mitigation is supported by tax incentives. This could prove to be of significant financial benefit to the owner.

The comment advises the property owner to keep the existing structure and apply for the Mills Act program to obtain tax incentives. The property owner is not proposing nor required to take advantage of Mills Act tax incentives. The potential tax incentives provided by the Mills Act do not undermine the adequacy of mitigation measures identified in the MND as they pertain to the proposed project. Comment acknowledged.

HRB-6

Comment:

The buildings at 122 and 124 Main Street critically document the commercial development of Huntington Beach. These lots were originally surveyed as Lots 22 and 24 of Block 5 of Pacific City dating back to our city's infancy. This, combined with the paucity of commercial buildings in the first decade of the 20th century, reinforce the probability that 122 Main Street housed the early City Hall. Certainly, it is among the earliest structures on Main Street.

Response:

The comment affirms that the buildings are relevant to the history of commercial development in Huntington Beach and identifies that 122 Main is associated to the early City Hall. The MND and PCR report also disclose this information related to the historical relevancy of the buildings and the conclusion that 122 Main Street may have served as early City Hall. Comment acknowledged.

HRB-7

The comment and photographs summarize different periods of Main Street through the years. The HRB states their opinion and request for the fullest preservation effort possible. This comment is acknowledged and will be forwarded to the decision makers for consideration.

V. APPENDIX A

Comment Letters

- California Department of Transportation (DOT)
- Historic Resources Board (HRB)

DEPARTMENT OF TRANSPORTATION

DISTRICT 12

3347 MICHELSON DRIVE, SUITE 100

IRVINE, CA 92612-8894

PHONE (949) 724-2000

FAX (949) 724-2019

TTY 711

www.dot.ca.gov



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NOV 17 2014

Dept. of Planning
& Building*Flex your power!
Be energy efficient!***November 10, 2014**

Jill Arabe
City of Huntington Beach
2000 Main Street
Huntington Beach, CA 92648

File: IGR/CEQA
Log #: 4099
SR-1

Subject: Public Notice of Availability
Draft Mitigated Negative Declaration No. 14-004 (Morning Jade Mixed Use Building)

Dear Ms. Arabe,

Thank you for the opportunity to review and comment on the **Draft Mitigated Negative Declaration (MND) for the Morning Jade Mixed Use Project**. The project proposes the partial demolition of two existing commercial buildings and the construction of a three-story mixed use building on the subject site. It is requested to retain, rehabilitate, and relocate the storefront facades approximately six feet back from their existing locations at the front property line. The nearest State route to the project site is SR-1.

The Department of Transportation (Department) is a commenting agency on this project and we have the following comments:

1. A Traffic Management Plan (TMP) for construction vehicles should be submitted to Caltrans in order to minimize the impacts to State highway facilities, particularly SR-1. Coordination of this project with other construction activities on SR-1 may be needed. Any hauling of materials should not occur during A.M and P.M peak periods of travel on State facilities during demolition and construction of the proposed project. All vehicle loads should be covered so that materials do not blow over or onto the Department's Right-of-Way.

DOT-1

Please continue to keep us informed of this project and any future developments, which could potentially impact the State Transportation Facilities. If you have any questions or need to contact us, please do not hesitate to call Miya Edmonson at (949)724-2228.

Sincerely,

for Maureen El Harake
Maureen El Harake, Branch Chief
Local Development/Intergovernmental Review

C: Scott Morgan, Office of Planning and Research

Historic Resources Board

An advisory board to the Huntington Beach City Council

November 26, 2014

RE: Agenda Item A-1 Mitigated Negative Declaration No. 14-004/Conditional Use Permit No. 12-011/Coastal Development Permit No. 12-007 (Ocean Side Properties Mixed Use Building)

The Huntington Beach Historic Resources Board has reviewed Draft Mitigated Negative Declaration No. 14-004 as well as the associated Historic Resources Assessment Report prepared by PCR Services Corporation. In addition to those sources consulted by PCR, we have researched further sources in an effort to supplement the known history of these sites, including Orange County Assessment Records, Grantor/Grantee Indices, as well as additional newspaper and photographic collections. The HRB considers the Mitigated Negated Declaration to be incomplete and that these structures have an even richer, more important history than it suggests.

HRB-1

First and foremost, the HRB strongly urges the applicant to seek a variance from existing setback requirements that would force relocation of the facades of these important and irreplaceable historic structures. Relocation efforts would be costly and deprive the applicant of usable interior square footage. Further, the process of relocation could jeopardize these structures, depriving the entire community of this tangible evidence of our past. The MND states that the side elevations are not publicly visible. But, as numerous photographs in the PCR Report show, the side view of the full parapet of 122 Main Street is clearly visible above the columns of 124 Main Street and is very much a character defining feature. Furthermore, leaving as much as possible of the existing structure intact would enhance the owners opportunity to take full advantage of the Mills Act. Under this recently approved program, preservation rather than mitigation is supported by tax incentives. This could prove to be of significant financial benefit to the owner.

HRB-2

HRB-3

HRB-4

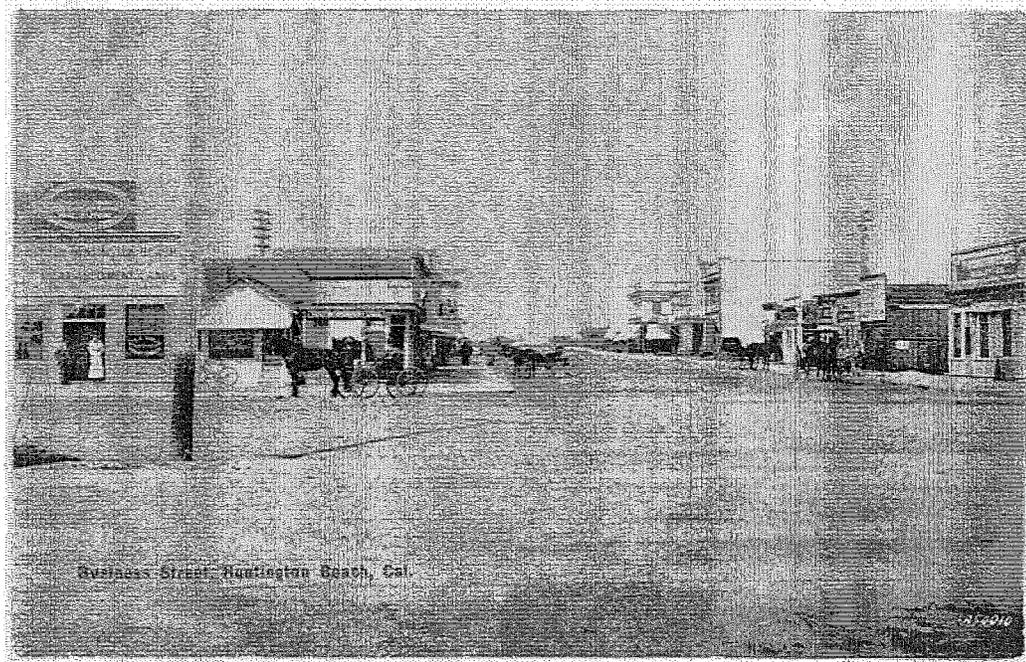
HRB-5

Historic Resources Board

An advisory board to the Huntington Beach City Council

The buildings at 122 and 124 Main Street critically document the commercial development of Huntington Beach. These lots were originally surveyed as Lots 22 and 24 of Block 5 of Pacific City dating back to our city's infancy. This, combined with the paucity of commercial buildings in the first decade of the 20th century, reinforce the probability that 122 Main Street housed the early City Hall. Certainly, it is among the earliest structures on Main Street. They are clearly visible on this very early postcard (Photo 1) with horses and buggies parked along the street.

HRB-6



HRB-7
(cont'd)

Photo 1. Courtesy Orange County Archives Postcard Collection

Even before the "oil boom" years, Main Street blossomed into our city's commercial district. A slightly later image (Photo 2) illustrated the presence of these buildings as they were increasingly surrounded by later edifices which were constructed to house various enterprises ranging from lumber sales to real estate offices.

Historic Resources Board

An advisory board to the Huntington Beach City Council



Photo 2. Courtesy Orange County Archives Postcard Collection.

By the end of the decade, Main Street was a bustling avenue as this photograph taken at a public celebration circa 1917 indicates. Again, these historic structures are clearly visible.

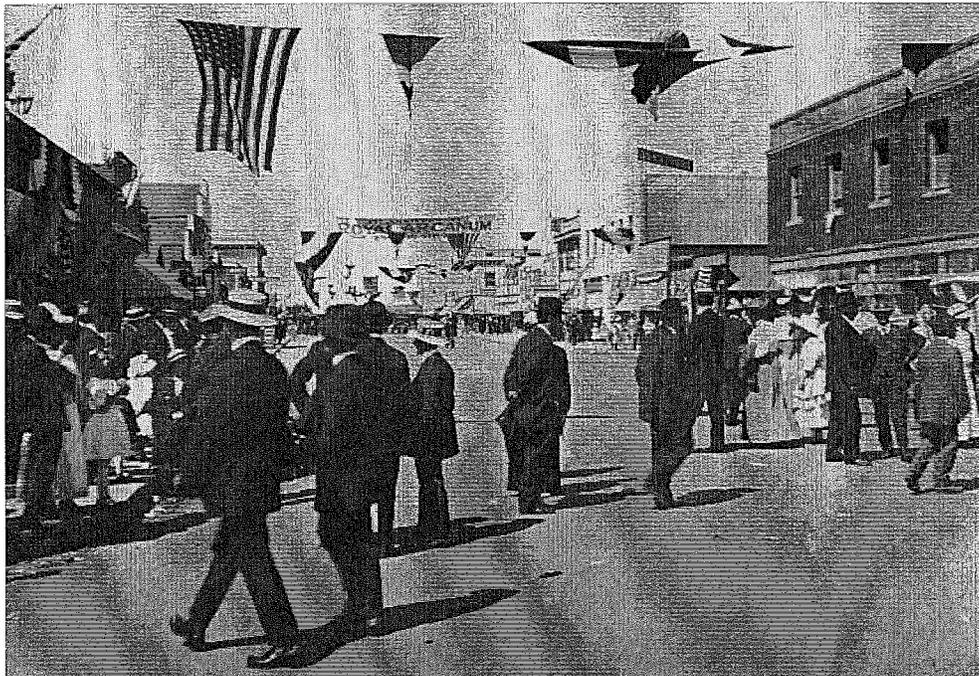


Photo 3. Courtesy Orange County Archives Photograph Collection

2000 Main Street ♦ Huntington Beach, California ♦ 92648
Phone (714) 536-5271 (Planning and Building Dept.)

Attachment No. 5.10

HRB-7
(cont'd)

Historic Resources Board

An advisory board to the Huntington Beach City Council

It is extremely clear that these two buildings, born with our city, have stood mute witness to our city's growth and historic legacy. Closely surrounding structures that may also have remained to celebrate even some portion of this past are long gone. Even the adjacent Standard Market, which replaced an earlier structure when it began operations as early as 1926, is gone today. This loss of most of the historic fabric of the downtown area has been tragic.

The historic buildings located at 122 and 124 Main Street are precious. We ask, in the strongest possible terms, that all consideration be given to the fullest preservation effort possible.

Members of the HRB appreciate this opportunity to comment on this critical issue. As promised to the applicant, we will make any and all additional source material we have located available to them.

Sincerely,

Duane Wentworth

Chair, Historic Resources Board

HRB-7
(cont'd)



HUNTINGTON BEACH BUILDING DIVISION

PROJECT IMPLEMENTATION CODE REQUIREMENTS

DATE: June 16, 2014

PROJECT NAME: Morning Jade Mixed Use

ENTITLEMENTS: Planning Application No. 12-83/Coastal Development #12-07/ Conditional Use Permit #12-11/Design Review #12-07

PROJECT LOCATION: 122-124 Main St., 92648 (east side of Main St., between Pacific Coast Highway and Walnut Ave.)

PROJECT PLANNER: Jill Arabe, Associate Planner

PLAN REVIEWER: Khoa Duong, P.E

TELEPHONE/E-MAIL: (714) 872-6123 / khoa@csgengr.com

PROJECT DESCRIPTION: To permit the partial demolition of two existing commercial buildings (designated as Historical Landmarks pursuant to the General Plan), preserve and relocate the historical facades 6 ft. east from the current property line, and construct a new 3-story mixed use project including on-grade residential parking garages, retail, office, and 3 residential units. The request includes in-lieu fees for parking.

The following is a list of code requirements deemed applicable to the proposed project based on plans received and dated May 27, 2014. The list is intended to assist the applicant by identifying requirements which must be satisfied during the various stages of project permitting and implementation. A list of conditions of approval adopted by the Planning Commission in conjunction with the requested entitlement(s), if any, will also be provided upon final project approval. If you have any questions regarding these requirements, please contact the Plan Reviewer.

I. **SPECIAL CONDITIONS:**

Development Impact Fees will be required for new construction.

II. **CODE ISSUES BASED ON PLANS & DRAWINGS SUBMITTED:**

1. Project shall comply with the current state building codes adopted by the city at the time of permit application submittal. Currently they are 2013 California Building Code (CBC), 2013 California Mechanical Code, 2013 California Plumbing Code, 2013 California Electrical Code, 2010 California Energy Code, 2013 California Green Building Standards Code, and the Huntington Beach Municipal Code (HBMC). Compliance to all applicable state and local codes is required prior to issuance of building permit.
2. Provide building code analysis including type of construction, allowable area and height, occupancy group requirements, exterior wall ratings per Chapter 5 and 7 of the 2013 CBC.
3. Provide Project Data to show:

- Type of building constructions(s)
 - Occupancy groups
 - Building with fire sprinkler system
4. For zero set back distance between building and property line –
 - a. Please check the building for deflection.
 - b. The openings are not allowed in exterior wall. The exterior wall at grid lines 1 and 6 shall extend to the edge of projections.
 5. Please show location of all property lines on each level. Also, show the setback distances between exterior walls/projects and property line.
 6. Provide compliance to disabled accessibility requirements of Chapter 11A and/or 11B of the 2013 CBC.
 - a. Provide complete Site plan showing the accessible paths of travel from public sidewalk(s) the building entrances along with maximum slope of 5%; and cross slope of 2%.
 - b. All entrances on grade level must be accessible to disabled persons.
 - c. Provide accessible parking stall(s) per Chapter 11B of CBC.
 - d. All exterior exit doors, in direction of door swing, provide 24" clear space past the strike edge. Please show the required clear space on Floor plan.
 - e. All stairways and elevator must be accessible to disabled persons. Provide details and notes to show how they comply with Chapter 11B.
 - f. All residential units must be accessible to disabled persons. Provide details and notes to show how they comply with Chapter 11A.
 7. Please provide egress plan – Chapter 10 of 2013 CBC
 - a. Show the occupant load in each area/room/floor along with occupant load factors.
 - b. Identify on floor plans location of all fire rated corridors, stairway shafts, and extension of fire rated shafts.
 - c. Check the separation between required exits.
 - d. Shaft enclosure shall extend to the exterior exit doors.
 - Elevator cannot open into the extension of stairway shaft.
 - e. Two exits are required from Office area.
 - f. All interior stairways shall be enclosed per Section 1022 of CBC.
 8. For mixed use and occupancy, please comply with Section 508 of 2013 CBC.
 9. Residential Unit –
 - a. Please check the required light and ventilation for all rooms and areas.
 - b. Provide emergency escape and rescue openings for all bedrooms per Section R310 of 2013 CRC. Also, please check the egress path of travel from interior court to the public way.
 - c. Please review kitchen layout plans to comply with Section 1133A.
 - d. Please review bathroom layout plans to comply with Section 1134A.
 10. For parking garages please see Section 406 of CBC for specific code parameters in addition to those applicable sections found elsewhere in the code.
 11. For elevators please see Section 708.14 and Chapter 30 of CBC.
 - a. Elevator enclosures shall comply with Section 708.
 - b. Provide elevator lobby per Section 708.14.
 12. Please specify on Roof plan the proposed use of roof deck.
 13. For projects that will include multiple licensed professions in multiple disciplines, i.e. Architect and professional engineers for specific disciplines, a Design Professional in Responsible Charge will be requested per the 2013 CBC, Section 107.3.4.

14. In addition to all of the code requirements of the 2013 California Green Building Standards Code, specifically address Construction Waste Management per Sections 4.408.2, 4.408.3, 4.408.4, 5.408.1.1, 5.408.1.2, and 5.408.1.3 and Building Maintenance and Operation, Section 5.410. Prior to the issuance of a building permit the permittee will be required to describe how they will comply with the sections described above. Prior to Building Final Approval, the city will require a Waste Diversion Report per Sections 4.408.5 and 5.408.1.4.

III. **COMMENTS:**

1. Planning and Building Department encourage the use of pre-submittal building plan check meetings.
2. Separate Building, Mechanical, Electrical and Plumbing Permits will be required for all exterior accessory elements of the project, including but not limited to: fireplaces, fountains, sculptures, light poles, walls and fences over 42" high, retaining walls over 2' high, detached trellises/patio covers, gas piping, water service, backflow anti-siphon, electrical, meter pedestals/electrical panels, swimming pools, storage racks for industrial/commercial projects. It will be the design professional in charge, responsibility to coordinate and submit the documents for the work described above.
3. Provide on all plan submittals for building, mechanical, electrical and plumbing permits, the Conditions of Approval and Code Requirements that are associated with the project through the entitlement process. If there is a WQMP, it is required to be attached to the plumbing plans for plan check.



**CITY OF HUNTINGTON BEACH
HUNTINGTON BEACH FIRE DEPARTMENT
PROJECT IMPLEMENTATION CODE REQUIREMENTS**

DATE: June 30, 2014

PROJECT NAME: Morning Jade Mixed Use

ENTITLEMENTS: Planning Application No. 12-83/Coastal Development #12-07/ Conditional Use Permit #12-11/Design Review #12-07

PROJECT LOCATION: 122-124 Main St., 92648 (east side of Main St., between Pacific Coast Highway and Walnut Ave.)

PROJECT PLANNER: Jill Arabe, Associate Planner

PLAN REVIEWER: Joe Morelli, Assistant Fire Marshal

TELEPHONE/E-MAIL: 714-536-5531 / Joe.Morelli@surfcity-hb.org

PROJECT DESCRIPTION: To permit the demolition of two commercial structures designated as Historical Landmarks pursuant to the General Plan and the construction of a 3-story mixed use project including on-grade residential parking garages, 2,330 sf retail, 5,000 sf office, and 3 residential units. [also includes roof top deck]

The following is a list of code requirements deemed applicable to the proposed project based on plans received and dated May 27, 2014. The list is intended to assist the applicant by identifying requirements which must be satisfied during the various stages of project permitting and implementation. A list of conditions of approval adopted by the Planning Commission in conjunction with the requested entitlement(s), if any, will also be provided upon final project approval. If you have any questions regarding these requirements, please contact the Plan Reviewer.

Environmental

Prior to Building or Grading Plan approval, compliance to the following items is required:

1. ***Methane Mitigation District Requirements.*** The proposed construction is within the City of Huntington Beach Methane Mitigation District. Testing for the presence of methane gas is required. The results will be used to determine whether a methane mitigation system will be required.
2. ***City Specification # 431-92 Soil Quality Standards testing is required.*** Based on site characteristics, suspected soil contamination, proximity to a producing/abandoned oil well, or Phase I, II, or III Site Audit, soil testing conforming to City Specification # 431-92 Soil Clean-Up Standards is required.

Prior to the issuance of any grading or building permits, all soils at the site shall conform to City Specification # 431-92 Soil Clean-Up Standards prior to the issuance of a grading or building permit. Grading and building plans shall reference that "All soils shall conform to City Specification # 431-92 Soil Clean-Up Standards" in the plan notes.

3. **Prior to the issuance of grading or Building Permits**, the following is required to demonstrate compliance with City Specifications 429 and 431-92:
 - a. **Soil Sampling Work Plan:** Render the services of a qualified environmental consultant to prepare and submit a soil sampling work plan to the HBFD for review and approval. Once the HBFD reviews and approves the submitted work plan, the sampling may commence.
Note: Soil shall not be exported to other City of Huntington Beach locations without first being demonstrated to comply with City Specification 431-92 Soil Clean Up Standards. Also, any soil proposed for import to the site shall first be demonstrated to comply with City Specification 431-92.
 - b. **Soil Sampling Lab Results:** Conduct the soil sampling in accordance with the HBFD approved work plan. After the sampling is conducted, the lab results (along with the Environmental Consultants summary report) for methane and 431-92 testing shall be submitted to the H.B.F.D. for review.
 - c. **Remediation Action Plan:** If contamination is identified, provide a Fire Department approved Remediation Action Plan (RAP) based on requirements found in Huntington Beach *City Specification #431-92, Soil Cleanup Standard*. **All soils shall conform to City Specification # 431-92 Soil Clean-Up Standards prior to the issuance of a grading or building permit.**

Fire Protection Systems and Fire Department Access

1. **Applicable Codes:** Plans shall show compliance with the Huntington Beach Municipal Code, City Specifications, and the California Fire and Building Codes (including the City of H.B. Amendments).
2. **Automatic Fire Sprinklers** complying with NFPA 13 and City Specification #420 are required. Separate plans (two sets) shall be submitted to the Fire Department approval. The system shall provide water flow, tamper and trouble alarms, manual pull stations, interior and exterior horns and strobes.

NOTE: When buildings under construction are more than one (1) story in height and required to have automatic fire sprinklers, the fire sprinkler system shall be installed and operational to protect all floors lower than the floor currently under construction. Fire sprinkler systems for the current floor under construction shall be installed, in-service, inspected and approved prior to beginning construction on the next floor above.

3. **Class I Standpipe System** complying with NFPA 14, the California Fire Code, and Huntington Beach Municipal Code is required.
4. **Fire Department Connections (FDC)** to the automatic fire sprinkler system and standpipe system shall be provided in a location approved by the Huntington Beach Fire Department. Note: The location of the FDC must be acceptable to the HBFD and approximately within 25' of a hydrant meeting the requirements of City Specification 407 Fire Hydrant Installation Standards.
5. **Fire Extinguishers** shall be installed and located in all areas to comply with Huntington Beach Fire Code standards found in *City Specification #424*. Indicate Fire Extinguisher locations on the plans.
6. **Main Secured Building Entries** shall utilize a KNOX[®] Fire Department Access Key Box, installed and in compliance with City Specification #403, Fire Access for Pedestrian or Vehicular Security Gates & Buildings.
7. **Fire Hydrants** are required. Hydrants must be portrayed on the site plan. Hydrants shall be installed and in service **before** combustible construction begins in accordance with City Specification #407 in locations approved by the HBFD.

Note: The installation of at least one additional hydrant (complying with City Specification 407 and the California Fire Code) will be required on the same side of the street as the project and in a location approved by the HBFD and Public Works.

8. **Fire Alarm System** – A Fire Alarm System is required in accordance with Section 907 of the CBC and CFC. For Fire Department approval, reference that a Fire Alarm System will be installed in accordance with NFPA 72 and Section 907 of the CBC and CFC.
9. **Elevators** shall be sized to accommodate an ambulance gurney in accordance with Chapter 30 of the CBC.
10. **Emergency Escape and Rescue Openings** are required per Section 1029 of the CBC and CFC. **The applicant shall demonstrate that these requirements are adhered to in accordance with the 2013 California Fire and Building Codes prior to architectural plan approval.**
11. **Fire Department Access** is required per CFC Chapter 5 and the Huntington Beach Municipal Code. Access to meet the maximum hose pull distances shall be provided in accordance with CFC Section 503 (as amended by the Huntington Beach Fire Department) and the Huntington Beach Municipal Code.

The alley behind 116-128 Main St. is required to be maintained for Fire Department Access in accordance with City Specification #401 and #415. The architectural plans shall document these requirements and show the alley is maintained clear for F.D. Access with signage complying with City Specification #415 provided.

12. **Building Address Numbers** shall be installed to comply with City Specification #428, Premise Identification. Building address number sets are required on front of the structure and shall be a minimum of six inches (6") high with one and one half inch (1 ½") brush stroke. Note: Units shall be identified with numbers per City Specification # 409 Street Naming and Address Assignment Process. Unit address numbers shall be a minimum of four inches (4") affixed to the units front door in a contrasting color. For Fire Department approval, reference compliance with City Specification #428 Premise Identification in the plan notes and portray the address location on the building.
13. **Stairway access to the roof is required.** Stairway access to the roof shall be in accordance with Section 1009.13. Such stairway shall be marked at the street and floor levels with a sign indicating that the stairway continues to the roof.
14. **Enhanced Communication Systems** are required for Fire Department and Police Department communications in Subterranean Parking Garages. Repeater type radio systems as specified by the Fire and Police Departments shall provide adequate communication inside the structure in accordance with Chapter 5 of the CFC.
15. **GIS Mapping Information** shall be provided to the Fire Department in compliance with GIS Department CAD Submittal Guideline requirements. Minimum submittals shall include the following:
 - Site plot plan showing the building footprint.
 - Specify the type of use for the building
 - Location of electrical, gas, water, sprinkler system shut-offs.
 - Fire Sprinkler Connections (FDC) if any.
 - Knox Access locations for doors, gates, and vehicle access.
 - Street name and address.

Final site plot plan shall be submitted in the following digital format and shall include the following:

- Submittal media shall be via CD rom to the Fire Department.
- Shall be in accordance with County of Orange Ordinance 3809.
- File format shall be in .shp, AutoCAD, AUTOCAD MAP (latest possible release) drawing file - .DWG (preferred) or Drawing Interchange File - .DXF.
- Data should be in NAD83 State Plane, Zone 6, Feet Lambert Conformal Conic Projection.
- Separate drawing file for each individual sheet.
- In compliance with Huntington Beach Standard Sheets, drawing names, pen colors, and layering convention. and conform to *City of Huntington Beach Specification # 409 – Street Naming and Addressing*.
- Reference compliance with *GIS Mapping Information* in the building plan notes.

THE FOLLOWING CONDITIONS SHALL BE MAINTAINED DURING CONSTRUCTION:

1. **Fire/Emergency Access** and Site Safety shall be maintained during project construction phases in compliance with the California Fire Code.
2. **Discovery of soil contamination or underground pipelines**, etc., must be reported to the Fire Department immediately and the approved work plan modified accordingly in compliance with City Specification #431-92 Soil Clean-Up Standards.
3. **Outside City Consultants.** The Fire Department review of this project and subsequent plans will require the use of City consultants. The Huntington Beach City Council approved fee schedule allows the Fire Department to recover consultant fees from the applicant, developer or other responsible party.

Fire Department City Specifications may be obtained at:
Huntington Beach Fire Department Administrative Office
City Hall 2000 Main Street, 5th floor
Huntington Beach, CA 92648

or at the following link:

http://www.huntingtonbeachca.gov/government/departments/fire/fire_prevention_code_enforcement/

If you have any questions, please contact the Fire Prevention Division at (714) 536-5411.



CITY OF HUNTINGTON BEACH
OFFICE OF BUSINESS DEVELOPMENT
PROJECT IMPLEMENTATION CODE REQUIREMENTS

DATE: May 30, 2014

PROJECT NAME: Morning Jade Mixed Use

ENTITLEMENTS: Planning Application No. 12-83/Coastal Development #12-07/ Conditional Use Permit #12-11/Design Review #12-07

PROJECT LOCATION: 122-124 Main St., 92648 (east side of Main St., between Pacific Coast Highway and Walnut Ave.)

PROJECT PLANNER: Jill Arabe, Associate Planner

PLAN REVIEWER: Simone Slifman, Economic Development Project Manager

TELEPHONE/E-MAIL: (714) 375-5186 simone.slifman@surfcity-hb.org

PROJECT DESCRIPTION: To permit the partial demolition of two existing commercial buildings (designated as Historical Landmarks pursuant to the General Plan), preserve and relocate the historical facades 6 ft. east from the current property line, and construct a new 3-story mixed use project including on-grade residential parking garages, retail, office, and 3 residential units. The request includes in-lieu fees for parking.

The following is a list of code requirements deemed applicable to the proposed project based on plans received and dated May 27, 2014. The list is intended to assist the applicant by identifying requirements which must be satisfied during the various stages of project permitting and implementation. A list of conditions of approval adopted by the Planning Commission in conjunction with the requested entitlement(s), if any, will also be provided upon final project approval. If you have any questions regarding these requirements, please contact the Plan Reviewer.

The Office of Business Development has reviewed the submission and has the following comments:

Business Development supports the applicant's payment of the in-lieu parking fees to facilitate meeting parking requirements for this project. Business Development suggests ensuring that the retail and office space be designed to encourage the type of high quality tenants compatible with the style of retail and office uses desired for the downtown.



HUNTINGTON BEACH PLANNING AND BUILDING DEPARTMENT PROJECT IMPLEMENTATION CODE REQUIREMENTS

DATE: July 7, 2014

PROJECT NAME: Morning Jade Mixed Use Building

PLANNING APPLICATION NO. 2012-083

ENTITLEMENTS: Conditional Use Permit No. 12-011/ Coastal Development Permit No. 12-007/ Design Review No. 12-007/ Environmental Assessment No. 14-001

DATE OF PLANS: May 27, 2014

PROJECT LOCATION: 122-124 Main Street (east side of Main Street, between Pacific Coast Highway and Walnut Avenue)

PLAN REVIEWER: Jill Arabe, Associate Planner

TELEPHONE/E-MAIL: (714) 374-5357 / jarabe@surfcity-hb.org

PROJECT DESCRIPTION: **CUP/CDP:** To permit the partial demolition of two commercial structures designated as Historical Landmarks pursuant to the General Plan and the construction of an approximately 9,530 square feet, three-story mixed use building with rooftop deck consisting of retail, office, and three residential units. The request includes parking in-lieu fees for the commercial parking spaces. **DR:** To review the design, colors, and materials of the proposed structure and rehabilitated storefront. **EA:** To review the potential environmental impacts of the proposed project.

The following is a list of code requirements deemed applicable to the proposed project based on plans stated above. The list is intended to assist the applicant by identifying requirements which must be satisfied during the various stages of project permitting and implementation. A list of conditions of approval adopted by the Planning Commission in conjunction with the requested entitlement(s), if any, will also be provided should final project approval be received. If you have any questions regarding these requirements, please contact the Plan Reviewer.

CONDITIONAL USE PERMIT 12-011 / COASTAL DEVELOPMENT PERMIT NO. 12-007:

1. The site plan, floor plans, and elevations approved by the Planning Commission shall be the conceptually approved design with the following modifications:
 - a. A minimum of 3% of public open space shall be provided onsite. The plans shall indicate compliance with public open space requirements including a minimum of 30% of the public open space area containing landscaping, including shade trees, accent trees and other soft landscaping. Potted plants within the public open space area do not count towards this requirement. (SP5-3.3.1.15)

- b. Interior dimensions of the required residential parking spaces shall be provided with a minimum of 9 ft. width and 19 ft. depth (per space). The man doors leading into the garages shall not depict encroachment within the required parking space dimensions. **(SP5-3.2.2.26.4 and 3.2.26.6)**
- c. The elevator and enclosed stairways shall not exceed a maximum height of 10 feet above the maximum allowed building height of 35 feet and 3 stories. Additional structures above the rooftop deck shall be clearly labeled on the section drawings and depicted on the elevations. **(SP5-3.3.1.8)**
- d. A minimum of 5 bicycle parking spaces shall be provided onsite. **(SP5-3.2.26.5)**
- e. All guest parking shall be fully accessible. It shall not be enclosed within a garage or enclosed area. **(HBZSO Section 231.18D)**
- f. All new development shall be consistent with the water quality requirements of the General Plan, Local Coastal Program, and the NPDES. **(SP5-3.2.29)**
- g. Sufficient refuse and recycling collection areas shall be provided for all uses (residential, retail, and office). Please demonstrate compliance with requirements and provide a will-serve letter from Rainbow Disposal for the site. **(SP5-3.2.19)**
- h. All residential development shall adhere to Section 230.26 of the HBZSO. **(SP5-3.2.20)**
- i. The site plan shall include all utility apparatus, such as but not limited to, backflow devices and Edison transformers. Utility meters shall be screened from view from public right-of-ways. Electric transformers in a required front or street side yard shall be enclosed in subsurface vaults. Backflow prevention devices shall be not be located in the front yard setback and shall be screened from view. **(HBZSO Section 230.76)**
- j. All exterior mechanical equipment shall be screened from view on all sides. Rooftop mechanical equipment shall be setback a minimum of 15 feet from the exterior edges of the building. Equipment to be screened includes, but is not limited to, heating, air conditioning, refrigeration equipment, plumbing lines, ductwork and transformers. Said screening shall be architecturally compatible with the building in terms of materials and colors. If screening is not designed specifically into the building, a rooftop mechanical equipment plan showing proposed screening must be submitted for review and approval with the application for building permit(s). **(HBZSO Section 230.76)**
- k. The site plan and elevations shall include the location of all gas meters, water meters, electrical panels, air conditioning units, mailboxes (as approved by the United States Postal Service), and similar items. If located on a building, they shall be architecturally integrated with the design of the building, non-obtrusive, not interfere with sidewalk areas and comply with required setbacks. **(HBZSO Section 230.76)**
- l. The separation between the building wall and north and south property lines shall not exceed two (2) inches. Buildings located adjacent to property line(s) shall be designed for 2" maximum out of plane displacement resulting from prescribed lateral forces specified by the California Building Code. (A maintenance easement agreement shall be submitted by the applicant for review and approval by the Planning and Building Department. The approved agreement shall be recorded with the County Recorder.) **(HBZSO Section 210.06.J)**

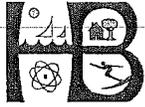
- m. All parking area lighting shall be energy efficient and designed so as not to produce glare on adjacent residential properties. Security lighting shall be provided in areas accessible to the public during nighttime hours, and such lighting shall be on a time-clock or photo-sensor system. **(HBZSO 231.18.C)**
2. Prior to issuance of demolition permits, the following shall be completed:
- a. The applicant shall follow all procedural requirements and regulations of the South Coast Air Quality Management District (SCAQMD) and any other local, state, or federal law regarding the removal and disposal of any hazardous material including asbestos, lead, and PCB's. These requirements include but are not limited to: survey, identification of removal methods, containment measures, use and treatment of water, proper truck hauling, disposal procedures, and proper notification to any and all involved agencies. **(AQMD Rule 1403)**
 - b. Pursuant to the requirements of the South Coast Air Quality Management District, an asbestos survey shall be completed. **(AQMD Rule 1403)**
 - c. The applicant shall complete all Notification requirements of the South Coast Air Quality Management District. **(AQMD Rule 1403)**
 - d. The City of Huntington Beach shall receive written verification from the South Coast Air Quality Management District that the Notification procedures have been completed. **(AQMD Rule 1403)**
 - e. All asbestos shall be removed from all buildings prior to demolition of any portion of any building. **(AQMD Rule 1403)**
 - f. All facets of the project related to historic preservation shall be reviewed and approved by the City of Huntington Beach. The applicant shall provide written notice of any proposed demolition to the Planning and Building Department, for review by the City of Huntington Beach Historic Resources Board, a minimum of 45 days in advance of permit issuance. The HRB may relocate, fully document and/or preserve significant architectural elements. The applicant/property owner shall not incur any costs associated with moving or documenting the structure by the Board. **(Policy Memo PP-71)**
3. Prior to issuance of grading permits, the following shall be completed:
- a. A Landscape and Irrigation Plan, prepared by a Licensed Landscape Architect shall be submitted to the Planning and Building Department for review and approval. **(HBZSO Section 232.04)**
 - b. Existing mature trees that are to be removed must be replaced at a 2 for 1 ratio with a 36" box tree or palm equivalent (13'-14' of trunk height for Queen Palms and 8'-9' of brown trunk). **(CEQA Categorical Exemption Section 15304)**
 - c. "Smart irrigation controllers" and/or other innovative means to reduce the quantity of runoff shall be installed. **(HBZSO Section 232.04.D)**
 - d. Standard landscape code requirements apply. **(HBZSO Chapter 232)**
 - e. All landscape planting, irrigation and maintenance shall comply with the City Arboricultural and Landscape Standards and Specifications. **(HBZSO Section 232.04.B)**

- f. Landscaping plans should utilize native, drought-tolerant landscape materials where appropriate and feasible. **(HBZSO Section 232.06.A)**
 - g. A Consulting Arborist (approved by the City Landscape Architect) shall review the final landscape tree-planting plan and approve in writing the selection and locations proposed for new trees. Said Arborist signature shall be incorporated onto the Landscape Architect's plans and shall include the Arborist's name, certificate number and the Arborist's wet signature on the final plan. **(Resolution No. 4545)**
4. Prior to submittal for building permits, the following shall be completed:
 - a. The property owner shall submit an In-Lieu Parking Fee Participation Agreement to the Planning and Building Department. The agreement shall be reviewed and approved by the City Attorney as to form and content and, when approved, shall be recorded in the Office of the Orange County Recorder. The recorded agreement shall remain in effect for the term specified, except as modified or rescinded pursuant to the expressed written approval of the City of Huntington Beach. **(City Council Resolution Nos. 6720 and 6721)**
 5. Prior to issuance of building permits, the following shall be completed:
 - a. An Affordable Housing Agreement in accord with Section 230.26 of the ZSO. **(HBZSO Section 230.26)**
 - b. The Downtown Specific Plan fee shall be paid. **(Resolution No. 5328)**
 - c. A Mitigation Monitoring Fee for mitigated negative declarations and EIRs, shall be paid to the Planning and Building Department pursuant to the fee schedule adopted by resolution of the City Council. **(City of Huntington Beach Planning and Building Department Fee Schedule)**
 - d. All new commercial and industrial development and all new residential development not covered by Chapter 254 of the Huntington Beach Zoning and Subdivision Ordinance, except for mobile home parks, shall pay a park fee, pursuant to the provisions of HBZSO Section 230.20 – *Payment of Park Fee*. The fees shall be paid and calculated according to a schedule adopted by City Council resolution. **(City of Huntington Beach Planning and Building Department Fee Schedule)**
 6. During demolition, grading, site development, and/or construction, the following shall be adhered to:
 - a. All Huntington Beach Zoning and Subdivision Ordinance and Municipal Code requirements including the Noise Ordinance. All activities including truck deliveries associated with construction, grading, remodeling, or repair shall be limited to Monday - Saturday 7:00 AM to 8:00 PM. Such activities are prohibited Sundays and Federal holidays. **(HBMC 8.40.090)**
 7. The structure(s) cannot be occupied, the final building permit(s) cannot be approved, and utilities cannot be released for the first residential unit, and issuance of a Certificate of Occupancy until the following has been completed:
 - a. A copy of the recorded In-Lieu Parking Fee Participation Agreement and proof of full payment or first installment payment to the City Treasurer shall be submitted to the Planning and Building Department. **(Resolution Nos. 6720 and 6721)**

- b. A Certificate of Occupancy must be approved by the Planning and Building Department and issued by the Building and Safety Department. **(HBMC 17.04.036)**
 - c. Complete all improvements as shown on the approved grading, landscape and improvement plans. **(HBMC 17.05)**
 - d. All trees shall be maintained or planted in accordance to the requirements of Chapter 232. **(HBZSO Chapter 232)**
 - e. All landscape irrigation and planting installation shall be certified to be in conformance to the City approved landscape plans by the Landscape Architect of record in written form to the City Landscape Architect. **(HBZSO Section 232.04.D)**
 - f. The provisions of the Water Efficient Landscape Requirements shall be implemented. **(HBMC 14.52)**
8. The Development Services Departments (Planning and Building, Fire, and Public Works) shall be responsible for ensuring compliance with all applicable code requirements and conditions of approval. The Director of Planning and Building may approve minor amendments to plans and/or conditions of approval as appropriate based on changed circumstances, new information or other relevant factors. Any proposed plan/project revisions shall be called out on the plan sets submitted for building permits. Permits shall not be issued until the Development Services Departments have reviewed and approved the proposed changes for conformance with the intent of the Planning Commission's action. If the proposed changes are of a substantial nature, an amendment to the original entitlement reviewed by the Planning Commission may be required pursuant to the provisions of HBZSO Section 241.18. **(HBZSO Section 241.18)**
9. Conditional Use Permit No. 12-011 / Coastal Development Permit No. 12-007 shall become null and void unless exercised within one year of the date of final approval, or as modified by condition of approval. An extension of time may be granted by the Director pursuant to a written request submitted to the Planning and Building Department a minimum 30 days prior to the expiration date. **(HBZSO Section 241.16.A)**
10. Conditional Use Permit No. 12-011/ Coastal Development Permit No. 12-007 shall not become effective until the appeal period following the approval of the entitlements have elapsed. **(HBZSO Section 241.14)**
11. The Planning Commission reserves the right to revoke Conditional Use Permit No. 12-011/ Coastal Development Permit No. 12-007 pursuant to a public hearing for revocation, if any violation of the conditions of approval, Huntington Beach Zoning and Subdivision Ordinance or Municipal Code occurs. **(HBZSO Section 241.16.D)**
12. The project shall comply with all applicable requirements of the Municipal Code, Planning and Building Department and Fire Department, as well as applicable local, State and Federal Fire Codes, Ordinances, and standards, except as noted herein. **(City Charter, Article V)**
13. Construction shall be limited to Monday – Saturday 7:00 AM to 8:00 PM. Construction shall be prohibited Sundays and Federal holidays. **(HBMC 8.40.090)**
14. The applicant shall submit a check in the amount of \$50.00 (plus the appropriate filing fee for the CEQA document) for the posting of the Notice of Determination at the County of Orange Clerk's

Office. The check shall be made out to the County of Orange and submitted to the Planning and Building Department within two (2) days of the Planning Commission's approval of entitlements. **(California Code Section 15094)**

15. All landscaping shall be maintained in a neat and clean manner, and in conformance with the HBZSO. Prior to removing or replacing any landscaped areas, check with the Departments of Planning and Building, and Public Works for Code requirements. Substantial changes may require approval by the Planning Commission. **(HBZSO Section 232.04)**
16. All permanent, temporary, or promotional signs shall conform to Chapter 233 of the HBZSO and the Downtown Specific Plan. Prior to installing any new signs, changing sign faces, or installing promotional signs, applicable permit(s) shall be obtained from the Planning and Building Department. Violations of this ordinance requirement may result in permit revocation, recovery of code enforcement costs, and removal of installed signs. **(HBZSO Chapter 233)**



CITY OF HUNTINGTON BEACH

PUBLIC WORKS INTERDEPARTMENTAL COMMUNICATION

PROJECT IMPLEMENTATION CODE REQUIREMENTS

DATE: JUNE 19, 2014
PROJECT NAME: MIXED USE DEVELOPMENT
ENTITLEMENTS: CUP 12-11, CDP 12-07, DR 12-07
PLNG APPLICATION NO. : 2012-0083
DATE OF PLANS: MAY 27, 2014
PROJECT LOCATION: 122-124 MAIN STREET
PROJECT PLANNER JILL ARABE, ASSISTANT PLANNER
TELEPHONE/E-MAIL: 714-374-5357 / JARABE@SURFCITY-HB.ORG
PLAN REVIEWER: STEVE BOGART, SENIOR CIVIL ENGINEER *SB*
TELEPHONE/E-MAIL: 714-374-1692 / SBOGART@SURFCITY-HB.ORG
PROJECT DESCRIPTION: TO PERMIT THE PARTIAL DEMOLITION OF TWO EXISTING COMMERCIAL BUILDINGS (DESIGNATED AS HISTORICAL LANDMARKS PURSUANT TO THE GENERAL PLAN), PRESERVE AND RELOCATE THE HISTORICAL FACADES 6 FT. EAST FROM THE CURRENT PROPERTY LINE, AND CONSTRUCT A NEW 3-STORY MIXED USE PROJECT INCLUDING ON-GRADE RESIDENTIAL PARKING GARAGES, 2,330 SF RETAIL, 5,000 SF OFFICE, AND 3 RESIDENTIAL UNITS. THE REQUEST INCLUDES IN-LIEU FEES FOR PARKING.

The following is a list of code requirements deemed applicable to the proposed project based on plans as stated above. The items below are to meet the City of Huntington Beach's Municipal Code (HBMC), Zoning and Subdivision Ordinance (ZSO), Department of Public Works Standard Plans (Civil, Water and Landscaping) and the American Public Works Association (APWA) Standards Specifications for Public Works Construction (Green Book), the Orange County Drainage Area management Plan (DAMP), and the City Arboricultural and Landscape Standards and Specifications. The list is intended to assist the applicant by identifying requirements which shall be satisfied during the various stages of project permitting, implementation and construction. If you have any questions regarding these requirements, please contact the Plan Reviewer or Project Planner.

THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A GRADING PERMIT:

1. A Legal Description and Plot Plan of the dedications to City to be prepared by a licensed surveyor or engineer and submitted to Public Works for review and approval. The dedication shall be recorded prior to issuance of a grading permit.

2. The following dedications to the City of Huntington Beach shall be shown on the Precise Grading Plan. (ZSO 230.084A)
 - a. A 4.5 foot right-of-way alley dedication along the project frontage is required, per Public Works Standard Plan No. 107. The rear alley is designated with an ultimate width of 24 feet.
 - b. A 2.5 foot right-of-way dedication for pedestrian access and public utilities along the Main Street frontage is required, for a 40 foot center line to property line width, per Public Works Standard Plan Nos. 104 and 207.
3. A Precise Grading Plan, prepared by a Licensed Civil Engineer, shall be submitted to the Public Works Department for review and approval. (MC 17.05/ZSO 230.84) The plans shall comply with Public Works plan preparation guidelines and include the following improvements on the plan:
 - a. Curb, gutter and sidewalk along the Main Street frontage shall be removed and replaced per Public Works Standard Plan Nos. 202 and 207. The sidewalk width shall be increased to 26 feet and constructed with a unique paving design consistent with the requirements specified in the Downtown Specific Plan Update. All parking (including valet) shall be removed along the project frontage's new sidewalk and be replaced in a one-to-one ratio within walking distance of the site. (ZSO 230.84, DTSP)
 - b. A new sewer lateral shall be installed connecting to the main in the alley. If the new sewer lateral is not constructed at the same location as the existing lateral, then the existing lateral shall be severed and capped at the main or chimney. (ZSO 230.84)
 - c. A new domestic water service and meter or master meter shall be installed per Water Division Standards, and sized to meet the minimum requirements set by the California Plumbing Code (CPC) and Uniform Fire Code (UFC). (ZSO 255.04) (MC 14.08.020)
 - d. The irrigation water service may be combined with the domestic water service. (ZSO 230.84)
 - e. The existing domestic water service currently serving the existing development may potentially be utilized if it is of adequate size, conforms to current standards, and is in working condition as determined by the Water Inspector. If the property owner elects to utilize the existing water service, any non-conforming water service, meter, and backflow protection devices shall be upgraded to conform to the current Water Division Standards. Alternatively, a new separate domestic water service, meter and backflow protection device may be installed per Water Division Standards and shall be sized to meet the minimum requirements set by the California Plumbing Code (CPC). (ZSO 254.04)
 - f. Separate backflow protection devices shall be installed per Water Division Standards for domestic and fire water services, and shall be screened from View. (Resolution 5921 and State of California Administrative Code, Title 17)
 - g. The existing domestic water services and meters, if not being used shall be abandoned per Water Division Standards. (ZSO 255.04)
 - h. The fire sprinkler system that is required by the Fire Department for the proposed development shall have a separate dedicated fire service line installed per Water Division Standards. (ZSO 230.84)
4. The developer shall submit for approval by the Fire Department and Water Division, a hydraulic water analyses to ensure that fire service connection from the point of connection to City water main to the backflow protection device satisfies Water Division standard requirements.
5. A Project Water Quality Management Plan (WQMP) conforming to the current Waste Discharge Requirements Permit for the County of Orange (Order No. R8-2009-0030) [MS4 Permit] prepared by a Licensed Civil Engineer, shall be submitted to the Department of Public Works for review and

acceptance. The WQMP shall address Section XII of the MS4 Permit and all current surface water quality issues.

6. The project WQMP shall include the following:
 - a. Low Impact Development.
 - b. Discusses regional or watershed programs (if applicable).
 - c. Addresses Site Design BMPs (as applicable) such as minimizing impervious areas, maximizing permeability, minimizing directly connected impervious areas, creating reduced or "zero discharge" areas, and conserving natural areas.
 - d. Incorporates the applicable Routine Source Control BMPs as defined in the Drainage Area Management Plan. (DAMP)
 - e. Incorporates Treatment Control BMPs as defined in the DAMP.
 - f. Generally describes the long-term operation and maintenance requirements for the Treatment Control BMPs.
 - g. Identifies the entity that will be responsible for long-term operation and maintenance of the Treatment Control BMPs.
 - h. Describes the mechanism for funding the long-term operation and maintenance of the Treatment Control BMPs.
 - i. Includes an Operations and Maintenance (O&M) Plan for all structural BMPs.
 - j. After incorporating plan check comments of Public Works, three final WQMPs (signed by the owner and the Registered Civil Engineer of record) shall be submitted to Public Works for acceptance. After acceptance, two copies of the final report shall be returned to applicant for the production of a single complete electronic copy of the accepted version of the WQMP on CD media that includes:
 - i. The 11" by 17" Site Plan in .TIFF format (400 by 400 dpi minimum).
 - ii. The remainder of the complete WQMP in .PDF format including the signed and stamped title sheet, owner's certification sheet, Inspection/Maintenance Responsibility sheet, appendices, attachments and all educational material.
 - k. The applicant shall return one CD media to Public Works for the project record file.
7. Indicate the type and location of Water Quality Treatment Control Best Management Practices (BMPs) on the Grading Plan consistent with the Project WQMP. The WQMP shall follow the City of Huntington Beach; Project Water Quality Management Plan Preparation Guidance Manual dated June 2006. The WQMP shall be submitted with the first submittal of the Grading Plan.
8. A suitable location, as approved by the City, shall be depicted on the grading plan for the necessary trash enclosure(s). The area shall be paved with an impervious surface, designed not to allow run-on from adjoining areas, designed to divert drainage from adjoining roofs and pavements diverted around the area, and screened or walled to prevent off-site transport of trash. The trash enclosure area shall be covered or roofed with a solid, impervious material. Connection of trash area drains into the storm drain system is prohibited. If feasible, the trash enclosure area shall be connected into the sanitary sewer. (DAMP)
9. A detailed soils and geological/seismic analysis shall be prepared by a registered engineer. This analysis shall include on-site soil sampling and laboratory testing of materials to provide detailed recommendations for grading, over excavation, engineered fill, dewatering, settlement, protection of

adjacent structures, chemical and fill properties, liquefaction, retaining walls, streets, and utilities. (MC 17.05.150)

10. The applicant's grading/erosion control plan shall abide by the provisions of AQMD's Rule 403 as related to fugitive dust control. (AQMD Rule 403)
11. The name and phone number of an on-site field supervisor hired by the developer shall be submitted to the Planning and Public Works Departments. In addition, clearly visible signs shall be posted on the perimeter of the site every 250 feet indicating who shall be contacted for information regarding this development and any construction/grading-related concerns. This contact person shall be available immediately to address any concerns or issues raised by adjacent property owners during the construction activity. He/She will be responsible for ensuring compliance with the conditions herein, specifically, grading activities, truck routes, construction hours, noise, etc. Signs shall include the applicant's contact number, regarding grading and construction activities, and "1-800-CUTSMOG" in the event there are concerns regarding fugitive dust and compliance with AQMD Rule No. 403.
12. The applicant shall notify all property owners and tenants within 300 feet of the perimeter of the property of a tentative grading schedule at least 30 days prior to such grading.

THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLIED WITH DURING GRADING OPERATIONS:

13. An Encroachment Permit is required for all work within the City's right-of-way. (MC 12.38.010/MC 14.36.030)
14. The developer shall coordinate the development of a truck haul route with the Department of Public Works if the import or export of material in excess of 5000 cubic yards is required. This plan shall include the approximate number of truck trips and the proposed truck haul routes. It shall specify the hours in which transport activities can occur and methods to mitigate construction-related impacts to adjacent residents. These plans must be submitted for approval to the Department of Public Works. (MC 17.05.210)
15. Water trucks will be utilized on the site and shall be available to be used throughout the day during site grading to keep the soil damp enough to prevent dust being raised by the operations. (California Stormwater BMP Handbook, Construction Wind Erosion WE-1)
16. All haul trucks shall arrive at the site no earlier than 8:00 a.m. or leave the site no later than 5:00 p.m., and shall be limited to Monday through Friday only. (MC 17.05)
17. Wet down the areas that are to be graded or that is being graded, in the late morning and after work is completed for the day. (WE-1/MC 17.05)
18. The construction disturbance area shall be kept as small as possible. (California Stormwater BMP Handbook, Construction Erosion Control EC-1) (DAMP)
19. All haul trucks shall be covered or have water applied to the exposed surface prior to leaving the site to prevent dust from impacting the surrounding areas. (DAMP)
20. Prior to leaving the site, all haul trucks shall be washed off on-site on a gravel surface to prevent dirt and dust from leaving the site and impacting public streets. (DAMP)
21. Comply with appropriate sections of AQMD Rule 403, particularly to minimize fugitive dust and noise to surrounding areas. (AQMD Rule 403)
22. Wind barriers shall be installed along the perimeter of the site. (DAMP)

23. All construction materials, wastes, grading or demolition debris and stockpiles of soils, aggregates, soil amendments, etc. shall be properly covered, stored and secured to prevent transport into surface or ground waters by wind, rain, tracking, tidal erosion or dispersion. (DAMP)

**THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO
ISSUANCE OF A BUILDING PERMIT:**

24. A Precise Grading Permit shall be issued. (MC 17.05)
25. Traffic Impact Fees (TIF) for the development shall be paid at the rate applicable at the time of Building Permit issuance. The current TIF for the residential, office, and commercial use is \$1,394.58/unit, \$2,026.71/ksf, and \$4,175.67/ksf, respectively. Credits are given for the existing use when calculating the fee. (MC 17.65)
26. A drainage fee for the subject development shall be paid at the rate applicable at the time of Building Permit issuance. The current rate of \$13,880 per gross acre is subject to periodic adjustments. This project consists of 0.186 gross acres (including its tributary area portions along the half street frontages) for a total required drainage fee of \$2589. City records indicate the previous use on this property never paid this required fee. Per provisions of the City Municipal Code, this one-time fee shall be paid for all subdivisions or development of land. (MC 14.48)
27. The applicable Orange County Sanitation District Capital Facility Capacity Charge shall be paid to the City Department of Public Works. (Ordinance OCSD-40)

**THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO
ISSUANCE OF AN ENCROACHMENT PERMIT:**

28. Traffic Control Plans, prepared by a Licensed Civil or Traffic Engineer, shall be prepared in accordance with the latest edition of the City of Huntington Beach Construction Traffic Control Plan Preparation Guidelines and submitted for review and approval by the Public Works Department. (Construction Traffic Control Plan Preparation Guidelines)

**THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO FINAL
INSPECTION OR OCCUPANCY:**

29. Complete all improvements as shown on the approved grading plan. (MC 17.05)
30. All new utilities shall be undergrounded. (MC 17.64)
31. All applicable Public Works fees shall be paid at the current rate unless otherwise stated, per the Public Works Fee Schedule adopted by the City Council and available on the city web site at http://www.surfcity-hb.org/files/users/public_works/fee_schedule.pdf. (ZSO 240.06/ZSO 250.16)
32. Prior to grading or building permit close-out and/or the issuance of a certificate of use or a certificate of occupancy, the applicant shall:
 - a. Demonstrate that all structural Best Management Practices (BMPs) described in the Project WQMP have been constructed and installed in conformance with approved plans and specifications.
 - b. Demonstrate all drainage courses, pipes, gutters, basins, etc. are clean and properly constructed.

- c. Demonstrate that applicant is prepared to implement all non-structural BMPs described in the Project WQMP.
- d. Demonstrate that an adequate number of copies of the approved Project WQMP are available for the future occupiers.

ADDITIONAL COMMENTS REGARDING THE CURRENT SITE PLAN AND WATER UTILITY APPERTENANCES:

It is suggested that the location of the backflow devices for the domestic water and fire services be designed for this project. The backflow devices shall not be located within the building structure but must be located outside of the building, within the subject property boundaries and not in the public right-of-way. Locations for said backflow devices shall be approved by Public Works and Planning Departments. The connections for the site's necessary water services will likely be to the existing 8-inch public water main within the alley. The rear of the proposed building does not provide much room with the garage door openings, trash enclosure and building access opening taking up much of the space. If the developer proposes a single domestic water meter to serve the entire building, a meter vault can be quite large depending on the size of the meter. New water meters shall not be located in the garage door or trash enclosure openings.

Zoning Conformance Table – 122-124 Main Street

Development Standard	Required	Proposed
Minimum Parcel Size	25' street frontage 2,500 sf net area	50' street frontage 5,525 sf net area
Maximum Density	site area < 3 (25-foot wide) lots: 30 du/ac	0.126 ac x 30 du/ac = 3 units
Minimum Building Height	25'	35'
Maximum Building Height	< 8,000 sf net site area: 35' & 3 stories	35'* 3 stories**
Upper Story Setback (3 rd -4 th story)	10' average	10.45'
Front Yard Setback	0'-Max. 5'	3'-6" (after 2.5' dedication)
Interior Side Yard Setback	0'	0'
Rear Yard Setback	3'	3'
Public Open Space	3% (include residential units) of net site area	Minimum 3%
Parking	2,660 sq. ft. retail – 8 spaces 4,500 sq. ft. commercial – 9 spaces 1 – 1-bedroom – 2 spaces 2 – 2-bedroom – 4 spaces Guest - 0.25 x 3 = 0.75 spaces	8 spaces 9 spaces 2 spaces 4 spaces 1 space <hr/> 24 spaces (7 provided onsite; 17 in-lieu spaces requested)

* Per DTSP Section 3.2.8, exceptions to height include parapet walls not more than 4' high and stair access and necessary mechanical appurtenances

** Per DTSP Section 2.7, rooftop deck with walls less than or equal to 42 inches in height and covered access thereto shall not be counted as a story

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HISTORIC RESOURCES ASSESSMENT REPORT

**122 MAIN STREET (APN: 024-154-02)
AND
124 MAIN STREET (APN: 024-154-02)
HUNTINGTON BEACH, ORANGE COUNTY, CALIFORNIA**

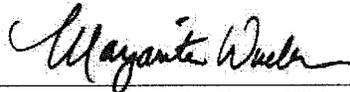
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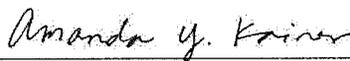
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DECEMBER 2014

We certify that this is an original copy.



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Table of Contents

	Page
I. INTRODUCTION	1
A. Executive Summary	1
B. Project Description.....	3
C. Research and Field Methodology	3
II. REGULATORY FRAMEWORK	7
A. Federal Level.....	7
1. National Register of Historic Places.....	7
B. State Level.....	9
1. California Register of Historical Resources.....	9
2. California Office of Historic Preservation Survey Methodology	11
C. Local Level	12
1. City of Huntington Beach	12
III. ENVIRONMENTAL SETTING.....	15
A. Historic Context.....	15
1. Rancho Los Bolsas and Early Settlement, 1834-1897.....	15
2. Early Settlement and Growth, 1901-1920	16
3. Western False Front Commercial Building Type	17
4. The Oil Boom and Interwar Transformation, 1920 – 1945	18
5. Streamline Moderne Style, 1930-1945.....	18
6. Post-World War II Development, 1945 – present	19
7. Construction and Occupancy History of 122 Main Street, APN: 024-154-02 (Project Site)	19
8. Construction and Occupancy History of 124 Main Street, APN: 024-154-02 (Project Site)	31
B. Previous Evaluations.....	34
1. Previous Evaluation: Historic Resources Survey Report (1986).....	34
2. Previous Evaluation: Historic and Cultural Resources Element in the General Plan (1996)	35
Listed Historical Resources in Huntington Beach	35
1. Evaluation of 122 Main Street, APN: 024-154-02 (Project Site).....	39
2. Evaluation of 124 Main Street, APN: 024-154-02 (Project Site).....	49
IV. CEQA IMPACTS ANALYSIS	55
1. CEQA Impacts Thresholds for Historical Resources.....	55
2. Impacts Analysis	55
3. Recommended Mitigation.....	62
4. Conclusion.....	63
V. BIBLIOGRAPHY.....	65
A. Publications.....	65

Table of Contents (Continued)

	Page
B. Newspapers.....	66

APPENDICES

Appendix A	
California Department of Parks And Recreation Record Form -122 Main Street (1986)	
California Department of Parks And Recreation Record Form -124 Main Street (1986)	
Appendix B - Professional Qualifications	
Appendix C - Proposed Project Plans	

List of Tables

	Page
Table 1 Category Ratings for Historical Landmarks*.....	12
Table 2 Construction Permit History for 122 Main Street.....	23
Table 3 Occupancy and Ownership History for 124 Main Street.....	32

List of Figures

	Page
Figure 1 Regional and Vicinity Map.....	6
Figure 2. 1909 Sanborn Map, The parcels of 122 and 124 Main Street are highlighted, 122 Main Street is developed with a two-story commercial building and 124 Main Street is vacant. (Los Angeles Public Library).....	20
Figure 3. 1922 Sanborn Map, The parcels of 122 and 124 Main Street are highlighted	21
Figure 4. 1939 Sanborn Map, The parcels of 122 and 124 Main Street are highlighted	22
Figure 5. Building permit #B082952 to demolish the rear buildings of 122 Main Street, December 31, 2001.....	25
Figure 6. 1942 July Fourth Parade, Southside of Main Street between Walnut and Ocean Avenue.....	26
Figure 7. Southside of Main Street between Walnut and Ocean Avenue.....	27
Figure 8. View Looking East Down Main Street, Undated (Orange County Photo Archive, First American Title Company)	28
Figure 9. View Looking West Down Main Street, November 7, 1944	29
Figure 10. Detail (cropped) of View Looking West Down Main Street, November 7, 1944.....	30
Figure 11. Southwest corner of Walnut and Main Street, 124 Main Street to right, circa 1910's (photograph from client)	33
Figure 12. Southwest corner of Walnut Avenue and Main Street.....	33
Figure 13. Proposed Main Street Historic District Map, 1986.....	37
Figure 14. Map of Historical Resources in Huntington Beach identified by the City, the Historical Resources Board (HRB)	38
Figure 15. 122 Main Street, Primary (north) elevation, view to south (PCR 2012).....	43
Figure 16. 122 Main Street, Primary (north) elevation, view to south (PCR 2012).....	43
Figure 17. 122 Main Street, Primary (north) elevation, view to south (PCR 2012).....	44
Figure 18. 122 Main Street, Rear (south) elevation, view to northwest (PCR 2012)	44
Figure 19. 122 Main Street, Rear (south) elevation, view to northwest (PCR 2012)	45

List of Figures (Continued)

	Page
Figure 20. 122 Main Street, Rear (south) elevation, view to northwest (PCR 2012)	45
Figure 21. 122 Main Street, Side (east) elevation, view to north (PCR 2012)	46
Figure 22. 122 and 124 Main Street, Detail of fronts, view to north (PCR 2012)	46
Figure 23. Interior of 122 Main Street, view to south (PCR 2012)	47
Figure 24. Interior of 122 Main Street, view to north (PCR 2012)	47
Figure 25. The historic setting of the 100 block of Main Street, view to south (PCR 2012)	48
Figure 26. 124 Main Street, Primary (north) elevation, view to south (PCR 2012)	52
Figure 27. 124 Main Street, Detail of transom windows above storefront, primary (north) elevation, view to east (PCR 2012)	52
Figure 28. 124 Main Street, Side (west) elevation, view to north (PCR 2012)	53
Figure 29. 124 Main Street, Rear (south) elevation, view to north (PCR 2012)	53
Figure 30. 124 Main Street, Rear (south) elevation, view to north (PCR 2012)	54
Figure 31. Interior of 124 Main Street, view to northeast (PCR 2012)	54

I. INTRODUCTION

A. EXECUTIVE SUMMARY

This Historic Resources Assessment report, completed by PCR Services Corporation (PCR), documents and evaluates the federal, state, and local significance and eligibility of the properties located at 122 Main Street and 124 Main Street, Huntington Beach, Orange County, California. The Historic Resources Assessment report includes a discussion of the survey methods used, a brief historic context of the property and surrounding area, and the identification and evaluation of the subject property.

Two historical resources are located on the project site. The property located at 122 Main Street is occupied by a two-story commercial building constructed circa 1902. The adjacent parcel to the north, 124 Main Street, is occupied by a one-story commercial building constructed circa 1912. The two buildings are situated on the south side of Main Street, between Walnut Avenue to the east, Pacific Coast Highway/Ocean Avenue to the west, Fifth Street to the north, and 3rd Street to the south (Figure 1).

The two-story commercial building at 122 Main Street was previously surveyed in February 1986 and was assigned a status of 3D, "appears eligible for listing only as a contributor to a potential National Register district." The one-story commercial building at 124 Main Street was previously surveyed in February 1986 and was also assigned a status of 3D, "appears eligible for listing only as a contributor to a potential National Register district." Previous survey forms are included in Appendix A. However, 122 and 124 Main Street are not included within the boundaries of the Main Street Historic District described as "the 200 block of Main, the 200 and 300 blocks of Fifth Street and cross street buildings on Olive Avenue between Third and Fifth Streets."¹ The last survey of both 122 Main Street and 124 Main Street were completed in 1986, which makes both surveys over five years old, indicating a need for an update.²

PCR's Historic Resources Division conducted an intensive pedestrian survey, research and evaluation of the subject properties in July 2012. As a result, two historical resources were identified on the project site, 122 Main Street and 124 Main Street. The two-story Western False Front-style commercial building at 122 Main Street is a rare example of its style, type and method of construction and appears individually eligible for listing in the National Register and the California Register (CHR³ Status Code 3B) and as a Huntington Beach Historical Landmark (Category Ratings⁴ 3 and 5*/5D). Additionally, both 122 Main and the one-story Streamline Moderne commercial building at 124 Main appear eligible for listing as a contributors to a potential National Register district (CHR Status Code 3D and Historical Landmark Category Rating 3D). The subject properties and several other historic buildings in the 100 block of Main Street, including 120 Main

¹ *Thirtieth Street Architects, Historic resources survey report: City of Huntington Beach (Newport Beach, Calif: Thirtieth Street Architects, Inc., 1986): 42.*

² *The California Public Resources Code §5024.1(g)(4) states: "If the survey is five or more years old at the time of its nomination for inclusion in the California Register, the survey is updated to identify historical resources which have become eligible or ineligible due to changed circumstances or further documentation and those which have been demolished or altered in a manner that substantially diminishes the significance of the resource."*

³ *California Historical Resource (CHR) Status Codes are established by the California Register of Historical Resources.*

⁴ *Category Ratings for Historical Landmarks in Huntington Beach are established by the Historic Resources Board and the City Council.*

Street, 117-121 Main Street, and 127 Main Street, appear eligible as a distinct grouping or small district of commercial buildings associated with the Early Settlement and Growth of Huntington Beach (1901-1920) and the Oil Boom and Interwar Transformation (1920-1945).

Under the proposed project the historic exterior front facades will be retained and rehabilitated, thus the primary distinctive materials and features of the subject properties would be preserved. However, relocation of the historic storefronts is a City requirement due to the right-of-way dedication for pedestrian access and public utilities. Although the historic storefronts would be relocated approximately six feet back from their existing location, they would remain within their same respective parcels and have a similar orientation to the street. Thus, the visual and historical relationships of the subject properties with other historical resources in the immediate surrounding setting in the 100 block of Main would be preserved; and the historical associations of the subject properties with the Main Street Historic District would be retained.

The altered non-contributing interiors as well as the contributing exterior secondary side and rear elevations behind the storefronts would be removed and replaced with new construction. The side and rear elevations are secondary rather than primary character-defining features. The side elevations are hidden from view between the buildings and are not clearly visible from the public right of way. The side and rear elevations do not substantially contribute to the eligibility of the subject properties. Removal of the side and rear elevations are necessary for the new use and cannot be avoided. While the removal of the side and rear elevations and their replacement with new construction would remove secondary features and therefore result in a potentially adverse impact to historical resources, nevertheless, the adverse impact would be less than significant. The primary character-defining storefront façades would be retained and rehabilitated under the Project, which is necessary to preserve the eligibility of these resources. Hence, because the primary façades would be preserved and the subject properties would retain their eligibility as historical resources after project completion, and because the visual and historical relationships with other historical resources in the surrounding setting would be also be preserved, the project would result in a less than significant impact on historical resources.

The Proposed Project was analyzed for conformance with the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (Standards). The proposed project would conform to Standards 1, 4, 5, 6, 7, 8 and 10. While following their intent, the proposed project does not fully conform to Standards 2, 3, or 9 because of the relocation of the storefronts and removal of the side and rear elevations. Furthermore, there is a risk that damage may occur to the historic storefronts during relocation and construction. A bracing plan has been included as a project feature under the proposed project to prevent damage to the historic storefronts. Additionally, mitigation measures have been provided to reduce potential adverse impacts which would be less than significant, as discussed above. Mitigation measures include recordation of the subject properties in a Historic American Buildings Survey (HABS) report, which shall record the history and appearance of the subject properties prior to commencement of construction. Of the two buildings, only 122 Main is individually eligible and therefore a demolition monitoring and salvage program is recommended to evaluate the portions of the structure to be removed for salvage, analysis and interpretation in a demolition monitoring and salvage report. To avoid creating a false sense of history, a permanent metal plaque will be affixed to each storefront or a marker will be imbedded in the pavement in front, to briefly explain that the storefronts were relocated.

After project completion, with mitigation incorporated, the distinctive storefronts would be preserved and would continue to convey the important historical associations and architectural significance of the subject

properties, which would retain their eligibility as individual historical resources and as contributors to a distinct grouping or small district of commercial buildings in the surrounding setting. The metal plaques would inform the public that the storefronts had been relocated, and images of the buildings prior to relocation would be recorded in the HABS report. Therefore, with mitigation incorporated, the proposed project would result in a less than significant impact to historical resources. Hence, PCR recommends the preparation of an MND as the appropriate document to complete the environmental review process under CEQA.

B. PROJECT DESCRIPTION

The Proposed Project site includes the parcel located at 122 Main Street (APN: 024-154-02) and the adjacent parcel to the north located at 124 Main Street (APN: 024-154-02). Under the Proposed Project, the historic street fronts of the existing one and two-story commercial buildings at 122 Main Street and 124 Main Street would be retained and rehabilitated, while the remaining portions of the structures would be replaced with a three-story, 35 foot high mixed-use retail/office/residential building. The historic street fronts would be retained and moved back approximately 6 feet to be aligned with the adjacent commercial building on the northeast. Relocation of the historic street fronts is a City requirement due to the right-of-way dedication for pedestrian access and public utilities. The Proposed Project is comprised of 2,600 square feet of retail on the ground floor, 5,000 square feet of office space on the second floor, three residential units totaling 2,200 square feet on the third floor, and a roof deck. Ground level tandem parking for the three residential units along with one guest parking space would be provided in the building and accessed from the Alley. The total size of the Proposed Project is 9,530 square feet.

C. RESEARCH AND FIELD METHODOLOGY

The Historic Resource Assessment was conducted by PCR's Cultural Resources personnel Margarita J. Wuellner, Ph.D., Director of Historic Resources and Amanda Kainer, M.S., Architectural Historian, who meet and exceed the *Secretary of the Interior's Professional Qualification Standards* in history, architectural history, and historic preservation planning. Professional qualifications are provided in the Appendix B.

The historical resources evaluation involved a multi-step methodology. A review of the National Register of Historic Places (National Register) and its annual updates, the California Register of Historical Resources (California Register), the California Historic Resources Inventory Database maintained by the State Office of Historic Preservation (OHP), and the City of Huntington Beach's inventory of historic properties was performed to identify any previously recorded properties within or near the survey area. An intensive pedestrian site survey was undertaken to document the existing conditions of the property.

The National Register and California Register evaluation criteria were employed to assess the significance of the property. In addition, the following tasks were performed for the study:

- Conducted field inspections of the study area and subject property, and utilized the survey methodology of the State OHP.
- Photographed the subject property and examined other properties in the area that exhibited potential architectural and/or historical associations. Conducted site-specific research on the subject property utilizing building permits, assessor's records, Sanborn fire insurance maps, city directories,

historical photographs, United States Census, California Index, historical Los Angeles Times, City of Huntington Beach Public Records Search, and other published sources. Conducted the research at the City of Huntington Beach Department of Building and Planning, City of Huntington Beach City Clerk, City of Huntington Beach Central Public Library, First American Title Company, and Orange County Photo Archive.

- Reviewed and analyzed ordinance, statutes, regulations, bulletins, and technical materials relating to federal, state, and local historic preservation, designation assessment processes, and related programs.
- Evaluated potential historic resources based upon criteria used by the National Register and the California Register.

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Figure 1 Regional and Vicinity Map

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II. REGULATORY FRAMEWORK

Historic resources fall within the jurisdiction of several levels of government. Federal laws provide the framework for the identification, and in certain instances, protection of historic resources. Additionally, states and local jurisdictions play active roles in the identification, documentation, and protection of such resources within their communities. The National Historic Preservation Act (NHPA) of 1966, as amended and the California Register of Historical Resources are the primary federal and state laws and regulations governing the evaluation and significance of historic resources of national, state, regional, and local importance. Descriptions of these relevant laws and regulations are presented below.

A. FEDERAL LEVEL

1. National Register of Historic Places

The National Register of Historic Places (National Register) was established by the National Historic Preservation Act of 1966, as “an authoritative guide to be used by Federal, State, and local governments, private groups and citizens to identify the Nation’s cultural resources and to indicate what properties should be considered for protection from destruction or impairment.”⁵ The National Register recognizes properties that are significant at the national, state, and/or local levels.

To be eligible for listing in the National Register, a resource must be significant in American history, architecture, archaeology, engineering, or culture. Four criteria for evaluation have been established to determine the significance of a resource:

- A. It is associated with events that have made a significant contribution to the broad patterns of our history;
- B. It is associated with the lives of persons significant in our past;
- C. It embodies the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction;
- D. It yields, or may be likely to yield, information important in prehistory or history.⁶

Districts, sites, buildings, structures, and objects of potential significance that are 50 years in age must meet one or more of the above criteria.

In addition to meeting the Criteria for Evaluation, a property must have integrity. “Integrity is the ability of a property to convey its significance.”⁷ According to *National Register Bulletin 15 (NRB)*, the National Register

⁵ 36 Code of Federal Regulations (CFR) Section 60.2.

⁶ “Guidelines for Completing National Register Forms,” *National Register Bulletin 16*, U.S. Department of Interior, National Park Service, September 30, 1986. This bulletin contains technical information on comprehensive planning, survey of cultural resources and registration in the National Register of Historic Places.

recognizes seven aspects or qualities that, in various combinations, define integrity: location, design, setting, materials, workmanship, feeling, and association. In assessing a property's integrity, the National Register criteria recognize that properties change over time, therefore, it is not necessary for a property to retain all its historic physical features or characteristics. The property must retain, however, the essential physical features that enable it to convey its historic identity.⁸

For properties that are considered significant under National Register Criteria A and B, the *National Register Bulletin, How to Apply the National Register Criteria for Evaluation* states that a property that is significant for its historic association is eligible if it retains the essential physical features that made up its character or appearance during the period of its association with the important event, historical pattern, or person(s).⁹

In assessing the integrity of properties that are considered significant under National Register Criterion C, the *National Register Bulletin, How to Apply the National Register Criteria for Evaluation* provides that a property important for illustrating a particular architectural style or construction technique must retain most of the physical features that constitute that style or technique.¹⁰

a. Historic Districts

A National Register district possesses a significant concentration, linkage, or continuity of sites, buildings, structures, or objects united historically or aesthetically by plan or physical development.¹¹ *National Register Bulletin 15 (NRB)* describes the various components of a National Register district:

i. Concentration, Linkage, & Continuity of Features

A district derives its importance from being a unified entity, even though it is often composed of a wide variety of resources. The identity of a district results from the interrelationship of its resources, which can convey a visual sense of the overall historic environment or be an arrangement of historically or functionally related properties. For example, a district can reflect one principal activity, such as a mill or a ranch, or it can encompass several interrelated activities, such as an area that includes industrial, residential, or commercial buildings, sites, structures, or objects. A district can also be a grouping of archeological sites related primarily by their common components; these types of districts often will not visually represent a specific historic environment.

⁷ *National Register Bulletin 15*, p. 44.

⁸ "A property retains association if it is the place where the event or activity occurred and is sufficiently intact to convey that relationship to an observer. Like feeling, association requires the presence of physical features that convey a property's historic character. . . Because feeling and association depend on individual perceptions, their retention alone is never sufficient to support eligibility of a property for the National Register." *Ibid*, 15, p. 46.

⁹ *Ibid*.

¹⁰ "A property that has lost some historic materials or details can be eligible if it retains the majority of the features that illustrate its style in terms of the massing, spatial relationships, proportion, pattern of windows and doors, texture of materials, and ornamentation. The property is not eligible, however, if it retains some basic features conveying massing but has lost the majority of the features that once characterized its style." *Ibid*.

¹¹ *National Park Service, National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation* (Washington DC: U.S. Dept. of the Interior, National Park Service, Interagency Resources Division, 1990, rev. 1991).

ii. Significance

A district must be significant, as well as being an identifiable entity. It must be important for historical, architectural, archeological, engineering, or cultural values. Therefore, districts that are significant will usually meet the last portion of Criterion C plus Criterion A, Criterion B, other portions of Criterion C, or Criterion D.

iii. Types of Features

A district can comprise both features that lack individual distinction and individually distinctive features that serve as focal points. It may even be considered eligible if all of the components lack individual distinction, provided that the grouping achieves significance as a whole within its historic context. In either case, the majority of the components that add to the district's historic character, even if they are individually undistinguished, must possess integrity, as must the district as a whole.

A district can contain buildings, structures, sites, objects, or open spaces that do not contribute to the significance of the district. The number of noncontributing properties a district can contain yet still convey its sense of time and place and historical development depends on how these properties affect the district's integrity. In archeological districts, the primary factor to be considered is the effect of any disturbances on the information potential of the district as a whole.

iv. Geographical Boundaries

A district must be a definable geographic area that can be distinguished from surrounding properties by changes such as density, scale, type, age, style of sites, buildings, structures, and objects, or by documented differences in patterns of historic development or associations. It is seldom defined, however, by the limits of current parcels of ownership, management, or planning boundaries. The boundaries must be based upon a shared relationship among the properties constituting the district.

v. Discontiguous Districts

A district is usually a single geographic area of contiguous historic properties; however, a district can also be composed of two or more definable significant areas separated by nonsignificant areas. A discontiguous district is most appropriate where: elements are spatially discrete; space between the elements is not related to the significance of the district; and visual continuity is not a factor in the significance. It is not appropriate to use the discontiguous district format to include an isolated resource or small group of resources which were once connected to the district, but have since been separated either through demolition or new construction. For example, do not use the discontiguous district format to nominate individual buildings of a downtown commercial district that have become isolated through demolition.

B. STATE LEVEL

1. California Register of Historical Resources

The Office of Historic Preservation (OHP), as an office of the California Department of Parks and Recreation, implements the policies of the NHPA on a statewide level. The OHP also carries out the duties as set forth in the Public Resources Code (PRC) and maintains the California Historical Resources Inventory and the

California Register of Historical Resources. The State Historic Preservation Officer (SHPO) is an appointed official who implements historic preservation programs within the state's jurisdictions. Also implemented at the state level, CEQA requires projects to identify any substantial adverse impacts which may affect the significance of identified historical resources.

The California Register of Historical Resources (California Register) was created by Assembly Bill 2881 which was signed into law on September 27, 1992. The California Register is "an authoritative listing and guide to be used by state and local agencies, private groups, and citizens in identifying the existing historical resources of the state and to indicate which resources deserve to be protected, to the extent prudent and feasible, from substantial adverse change."¹² The criteria for eligibility for the California Register are based upon National Register criteria.¹³ Certain resources are determined by the statute to be automatically included in the California Register, including California properties formally determined eligible for, or listed in, the National Register.¹⁴

The California Register consists of resources that are listed automatically and those that must be nominated through an application and public hearing process. The California Register automatically includes the following:

- California properties listed on the National Register of Historic Places and those formally Determined Eligible for the National Register of Historic Places;
- California Registered Historical Landmarks from No. 770 onward;
- Those California Points of Historical Interest that have been evaluated by the OHP and have been recommended to the State Historical Commission for inclusion on the California Register.¹⁵

Other resources which may be nominated to the California Register include:

- Individual historical resources;
- Historical resources contributing to historic districts;
- Historical resources identified as significant in historical resources surveys with significance ratings of Category 1 through 5;
- Historical resources designated or listed as local landmarks, or designated under any local ordinance, such as an historic preservation overlay zone.¹⁶

To be eligible for the California Register, a historic resource must be significant at the local, state, or national level, under one or more of the following four criteria:

¹² *California Public Resources Code, Section 5024.1(a).*

¹³ *California Public Resources Code Section 5024.1(b).*

¹⁴ *California Public Resources Code Section 5024.1(d).*

¹⁵ *Ibid.*

¹⁶ *California Public Resources Code Section 5024.1(e).*

1. Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;
2. Is associated with the lives of persons important in our past;
3. Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
4. Has yielded, or may be likely to yield, information important in prehistory or history.

Additionally, a historic resource eligible for listing in the California Register must meet one or more of the criteria of significance described above and retain enough of its historic character or appearance to be recognizable as a historic resource and to convey the reasons for its significance. Historical resources that have been rehabilitated or restored may be evaluated for listing.¹⁷

Integrity is evaluated with regard to the retention of location, design, setting, materials, workmanship, feeling, and association. The resource must also be judged with reference to the particular criteria under which it is proposed for eligibility.¹⁸

2. California Office of Historic Preservation Survey Methodology

The evaluation instructions and classification system prescribed by the California Office of Historic Preservation in its Instructions for Recording Historical Resources provide a three-digit evaluation rating code for use in classifying potential historic resources. The first digit indicates one of the following general evaluation categories for use in conducting cultural resources surveys:

1. Listed on the National Register or the California Register;
2. Determined eligible for listing in the National Register or the California Register;
3. Appears eligible for the National Register or the California Register through survey evaluation;
4. Appears eligible for the National Register or the California Register through other evaluation;
5. Recognized as Historically Significant by Local Government;
6. Not eligible for any Listing or Designation; and
7. Not evaluated for the National Register or California Register or needs re-evaluation.

The second digit of the evaluation status code is a letter code indicating whether the resource is separately eligible (S), eligible as part of a district (D), or both (B). The third digit is a number that is used to further specify significance and refine the relationship of the property to the National Register and/or California Register. Under this evaluation system, categories 1 through 4 pertain to various levels of National Register and California Register eligibility. Locally eligible resources are given a rating code level 5. Properties found ineligible for listing in the National Register, California Register, or for designation under a local ordinance are given an evaluation status code of 6. Properties given an evaluation status code of 6Z are "found ineligible for the National Register, California Register, or Local designation through survey evaluation."

¹⁷ *California Code of Regulations, California Register of Historical Resources (Title 14, Chapter 11.5), Section 4852(c).*

¹⁸ *Ibid.*

C. LOCAL LEVEL

1. City of Huntington Beach

The City of Huntington Beach General Plan contains sixteen elements and was comprehensively updated in 1996.¹⁹ The Historic and Cultural Resources Element was added to the City of Huntington Beach General Plan in 1996. Within the Historical and Cultural Resources Element is a context of Huntington Beach's history and architectural styles; list and description of historic resources; summary of cultural resources; and goals, objectives and policies. The City of Huntington Beach's historical resources are identified by the Historic Resources Board, a Historic Place by the National Register, Potential Historic Districts by the Downtown Survey, and/or Local Landmark by the City of Huntington Beach City Council.²⁰ The Historic Resources Board (HRB), as established under Title 2, Chapter 2.107.010 of the Municipal Code, functions solely as an advisory board to the City Council on historical issues and programs. The significance of a structure or place is based upon its overall contribution to the community by either its historical, age, cultural, social, or visual function(s). The category ratings used to identify historical resources is provided in Table 1 below.²¹

Table 1

Category Ratings for Historical Landmarks*

- 1: Individually listed on the National Register of Historic Places.
- 3: Appears eligible for individual listing.
- 3D: Appears eligible for listing only as a contributor to a potential National Register district.
- 3/3D: Also appears individually eligible.
- 4: May become eligible for ____ when:
 - a. More historic or architectural research is performed
 - b. The property is restored to an earlier appearance.
 - c. more significant examples of the property's architectural style are demolished.
 - d. The property becomes old enough to meet the Register's 50-year requirement.
- 5*/5D: Appears individually eligible for local landmark designation.
- 6: None of the above.
- NR: Not Rated

* The above ratings are National Register Standards presented to Council in 1988 as part of the Johnson and Humann Report.

¹⁹ *Historical and Cultural Resources Element, City of Huntington Beach General Plan*, <http://www.huntingtonbeachca.gov/Government/Departments/Planning/gp/index.cfm> (1996) accessed July 20, 2012.

²⁰ *"The Historic and Cultural Resources Element," City of Huntington Beach General Plan*, <http://www.huntingtonbeachca.gov/Government/Departments/Planning/gp/index.cfm>, 1996, accessed July 20, 2012, p II-HCR-6.

²¹ *"The Historic and Cultural Resources Element," p. II-HCR-8.*

Included in the Historical and Cultural Resources Element is a figure of historical resources identified by the City, the Historical Resources Board, and the 1986 Downtown Historical Study and windshield survey (Figure 11).²² Also included is a list of historic resources (Table HCR-2) considered to be of significant importance to the local community as of 1991.²³ Some of the landmarks listed in 1991 are no longer extant. The Historical and Cultural Resources Element also identifies the potential historic districts: Main Street/Downtown, Ninth Street Avenue, and Wesley Park.²⁴

The City of Huntington Beach is currently updating the Historic Resources Survey Report, written in 1986. The information gathered and analyzed by the new resources survey will be used to update existing facts, figures, goals and policies of the Historic and Cultural Resources Element (HCRE).²⁵

²² "The Historic and Cultural Resources Element," p. II-HCR-7.

²³ "The Historic and Cultural Resources Element," p. II-HCR-9 to II-HCR-11.

²⁴ "The Historic and Cultural Resources Element," p. II-HCR-14 to II-HCR-16.

²⁵ *Major Projects and Applications in Process. City of Huntington Beach.*
<http://www.huntingtonbeachca.gov/government/departments/planning/major/>, accessed July 20, 2012.

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III. ENVIRONMENTAL SETTING

A. HISTORIC CONTEXT

The historic context developed below presents important themes associated within the historical development of Huntington Beach, California, where 122 Main Street and 124 Main Street are located. Research indicates the subject property is associated with the following historical and architectural themes: Rancho Los Bolsas and Early Settlement, 1834-1897; Early Settlement and Growth, 1901-1920; The Oil Boom and Interwar Transformation, 1920 – 1945; Post-World War II Development, 1939 – present; Western False Front Commercial Building Type; and Streamline Moderne Style, 1930-1945.

1. Rancho Los Bolsas and Early Settlement, 1834-1897

The area of Huntington Beach was originally occupied by the Tongva people, also known as Gabrielinos, whose lands stretched from what is now Topanga Canyon through Aliso Creek in Laguna Beach. European settlement can be traced to Spanish soldier, Manuel Nieto, who in 1784 received a Spanish land grant of 300,000 acres, which he named Rancho Los Nietos, as a reward for his military service. In 1834, following Mexico's independence from Spain, the original land grant was split at the request of the Nieto heirs. Mexican Governor Jose Figueroa deeded a section named Rancho Las Bolsas, consisting of twenty-one square miles to Catarina Ruiz, a widow of one of the Nietos. This area later became the cities of Huntington Beach, Garden Grove, Westminster, and Fountain Valley. In 1841, Bolsa Chica, a six square mile rancho to the northwest was split off and granted to Joaquin Ruiz.²⁶

In 1850, Abel Stearns acquired both Las Bolsas and Bolsa Chica Ranchos, making him the largest land and cattle owner in the State of California. He ran cattle and horses and raised barley crops on what is now the city of Huntington Beach. After the drought of 1867, Abel Stearns needed to make money, so he formed the Stearns Rancho Company. The Stearns Rancho Company sold the Huntington Beach area for \$5 to \$10 an acre, a low price because of the swampy thick vegetative areas and salt water marshes. Colonel Robert J. Northam, who raised and sold barley to surrounding ranchers, purchased the mesa from the Stearns Rancho Company between 1884 and 1897 and created the town of Shell Beach.²⁷

The first transportation to the Huntington Beach area was provided by the Smeltzer Branch of the Santa-Ana Newport Road. It was constructed in 1897 and passed along the coast from Newport Beach to the bluff that was later developed as Huntington Beach.²⁸

²⁶ "City History." *Historic and Cultural Resources Element: Huntington Beach: The City of Huntington Beach General Plan (1996)*. City of Huntington Beach History, <http://www.huntingtonbeachca.gov/about/history/>, accessed July 20, 2012.

²⁷ *Ibid.*
Carolyn F. Bailey, "A Brief History of Huntington Beach." (1981), <http://www.hbsurfcity.com/history/history2.htm>, accessed July 23, 2012.

²⁸ *Archaeological Resource Management Corporation, Report of Cultural Resources Records Search for Downtown Specific Plan, City of Huntington Beach (January 30, 2009): 8.*

2. Early Settlement and Growth, 1901-1920

In 1901, Philip Stanton formed a local syndicate, West Coast Land and Water Company, and purchased 150,000 acres of Rancho Los Bolsas from Colonel Robert J. Northam for \$100,000.²⁹ The West Coast Land and Water Company subdivided 40 acres along the beach with 20 acres on each side of Main Street and changed the name of Shell Beach to the Pacific City. Stanton's dream was to build a town on the Pacific Coast which would rival Atlantic City on the East Coast. An article in the *Los Angeles Times* described the development of the new beach resort in 1902:

A portion of the land has been cut up into lots and placed upon the market, many of them having been sold to Santa Ana, Los Angeles and Riverside parties. The contract has been let for the construction of a pleasure wharf, and the lumber to be used in its construction will be placed upon the ground within the next week. Contracts have also been let for the building of a number of cottages and a store building is now about completed. Within the next two months it is expected that at least fifty houses will have been completed and under way, according to the statements of the officers of the company. It is not improbable that this resort will soon be connected with Santa Ana by an electric railway which is contemplated between this city and Long Beach by the Huntington-Hellman syndicate.³⁰

Stanton realized the need for mass public transportation and persuaded Henry E. Huntington to bring the "red cars" to Pacific City. In 1903, Henry E. Huntington purchased the West Coast Land and Water Company for approximately \$200,000.³¹ The first electric train, the Pacific Electric Red Car, came rolling into Huntington Beach on July 4, 1904 from Los Angeles. The City name changed to Huntington Beach in approximately 1903 and incorporated in February of 1909 as a townsite of 3.57 square miles and a population of 915.³²

a. Main Street

During the early twentieth century there was considerable development in the downtown area, including the construction of a commercial district, schools, and a Carnegie Library. The commercial center was located along Main Street, extending east from Ocean Avenue. The first Sanborn map available from 1909 (Figure 2) shows the downtown as sparsely developed with the concentration of businesses located at the intersection of Ocean Avenue and Main Street. The two-story commercial building at 122 Main Street, originally constructed circa 1902, is depicted on the Sanborn Map and noted as vacant. The adjacent parcel to the west is developed with a building, but the adjacent parcel to the east, the future site of 124 Main Street, is empty. The commercial buildings appear to be simple wood frame buildings most likely constructed in the Western False Front style.

Development along Main Street and the downtown commercial area continued steadily into the 1920s. H.E. Pack, a realtor from Denver, Colorado, purchased a 50-by-110-foot corner at Main and Ocean in 1904 and his purchase encouraged others to buy property in the commercial center.³³ The First National Beach Bank was

²⁹ Dianne Marsh, *Huntington Beach: the gem of the South Coast* (Encinitas, Calif: Heritage Media Corp., c1999): 54-55.

³⁰ "Work at Pacific City," *Los Angeles Times* (June 7, 1902): A4.

³¹ "At Pacific City," *Los Angeles Times* (May 10, 1903): A1.

³² "City History." *Historic and Cultural Resources Element: Huntington Beach: The City of Huntington Beach General Plan* (1996).

³³ Dianne Marsh, 57.

constructed at the corner of Walnut and Main Streets in 1905. The first Huntington Beach Union High School constructed in the Mission Revival Style in 1910. The two-story commercial building at 122 Main Street was constructed circa 1912. The classical red-brick Carnegie Library was constructed between 1913 and 1914 on four lots at the corner of Walnut and Eight Streets. In 1914, a concrete pier was constructed to replace the earlier wooden pier built in 1902.

The Sanborn map from 1922 (Figure 3) shows the concentration of development along Main Street between Ocean and Olive Avenues. The surrounding area still remained sparsely developed. 122 Main Street is shown on the Sanborn map, was occupied by a restaurant and had a rear addition. 124 Main Street was occupied by two tenants, a photographer and barber, and there was a small ancillary building in the rear lot. The buildings constructed between 1909 and 1922 appear to be larger, they extend into the rear of the lot, and were multi-story buildings constructed from masonry materials.

3. Western False Front Commercial Building Type

The false front commercial building type is an icon of the urban pioneer West. When movie directors or theme park designers erect a typical western town, the false front commercial building usually plays a prominent role. Unlike many myths of the West, the false front commercial building truly was a common sight in Colorado as well as California. Such buildings were constructed in mountain mining towns, plains agricultural communities, and early railroad centers from the late nineteenth through the early years of the twentieth century.³⁴

For a developing town in the early twentieth century, like Huntington Beach, the false front commercial building type was an economical building solution. Shopkeepers, hotel proprietors, and other entrepreneurs were reluctant to invest heavily to erect a place of business during Colorado's uncertain boom and bust period of the late nineteenth century. Yet, they also wanted to project an image of stability and success to prospective customers. Particularly in the first few years of a community's development, many stores consisted of little more than canvas tents over wood platform floors. Once the local sawmill was established or the railroad arrived, sources of wood construction materials were more plentiful. Sound business economics led commercial building owners to budget their spending for substantial façades while relegating the secondary sides of buildings to a cheaper utilitarian treatment. The result was the ubiquitous false front commercial building.

In simplest terms, a false front is a front wall that extends above the roof and the sides of a building to create a more impressive façade. The false front commercial building has four major defining design characteristics. First, the façade (main or street side) rises to form a parapet (upper wall) which hides most or nearly all of the roof. Second, the roof is almost always a front gable, though gambrel and bowed roofs are occasionally found. Third, a better grade of materials is often used on the façade than on the sides or rear of the building. And fourth, the façade exhibits greater ornamentation than do the other sides of the building.

These buildings are nearly always constructed of wood, either log in the earliest examples or wood frame in latter types. Façades are usually wood sided, though other surface treatments were used, including pressed metal, stucco, and rolled asphalt siding. Occasional examples may be found of buildings with a brick or stone

³⁴ *False Front Commercial, History Colorado, <http://www.historycolorado.org/oahp/false-front-commercial>, accessed July 20, 2012.*

façade. The most traditional late nineteenth and early twentieth-century false front commercial building is wood frame, one to two stories in height, on a rectangular floor plan, with a front-gabled roof.

A commercial street lined with false front buildings created visual continuity and an urban atmosphere. If a community achieved a degree of success and stability, merchants and other commercial building owners chose both to erect new brick buildings and to replace existing wooden false fronts. Fire often swept through early commercial districts, eliminating most of the wood false front buildings. If the town rebuilt, the second generation of commercial buildings usually employed more stable, fire-resistant brick or stone construction. These later buildings, like false fronts, generally used more elaborate façade materials and detailing. However, the roofs were most often flat or gently rear sloping and the façades did not rise above the side walls. Therefore, such buildings are not classified as false front commercial.

4. The Oil Boom and Interwar Transformation, 1920 – 1945

Huntington Beach remained a sleepy seaside town until the famous oil boom in the 1920's. This was the largest California oil deposit known at the time. Wells sprang up overnight and in less than a month the town grew from 1,500 to 5,000 people.³⁵ Many poor farmers became overnight millionaires. In 1926, the area bounded by 8th and 23rd Streets, was the location of the second oil boom in Huntington Beach.³⁶ Practically every lot was turned into an oil lease and many existing residences and structures were removed.

By 1939, the downtown commercial district remained confined along Main Street between Ocean and Olive Avenues. Little was constructed along Main Street to the east of Olive Avenue, except for a WPA Post Office located at the southeast corner of Main and Olive Avenues. Substantial changes were made to the exterior facades of the buildings along Main Street during the oil boom of 1920 and slant-drill revival of the early 1930's. It was during this period the primary façade of 124 Main Street was updated to the Streamline Moderne style. 124 Main Street is occupied by a restaurant and has a rear addition along the east portion of the parcel. 122 Main Street is shown on the Sanborn map as occupied by two tenants with an addition constructed in the rear for dry cleaning equipment. It's possible the Western False Front primary façade of 122 Main Street was stuccoed during this modernization period along Main Street. The Art Deco building at 126 Main Street on the southwest corner of Main and Walnut Avenues (adjacent to 124 Main Street to the east) was constructed in 1928 by Roy de Britton and his sons for an open air market, and has since been demolished.³⁷

5. Streamline Moderne Style, 1930-1945

Following the height of the Art Deco style in the early 1930s, the Streamline Moderne style was an economic and stylistic response to the ravaging effects of the Great Depression. A new style was needed to express optimism and a bright look toward the future. Streamline Moderne style structures continued to suggest modern values of movement and rejection of historic precedents, but with far less opulence and more restraint than the Art Deco style of the late 1920s and early 1930s. Yet the Streamline Moderne style differed from the "High Art Modern Architecture" of the early 1930s in that it,

³⁵ "City History." *Historic and Cultural Resources Element: Huntington Beach: The City of Huntington Beach General Plan (1996)*.

³⁶ *Historical and Cultural Resources Element, City of Huntington Beach General Plan*, <http://www.huntingtonbeachca.gov/Government/Departments/Planning/gp/index.cfm> (1996) accessed July 20, 2012, p. II-HCR-2.

³⁷ *126 Main Street, City of Huntington Beach Historic Resources Board Plaque, 2000.*

...continued to regard design as 'styling' and that architecture should represent or perform as an image rather than be used as a space to radically change ones everyday life. The boosters of Streamline Moderne argued that their purpose was not to create an architecture that functioned in the same way as the ocean liner, airplane, or locomotive; rather, the buildings would symbolize those things and therefore remind one of the 'modern' future.³⁸

Streamline Moderne style architecture took its cue from the emerging field of industrial design and borrowed imagery from things swift and free – in particular, the ocean liner. The Streamline Moderne style of the building at 124 Main Street reflects the national trends of the style which reached its height during the 1930s and early 1940s in Southern California.

6. Post-World War II Development, 1945 – present

Beginning in the late 1950's and continuing into the 1960's and 1970's, residents by the thousands moved into the City. Huntington Beach became the fastest growing city in the United States as many housing tracts were constructed. After a final oil strike in 1953, the fire department began clearing out oil derricks within the city and along the coast to make room for the population explosion. Between 1957 and 1960, Huntington Beach experienced rapid growth, increasing its size from 25 square miles as the result of 11 farmland annexations.³⁹ Several buildings along Main Street received substantial changes in the 1950's through the 1970's. In the 1970's and 1980's oil production rigs were concealed to improve the beach's image.⁴⁰

The 1960s saw the development of Huntington Harbor and the arrival of Douglas Aircraft, later expanded to McDonnell Douglas Aircraft Space Systems Center. Currently the Boeing Company is one of the largest employers in Huntington Beach.⁴¹

7. Construction and Occupancy History of 122 Main Street, APN: 024-154-02 (Project Site)

The building permits on file in the City of Huntington Beach were reviewed to determine the history of construction and alterations for 122 Main Street. According to the 1986 Department of Parks and Recreation form, the two-story building at 122 Main Street was constructed in 1902. No architect or designer was listed. According to the DPR form and a former occupant of the building, Charles Sarrabere, 122 Main Street was the City Hall of Pacific City, when Huntington Beach was known as Pacific City between 1901 and 1903.

The 1909 Sanborn map (Figure 2 on page 20) shows a vacant two-story commercial building on the parcel of 122 Main Street. The 1922 Sanborn Map (Figure 3 on page 21) shows the building was occupied by a restaurant and there was a rear addition constructed along the east portion of the parcel for a kitchen between 1909 and 1922. The next available Sanborn Map from 1939 (Figure 4) shows the building was occupied by two tenants and the rear addition was used for dry cleaning equipment storage.

³⁸ Patrick Pascal, Kesling. *Modern Structures Popularizing Modern Design in Southern California 1934-1962*, (Los Angeles: Balcony Press, 2002), 10.

³⁹ *Historical and Cultural Resources Element, City of Huntington Beach General Plan*, <http://www.huntingtonbeachca.gov/Government/Departments/Planning/gp/index.cfm> (1996) accessed July 20, 2012, p. II-HCR-2.

⁴⁰ "City History." *Historic and Cultural Resources Element: Huntington Beach: The City of Huntington Beach General Plan* (1996).

⁴¹ *Ibid.*

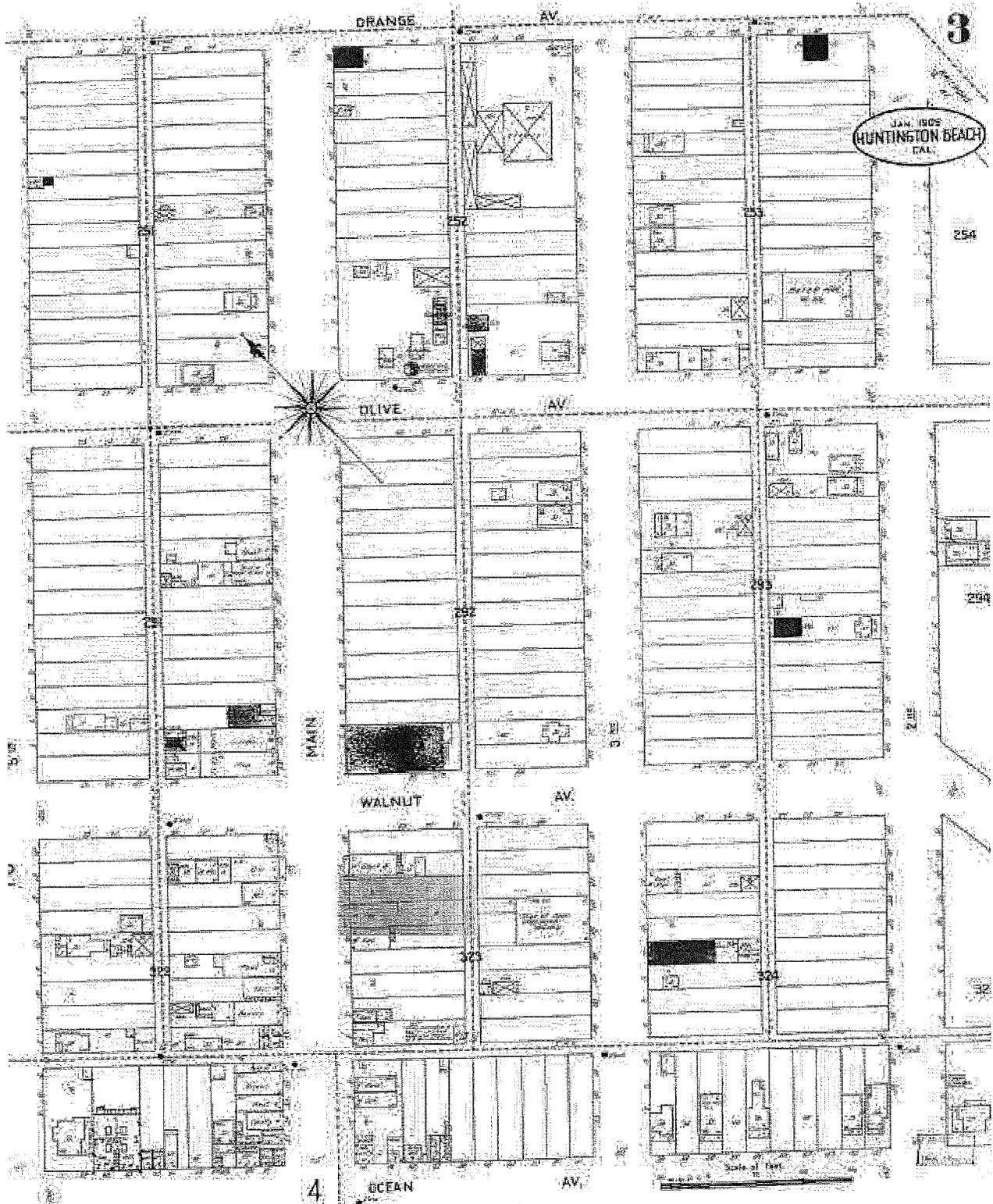


Figure 2. 1909 Sanborn Map, The parcels of 122 and 124 Main Street are highlighted, 122 Main Street is developed with a two-story commercial building and 124 Main Street is vacant. (Los Angeles Public Library)

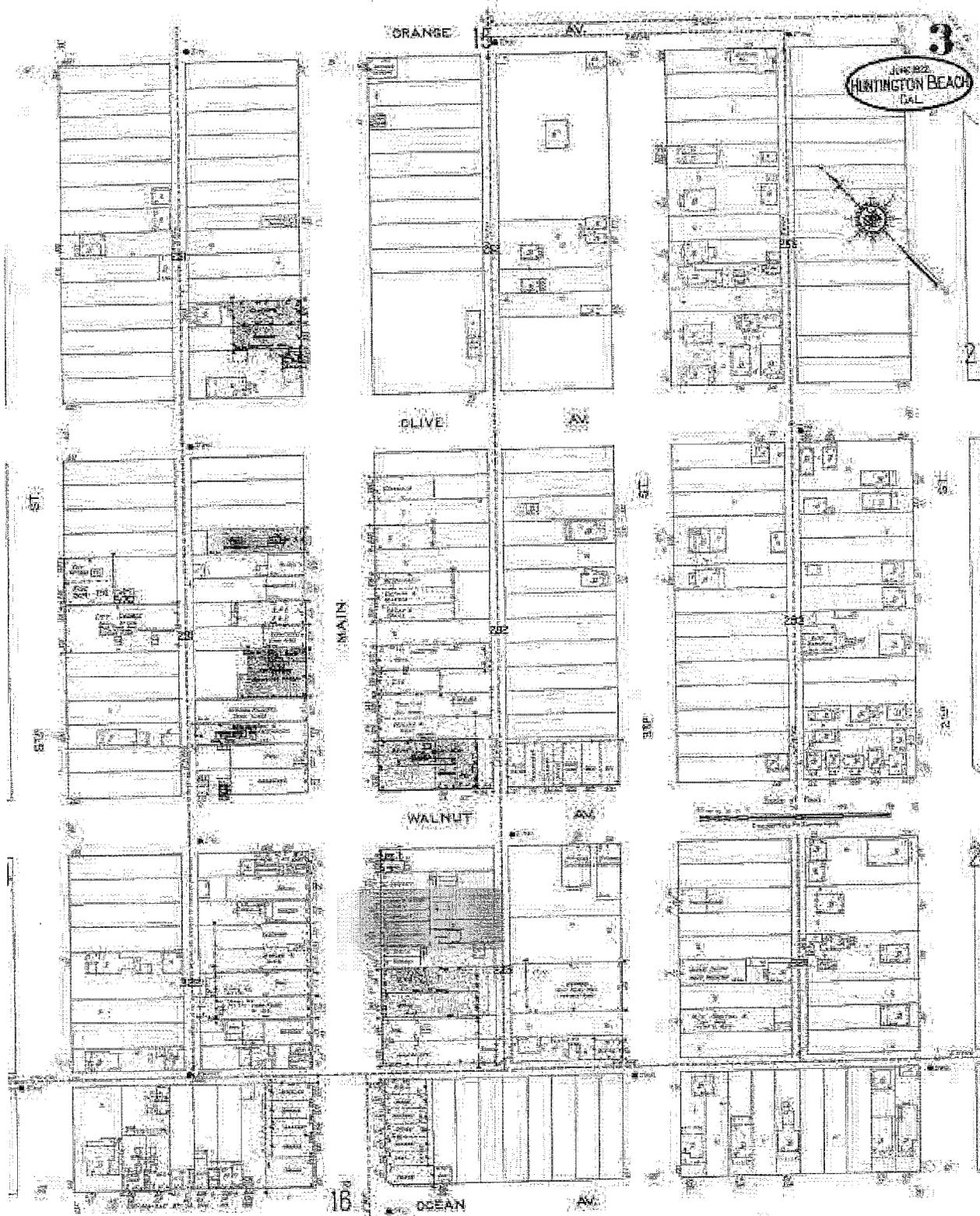


Figure 3. 1922 Sanborn Map, The parcels of 122 and 124 Main Street are highlighted
122 Main Street is developed with a two-story commercial building and 124 Main Street is developed with a one-story commercial building. (Los Angeles Public Library)

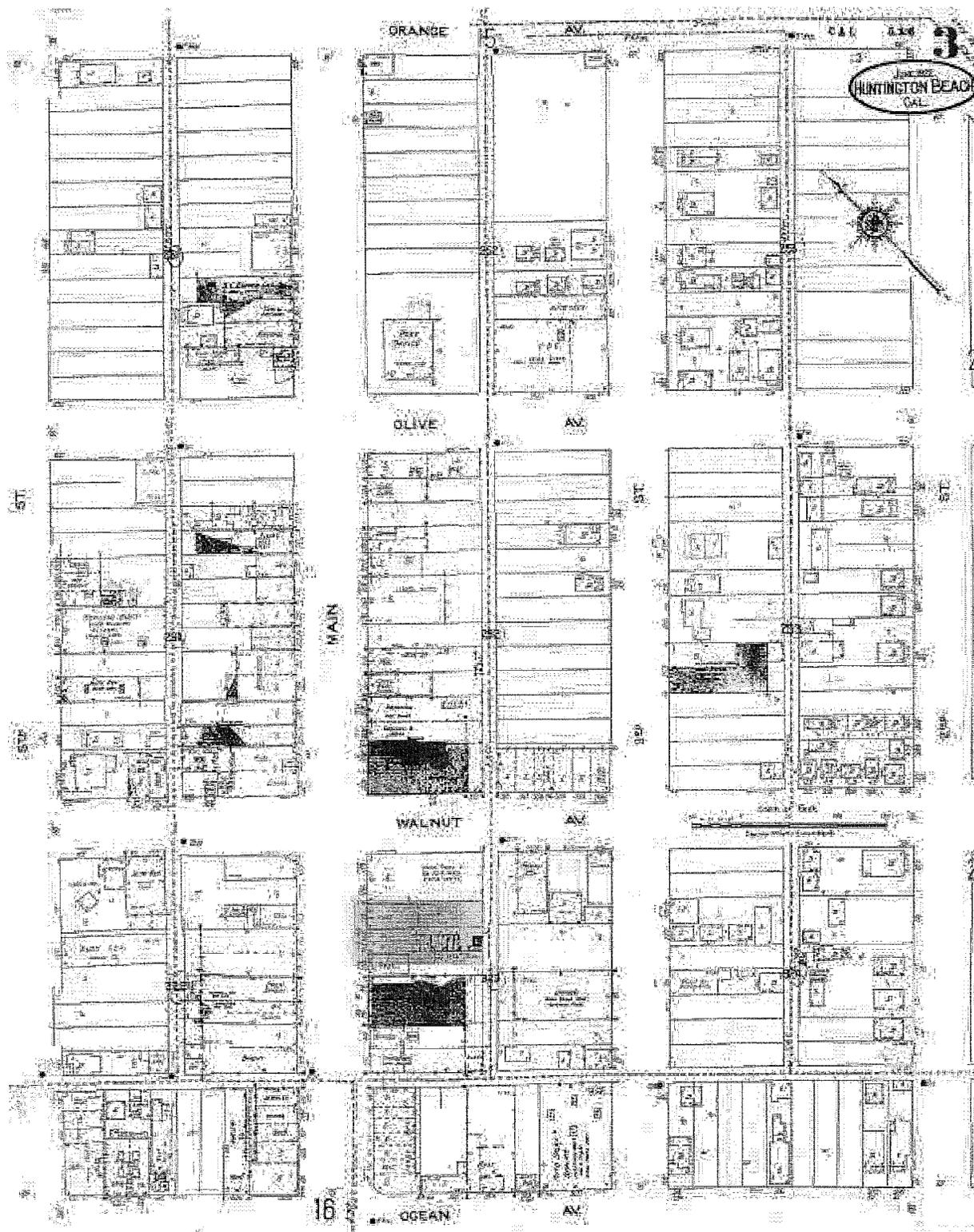


Figure 4. 1939 Sanborn Map, The parcels of 122 and 124 Main Street are highlighted
122 Main Street is developed with a two-story commercial building and 124 Main Street is developed with a one-story commercial building. (Los Angeles Public Library)

According to a previous owner, Charles Sarrabere, the building was occupied by a dry cleaning business between 1916 and 1981.⁴² Charles Sarrabere owned 122 Main Street and the adjacent building at 124 Main Street.

The subsequent construction history is limited because the records for 122 Main Street held at the City of Huntington Building Department begin in 1960. According to Building permit and Certificate of Occupancy records, clothing retailers occupied the building between 1994 and 2009.

The construction history is included in Table 2 below. Major alterations include the demolition of two rear ancillary buildings on the parcel in 2001, as depicted in Figure 5, and an interior tenant improvement in 2009 to accommodate a new gelato café.

No evidence was found that linked the subject property to the productive life of a historically significant person of local, statewide, or national level importance.⁴³

Table 2
Construction Permit History for 122 Main Street

Date	Bldg Permit Number	Owner	Architect	Contractor	Valuation	Description
12/27/1960	6369	Huntington Cleaners	n/a	Santa Ana Neon Co.	500	Sign for cleaners
6/27/1984	Certificate of Occupancy	Diamond Lane, Retail Clothing	n/a	n/a		
6/9/1986	A646448	Sarrabere Estate	n/a	W. Goodman	500	Demo freestanding walls between front and back of building
10/1/1986	Certificate of Occupancy	Metropolis, Retail Sales, Mrs. Woods	n/a	n/a		
12/13/2001	B-082952	William Goodman	n/a	n/a		Demo half back of lot (523 sqft) - Detached back building along rear using tractor
4/16/2007	Certificate of Occupancy	Gnosko, Bill Goodman	n/a	n/a		Change in occupancy
6/12/2007	B2007-004474	Farris Trust	n/a	n/a		Install 1 foam letter wall sign for Gnosko

⁴² John Penner, "Huntington Beach: 'Shrine' a Target for Condemnation," *Los Angeles Times* (December 5, 1889).

⁴³ There were no City of Huntington Beach directories available at the City of Huntington Beach Public Library. There was also no data for 122 and 124 Main Street in the United States Census records, most likely because the buildings are commercial and not residential properties.

Table 2

Construction Permit History for 122 Main Street

Date	Bldg Permit Number	Owner	Architect	Contractor	Valuation	Description
3/7/2009	Certificate of Occupancy	Oceanside Properties	n/a	n/a		Change in occupancy
5/14/2009	B2009-001429	Lim Sang H	Callison, LLC	Hoxie Builders, Inc.	100,000	Interior T.I. only. Install non-bearing partitions and (n) grid ceiling for new café - Mangiamo Gelato.
6/29/2009	B2009-003502	Lim Sang H	n/a	Hoxie Builders, Inc.	870	New non-illuminated exterior foam sign for Mangiamo Gelato Café

Source: PCR Services Corporation, 2014

a. Historic Appearance of 122 Main Street

Based upon available documentary and photographic evidence (Figure 6-10), the historic appearance of 122 Main Street included the following character-defining features:

- Rectangular two-story footprint and massing
- Wood frame
- Gabled roof behind a high front parapet
- Primary elevation was covered with wood ship-lap siding (Stuccoed in 1930s)
- Projecting belt-course above and below the second-floor windows
- Two windows on the second floor of primary façade. Windows were originally single pane with sidelights.
- Tall crenellated parapet that wrapped around the sides.
- Storefront with two large rectangular display windows flanked by attached cast-iron columns (three). There is no front door shown in the photo indicating the entrance may have been on an interior wall from the adjacent building.

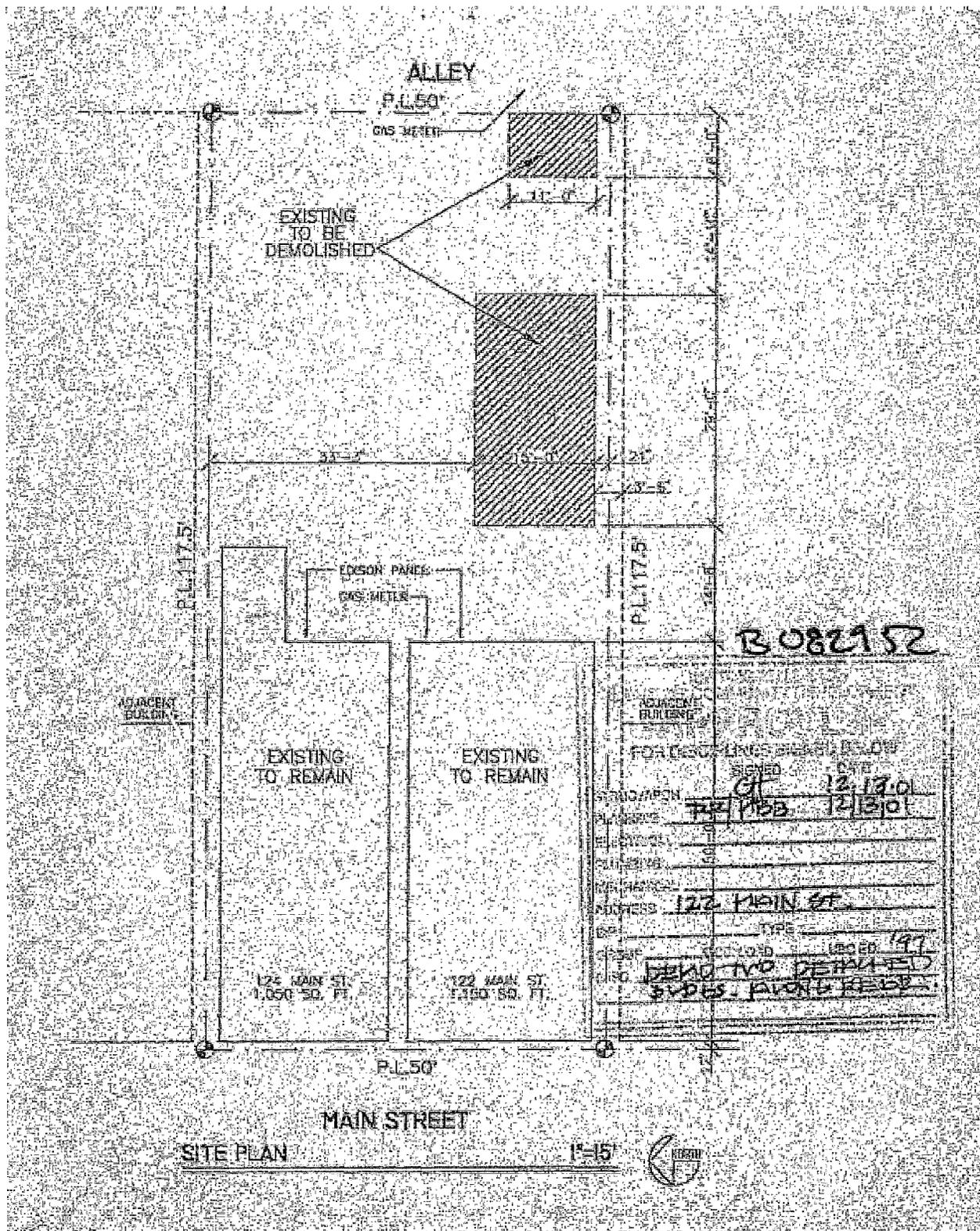


Figure 5. Building permit #B082952 to demolish the rear buildings of 122 Main Street, December 31, 2001.



*Figure 6. 1942 July Fourth Parade, Southside of Main Street between Walnut and Ocean Avenue
122 and 124 Main Street in middle of block (City of Huntington Beach Photographs)*



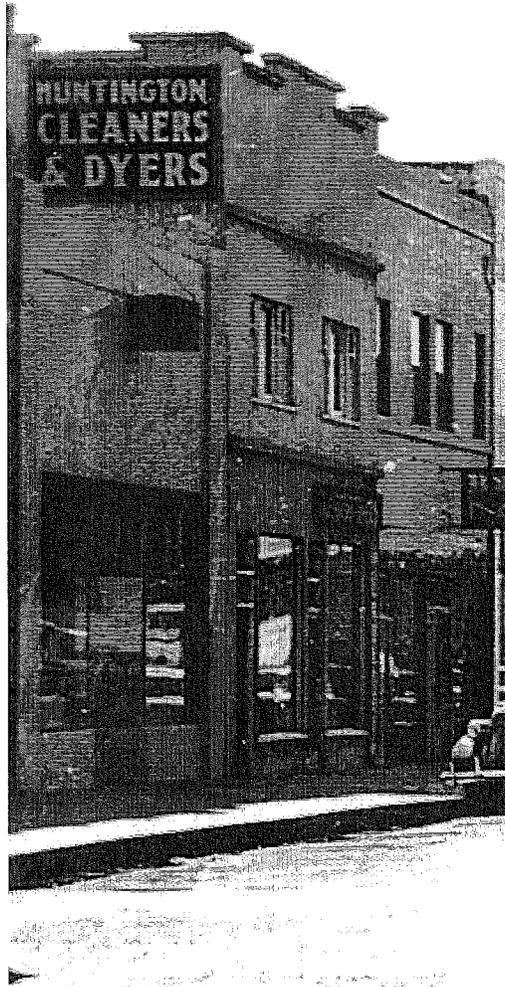
*Figure 7. Southside of Main Street between Walnut and Ocean Avenue
122 and 124 Main Street in middle of block, September 1984 (Chris Epting, Huntington Beach: Then and Now (Chicago, Ill:
Arcadia, 2008): 52)*



Figure 8. View Looking East Down Main Street, Undated (Orange County Photo Archive, First American Title Company)



*Figure 9. View Looking West Down Main Street, November 7, 1944
(Orange County Photo Archive, First American Title Company)*



*Figure 10. Detail (cropped) of View Looking West Down Main Street, November 7, 1944
(Orange County Photo Archive, First American Title Company)*

8. Construction and Occupancy History of 124 Main Street, APN: 024-154-02 (Project Site)

The building permits on file in the City of Huntington Beach were consulted to determine the history of construction and alterations for 124 Main Street; however, there are no building permits on file for 124 Main Street. According to the 1986 Department of Parks and Recreation form, the two-story building at 124 Main Street was constructed in 1912. No architect or designer was listed.

The building is not shown on the 1909 Sanborn map, but is shown on the 1922 Sanborn map, indicating it was built sometime between 1909 and 1922, most likely prior to World War I. A photograph of the 124 Main Street from the 1910s shows the building with a Western False Front (Figure 11). The 1922 Sanborn Map (Figure 3 on page 21) shows the one-story building was occupied by two tenants, a photographer and a barber, and there was a rear ancillary building. The 1922 Sanborn maps also notes the rear walls were "iron on studs." The next available Sanborn Map from 1939 (Figure 4 on page 22) shows the building was occupied by one tenant, a restaurant, and there was a rear addition along the east portion of the parcel. Sometime during the 1930s the primary façade was updated and the original False Western Front was updated to the Streamline Moderne style. Photographs from 1942 and 1944 show the building with the new Streamline Moderne style façade (Figures 6 and 9). There are no subsequent building permits available at the City of Huntington Building Department.

No evidence was found that linked the subject property to the productive life of a historically significant person of local, statewide, or national level importance. **Table 3** below describes the subject property's ownership and occupancy history. According to the 1986 DPR Form, O'Barr's Drugstore occupied 124 Main Street in 1914.⁴⁴ In 1919, the U.S. Restaurant was the building tenant.⁴⁵ During the 1920s, there were various occupants including Huntington Beach Stock Exchange; Fowler's Paint and Paper, and Variety Store; Lynn Colburn Real Estate; Model Tailors; barber; photographer; and Economy Market.⁴⁶ Between 1939 and 1943, the Buckhorn Café and 20/30 Café were occupants.⁴⁷ The 1939 Sanborn map also documents a restaurant as occupying the building. The next known tenants for the subject property begin in 1970s, M&E Coin Operated Washers was an occupant of the rear storage building in 1970, Joe's Shoe Shop was an occupant in 1970; Dress-N-Go was an occupant in 1977; and Merrilee's Women's Swimwear was an occupant in 1982.⁴⁸ Between 1970 and 1977, 124 Main Street was owned by Charles Sarrabere, who also owned the adjacent dry-cleaners at 122 Main Street.

⁴⁴ D. Marsh, "124 Main Street, Department of Parks and Recreation Historic Resources (DPR) form," February 1986.

⁴⁵ *Ibid.*

⁴⁶ *Ibid.*

⁴⁷ *Ibid.*

⁴⁸ *Certificate of Occupancy records held at the City of Huntington Beach.*

Table 3

Occupancy and Ownership History for 124 Main Street

Date	Document	Tenant	Owner
1914	1986 DPR Form	O'Barr's Drugstore	n/a
1919	1986 DPR Form	U.S. Restaurant	n/a
1920's	1986 DPR Form	Huntington Beach Stock Exchange; Fowler's Paint and Paper, and Variety Store; Lynn Colburn Real Estate; Model Tailors; and Economy Market	n/a
1939-1943	1986 DPR Form	Buckhorn Café and 20/30 Café	n/a
11/17/1970	Certificate of Occupancy	M&E Coin Operated Washers	Charles Sarrabere
11/17/1970	Certificate of Occupancy	Joe's Shoe Shop	Charles Sarrabere
10/13/1977	Certificate of Occupancy	Dress-N-Go	Charles Sarrabere
2/7/1982	Certificate of Occupancy	Merrilee's Women's Swimwear	n/a

a. Historic Appearance of 124 Main Street

Based upon available documentary and photographic evidence (Figures 6-7, 9, and 11-12) the historic appearance of 124 Main Street included the following character-defining features:

- Rectangular one-story foot print and massing
- Gabled roof behind a high front parapet
- Stucco finish
- Fluted pilasters at each corner from the ground to just above the top of the parapet.
- Tall parapet with wide band along top and large recessed panel
- Storefront with recessed center entrance, stucco bulkheads below windows, large glass display windows, multi-light transom above display windows.

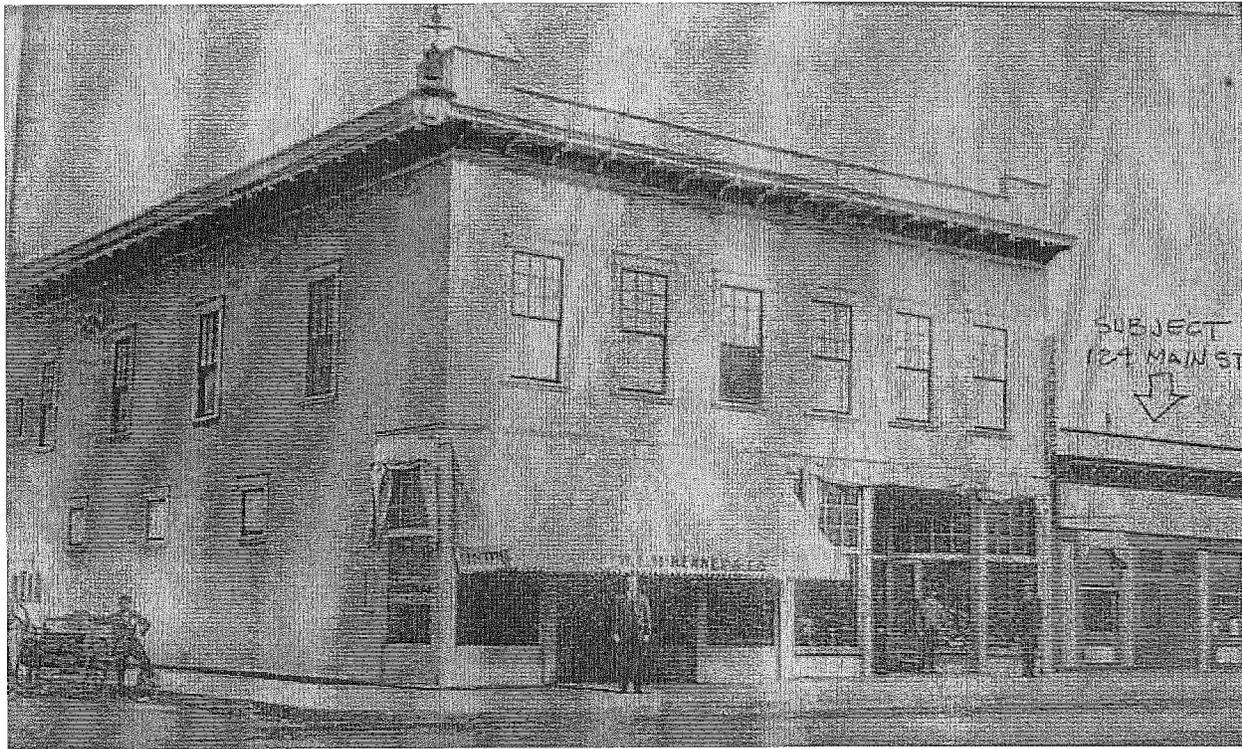


Figure 11. Southwest corner of Walnut and Main Street, 124 Main Street to right, circa 1910's (photograph from client)

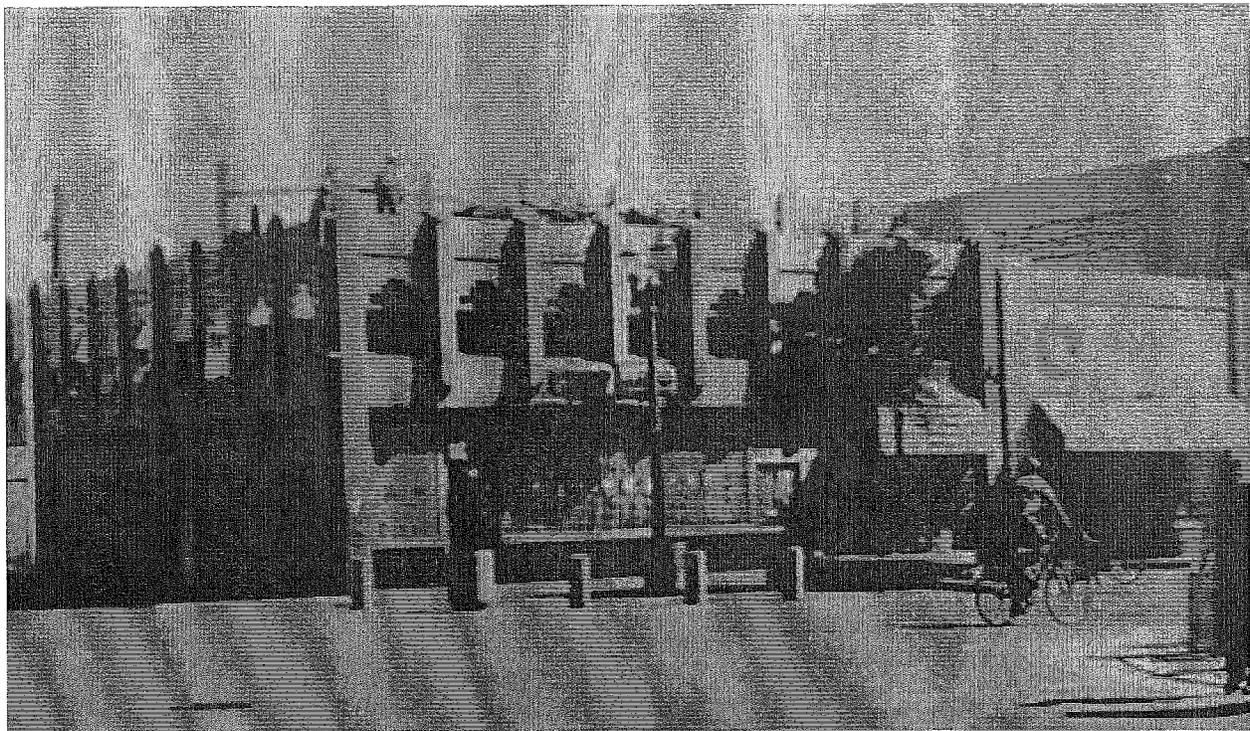


Figure 12. Southwest corner of Walnut Avenue and Main Street
Standard Market constructed in 1926 at corner, 124 Main Street to right, 1988 (Chris Epting, *Huntington Beach: Then and Now* (Chicago, Ill: Arcadia, 2008): 50)

B. PREVIOUS EVALUATIONS

1. Previous Evaluation: Historic Resources Survey Report (1986)

The two-story commercial building at 122 Main Street was previously surveyed in February 1986 and was assigned a status of 3D, "appears eligible for listing only as a contributor to a potential National Register district."⁴⁹

The one story commercial building at 124 Main Street was previously surveyed in February 1986 and was assigned a status of 3D, "appears eligible for listing only as a contributor to a potential National Register district."⁵⁰

However, 122 Main Street and 124 Main Street are not included within the boundaries of the Main Street Historic District described as "the 200 block of Main, the 200 and 300 blocks of Fifth Street and cross street buildings on Olive Avenue between Third and Fifth Streets."⁵¹ The 1986 Historic Resources Survey Report describes the potential Main Street Historic District and identifies the district on a Map as shown in Figure 13:

The Main Street Historic District incorporates the 200 block of Main, the 200 and 300 blocks of Fifth Street and cross street buildings on Olive Avenue between Third and Fifth Streets. This district includes both commercial and residential buildings and reflects the early small town development of the City. When originally proposed at an earlier phase of this study, this district was to include the 100 block of Main, pier buildings, and adjacent buildings on Pacific Coast Highway. Subsequent demolition of the Golden Bear and other buildings has lessened the historic tie of the Main Street area to the pier. At present, planned redevelopment does not include rehabilitation of the buildings in the 100 block of Main Street, although this block includes six historically significant contributing buildings (3 of which require remodelings to be reversed). Therefore in an effort to consolidate the remaining important historic resources, the district lines have been drawn to exclude the 100 block, but extended to incorporate more of Fifth Street. The proposed Main Street Historic District includes approximately 22 pre- 1940 buildings, of which 10 are rated as contributing or significant buildings. Another nine buildings are possible contributors if existing on-historic remodelings are reversed. Should redevelopment plans be changed to allow for restoration of the 100 block of Main Street, the consultants strongly recommend the block also be included in the Main Street Historic District.

The boundaries of the district have been extended slightly beyond the core area of existing resources in order to preserve a consolidated geographical area and to provide a locale where existing historic buildings, in the path of redevelopment, might be relocated. In particular, important buildings or facades from the 100 block of Main could be relocated to the 200 block. Any or all of these facades that could be moved would reinforces the historic nature of the

⁴⁹ "The Historic and Cultural Resources Element," City of Huntington Beach General Plan, <http://www.huntingtonbeachca.gov/Government/Departments/Planning/gp/index.cfm>, 1996, accessed July 20, 2012, p II-HCR 9.

⁵⁰ *Ibid.*

⁵¹ Thirtieth Street Architects, *Historic resources survey report: City of Huntington Beach* (Newport Beach, Calif: Thirtieth Street Architects, Inc., 1986): 42.

*district – however the resources which are in the best condition (rated as a “3” or “2”) or those which are historically significant (shown by “**”) should be given priority.⁵²*

The 1986 survey did not include the subject properties in the potential Main Street Historic District due to the loss of the Golden Bear and other buildings in the 100 block of Main that has lessened the historic tie of the Main Street area to the pier; nonetheless, the report did indicate the subject properties appeared eligible as historical resources.

2. Previous Evaluation: Historic and Cultural Resources Element in the General Plan (1996)

The Historic and Cultural Resources Element in the General Plan describes the potential Main Street Historic District:

The Main Street Historic District incorporates the 200 block of Main, the 200 and 300 blocks of Fifth Street and cross street buildings on Olive Avenue between Third and Fifth Streets. The district includes both commercial and residential buildings and reflects the early small town development of the City. The Main Street Historic District includes approximately 22 pre-1940 buildings of which ten are rated as contributing or significant buildings. Another nine buildings are possible contributors if existing non-historic remodelings are reversed.

Although the district is no longer eligible for National Register consideration because of extreme modifications and demolitions which have recently occurred, preservation efforts within the City’s core can provide a strong focal point for the community.

The Historic and Cultural Resources Element identified the potential historic district, local historic resources, and properties listed on the National Register on a map included as Figure 13.

In 1996, there were four local historic resources: Huntington Beach Pier, Huntington Beach High School, Bartlett Park (Newland House), and Central Park/Library. The local historic resources are over ¼ mile away from 122 Main Street and 124 Main Street. Also in 1996, there were five properties listed on the National Register: Newland House (1898), Helm House/Furnishing Company (1904), Garner House (1905), Worthy House (1880), and City Gym. The five properties listed on the National Register are over ¼ mile away from 122 Main Street and 124 Main Street. These resources are depicted on Figure 14.

Listed Historical Resources in Huntington Beach

PCR confirmed on the National Register and California Register websites, there are six properties on the National Register in Huntington Beach: Main Street Library, Triangle Park, Helme--Worthy Store and Residence (3/31/1987, Record#405508/N1493), Huntington Beach Elementary School Gymnasium and Plunge (12/29/1994, Record#422334/N1896), Huntington Beach Municipal Pier (8/24/1989, Record#412359/N1614), and Newland House (10/24/1985, Record#401821/P514).⁵³ The Newland House

⁵² *Thirtieth Street Architects, 42-44.*

⁵³ *National Register of Historic Places, Resource Search, <http://nrhp.focus.nps.gov/natregadvancedsearch.do?searchtype=natregadvanced>, accessed July 25, 2012.*

is also a California Point of Historical Interest. All six properties are also listed on the California Register of Historic Resources. 122 Main Street and 124 Main Street are within a ¼-mile distance from the Helme-Worthy Store and Residence.

PCR's also reviewed Archeological Resources Management Corporation's "Report of Cultural Resources Records Search for Downtown Specific Plan, City of Huntington Beach." January 30, 2009. The report includes a comprehensive records search of Downtown Huntington Beach conducted in-house and at the South Central Coastal Information Center (SCCIC).

*State of California Office of Historic Preservation. Listed Historical Resources in California.
<http://ohp.parks.ca.gov/ListedResources/?view=county&criteria=30>, accessed July 25, 2012.*



Figure 13. Proposed Main Street Historic District Map, 1986
(Thirtieth Street Architects, Historic resources survey report: City of Huntington Beach (Newport Beach, Calif: Thirtieth Street Architects, Inc., 1986): 43.)

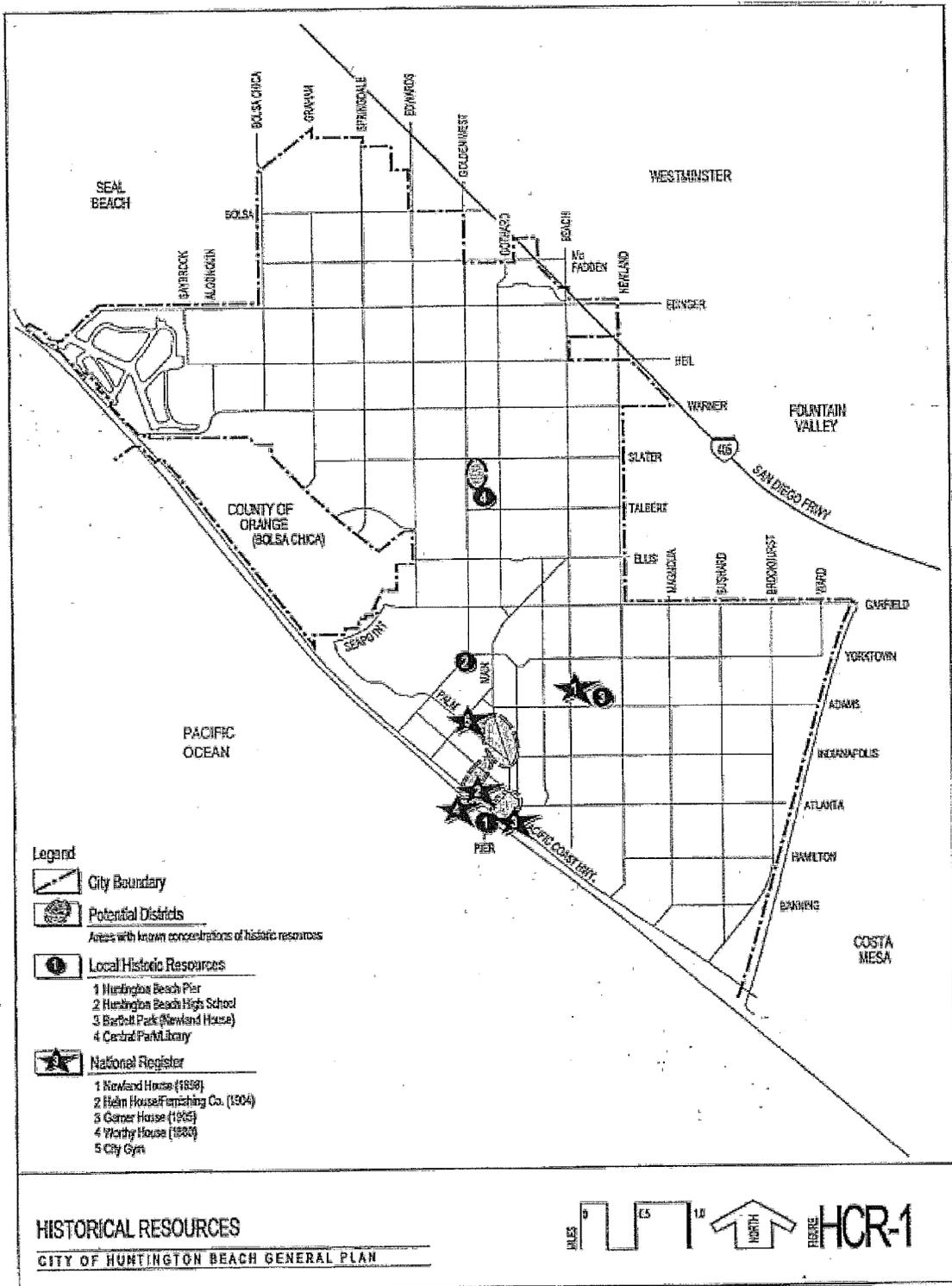


Figure 14. Map of Historical Resources in Huntington Beach identified by the City, the Historical Resources Board (HRB) 1986 Downtown Historical Study, and a windshield survey ("The Historic and Cultural Resources Element," City of Huntington Beach General Plan, <http://www.huntingtonbeachca.gov/Government/Departments/Planning/gp/index.cfm>, 1996, accessed July 20, 2012, p II-HCR-7.)

1. Evaluation of 122 Main Street, APN: 024-154-02 (Project Site)

a. Architectural Description

The two-story commercial building, constructed circa 1902, has a Western False Front style primary elevation (Figure 15). The building has a rectangular footprint, concrete foundation, wood frame, and a gable roof. The simple primary elevation is finished with stucco (alteration), and has two sets of second story windows covered with wood shutters (Figure 16), a belt-course above and below the second-floor windows, and a tall Western style parapet. The first-floor storefront has been altered over the years to accommodate tenant improvements. The storefront has a set of multi-light doors with single-light transom above, and two single-light storefront windows with a protruding faux stone painted base (Figure 17). The secondary elevations are covered with wood ship-lap siding. The rear (south) elevation has one primary entrance door, two second-story wood frame windows covered with screens, a second story door without a balcony or staircase (alteration), and a gable roof (Figures 18 to 20). The east elevation is covered with the original unfinished wood ship-lap siding and has a couple of boarded windows (Figure 21). The back of the Western False Front is visible from the east elevation and reveals the original wood construction method (Figure 22).

b. Integrity

The overall appearance of the subject property at 122 Main Street indicates that the property retains integrity as a potential historical resource. Originally the simple Western False Front style primary elevation was covered with wood ship-lap siding. The façade was later sheathed with stucco most likely during the 1930s, reflecting the architectural trends of the period. Over the years the primary elevation has been re-stuccoed, but the application of stucco did not materially impair the Western False Front design which still retains its original form. The two second-story windows on the primary elevation are altered and are now covered with shutters, although the openings remain.⁵⁴ The interior has been substantially altered and updated through various tenant improvements (Figures 23 and 24) and does not contribute to the significance of the subject property. The rear non-contributing addition constructed between 1922 and 1939 was removed in 2001. The secondary elevations are relatively intact and retain the original ship-lap wood siding.

The subject property at 122 Main Street has integrity of location, design, workmanship, materials, feeling, and association. Although the primary façade is stuccoed, the workmanship and materials of the secondary elevations is intact and the stucco cladding which has covered the building since the 1930s has attained significance. Built ca. 1902, the subject property retains its original Western False Front style and character-defining features including wood-frame construction, stucco cladding, horizontal band courses, and a gable roof behind a tall crenellated parapet. Finally, 122 Main Street retains historic feeling and association with the early cultural and economic development with Pacific City and Huntington Beach.

Even with the recent development along Main Street, 122 Main Street still retains some of its historic setting. The buildings at 124 Main Street, 120 Main Street, 117-121 Main Street, and 127 Main Street are over 45-years in age and contribute to the historic setting of 122 Main Street. The existing setting is depicted in Figure 25.

⁵⁴ D. Marsh, "124 Main Street, Department of Parks and Recreation Historic Resources (DPR) form," February 1986.

c. Statement of Significance: 122 Main Street, APN: 024-154-02 (Project Site)

One historic resource was evaluated on Parcel 024-154-02: a two-story Western False Front style commercial building located at 122 Main Street. The subject property was originally constructed in approximately 1902. The original owner, architect, and contractor are unknown. The period of significance for 122 Main Street is 1902, the approximate date of construction. The subject property was evaluated against the following themes; Early Settlement and Growth, 1901-1920; and Western False Front Commercial Building Type. The subject property was evaluated for conformance with criteria of the National Register and California Register, and as a potential local landmark.

The subject property retains integrity of location, design, setting, workmanship, materials, feeling and association, and is a rare and locally important example of the Western False Front style. Therefore, 122 Main Street appears individually eligible for listing in the National Register and the California Register (CHR⁵⁵ Status Code 3B) and as a Huntington Beach Historical Landmark (Category Ratings⁵⁶ 3 and 5*/5D). Additionally, 122 Main Street is associated with the cultural and economic development of Pacific City and Huntington Beach and appears to have been used as the City Hall for Pacific City when 122 Main Street was constructed in 1902. The subject property has made a significant contribution to the broad patterns of cultural, political, economic, or social history of the City of Huntington Beach. Therefore, 122 Main Street is considered eligible as a historical resource, pursuant to CEQA, as discussed in detail below.

The subject property has been identified as a contributor to the Main Street historic district in previous evaluations. Presently, 122 Main Street retains integrity and contributes to the architectural and historical context of Main Street. However, the subject property is not included within the boundaries of the Main Street Historic District described in the City's General Plan, which limits the boundaries of the district to "the 200 block of Main, the 200 and 300 blocks of Fifth Street and cross street buildings on Olive Avenue between Third and Fifth Streets." The Main Street Historic District survey was completed in 1986 and is older than five years, and therefore was reevaluated in the PCR survey. As discussed in the General Plan, intervening infill development has isolated the 100 block of Main Street from the historic district. However, the subject property and several other buildings in the 100 block of Main Street, including 120 Main Street, 117-121 Main Street, 124 Main Street and 127 Main Street, appear to remain eligible as a distinct grouping or small district of commercial buildings (CHR Status Code 3D and Historical Landmark Category Rating 3D) which are associated with Early Settlement and Growth of Huntington Beach (1901-1920) and the Oil Boom and Interwar Transformation (1920-1945).

National Register Criterion A: Is associated with events that have made a significant contribution to the broad patterns of our history.

California Register Criterion 1: Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.

The development of 122 Main Street is part of the regional history of Huntington Beach. During the early twentieth century Main Street was the commercial center of Huntington Beach. The character of Main Street between 1900 and 1915 was commercial with buildings expressing the Western False Front style and wood construction. 122 Main Street retains integrity of location, design, setting, feeling, and association, and retains enough integrity to be historically associated with the broad patterns of Huntington Beach's

⁵⁵ California Historical Resource (CHR) Status Codes are established by the California Register of Historical Resources.

⁵⁶ Category Ratings for Historical Landmarks in Huntington Beach are established by the Historic Resources Board and the City Council.

economic, social, and cultural history. 122 Main Street was possibly the City Hall of Pacific City when 122 Main Street was constructed in 1902; however primary documentation was not found to confirm this information. Additionally, 122 Main Street has enough integrity to convey its historical association with Pacific City and the possible site of City Hall. Therefore, the 122 Main Street appears potentially eligible for the National Register under Criterion A, and the California Register under Criterion 1, and as a local landmark.

National Register Criterion B: Is associated with the lives of persons significant in our past.

California Register Criterion 2: Is associated with the lives of persons important in our past.

The various tenants of 122 Main Street between 1912 and 1977 encompassed a variety of businesses, including a city hall, dry cleaner, restaurant, and clothing retailers. Charles Sarrabere, who owned 122 Main Street, ran a dry cleaning business out of 122 Main Street with his father between 1916 and 1981. None of the occupants were notable or significant in history and they did not produce important work at 122 Main Street; nor is the architecture somehow tied to or symbolic of their careers. It also appears that the property does not show any historical importance in association with various owners, including Charles Sarrabere. Therefore, the subject property does not appear to satisfy National Register Criterion B or California Register Criterion 2 or the local landmark requirements for eligibility related to a historic personage.

National Register Criterion C: Embodies the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.

California Register Criterion 3: Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.

122 Main Street is eligible for individual designation under National Register Criterion C and California Criterion 3 and as a locally significant example of a now rare Western style and method of construction. The subject property is a distinctive example of the Western False Front style both individually, and as a contributor to a small district or grouping of historic buildings within the 100 block of Main Street. The Western False Front style is now increasingly rare in Huntington Beach and is representative of Huntington Beach's early architectural heritage. 122 Main Street retains integrity of location, design, setting, materials, workmanship, feeling, and association.

National Register Criterion D. It yields, or may be likely to yield, information important in prehistory or history.

California Register Criterion 4. Has yielded, or may be likely to yield, information important in prehistory or history.

The subject property is not likely to yield any information important to prehistory or history. Therefore, the subject property does not meet the above criterion at the national or state level.

d. Existing Character-defining Features of 122 Main Street

Primary features:

- Rectangular footprint
- Two-story massing
- Western False-front Storefront (first floor altered over the years to accommodate tenant improvements) consisting of wood frame finished with stucco (stucco finish applied in the 1930s over original wood shiplap siding) with a tall crenellated parapet that wraps around to the sides, and a projecting belt-course above and below the second-floor windows

Secondary features:

- Two rectangular window openings on the second-story level (existing non-original windows covered with wood shutters are later alterations)
- Wood frame construction (not visible from public right of way)
- Gabled roof (not visible from public right of way)
- Side and rear elevations sheathed in wood shiplap siding (not visible from public right of way)

Current Photographs of 122 Main Street

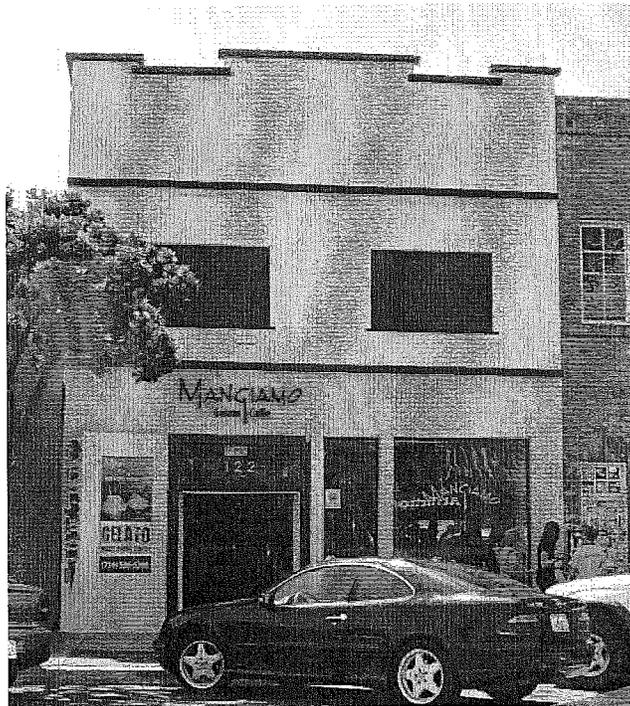


Figure 15. 122 Main Street, Primary (north) elevation, view to south (PCR 2012)

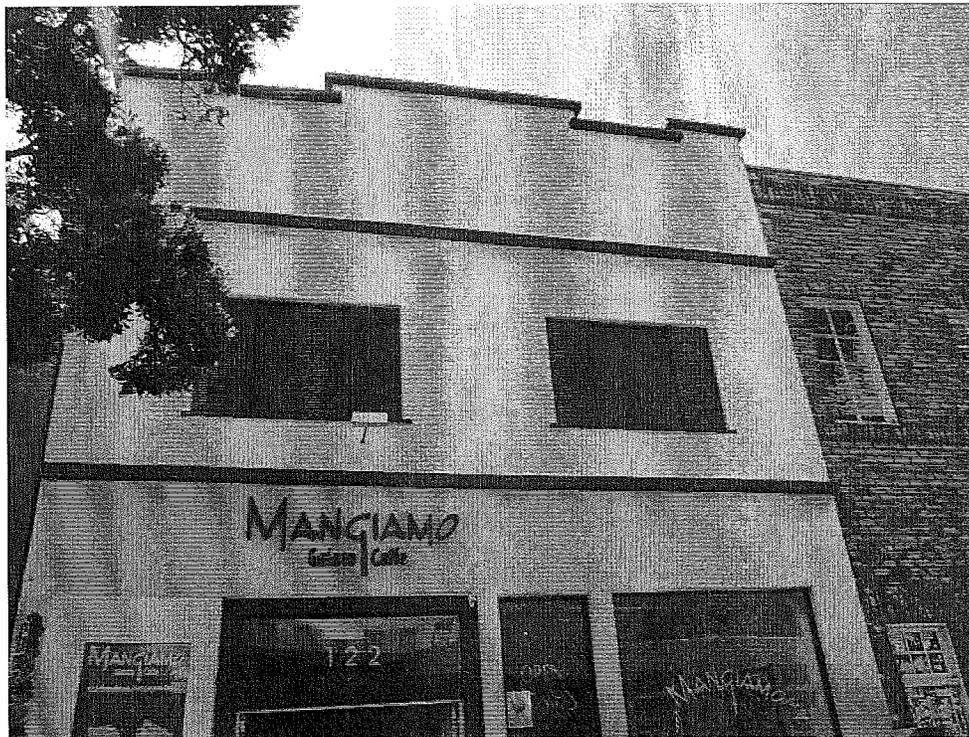


Figure 16. 122 Main Street, Primary (north) elevation, view to south (PCR 2012)



Figure 17. 122 Main Street, Primary (north) elevation, view to south (PCR 2012)

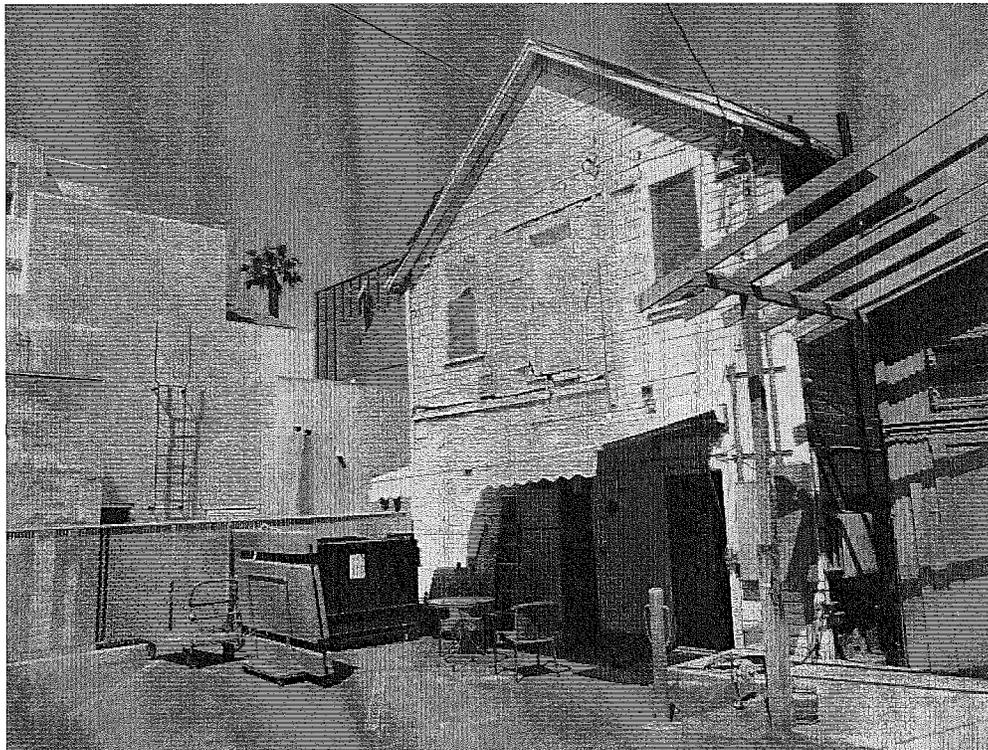


Figure 18. 122 Main Street, Rear (south) elevation, view to northwest (PCR 2012)

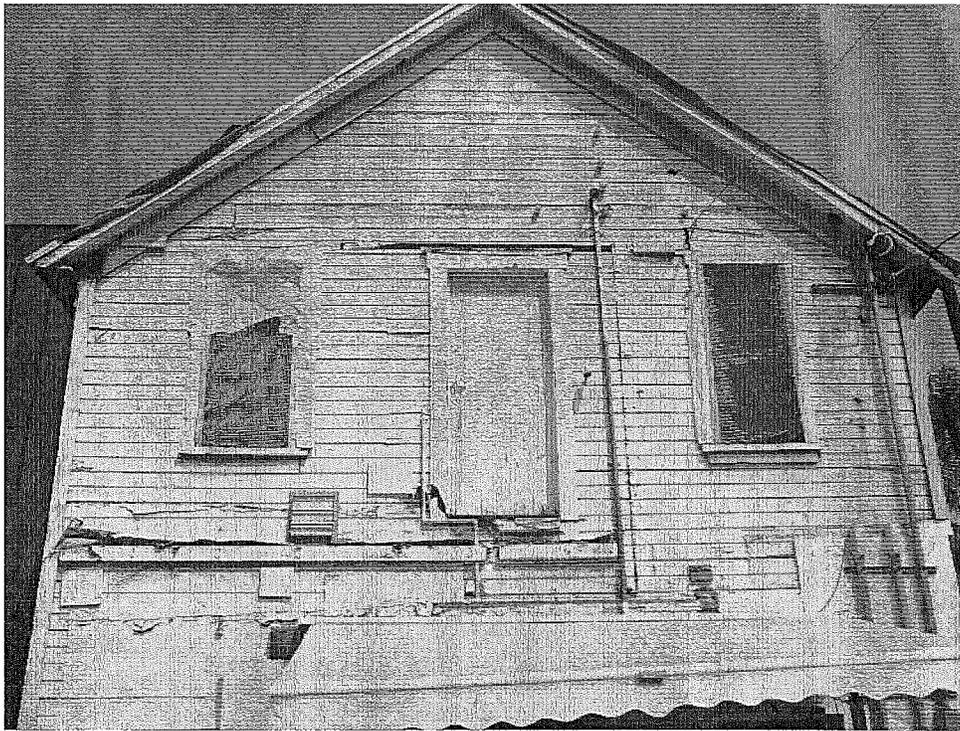


Figure 19. 122 Main Street, Rear (south) elevation, view to northwest (PCR 2012)

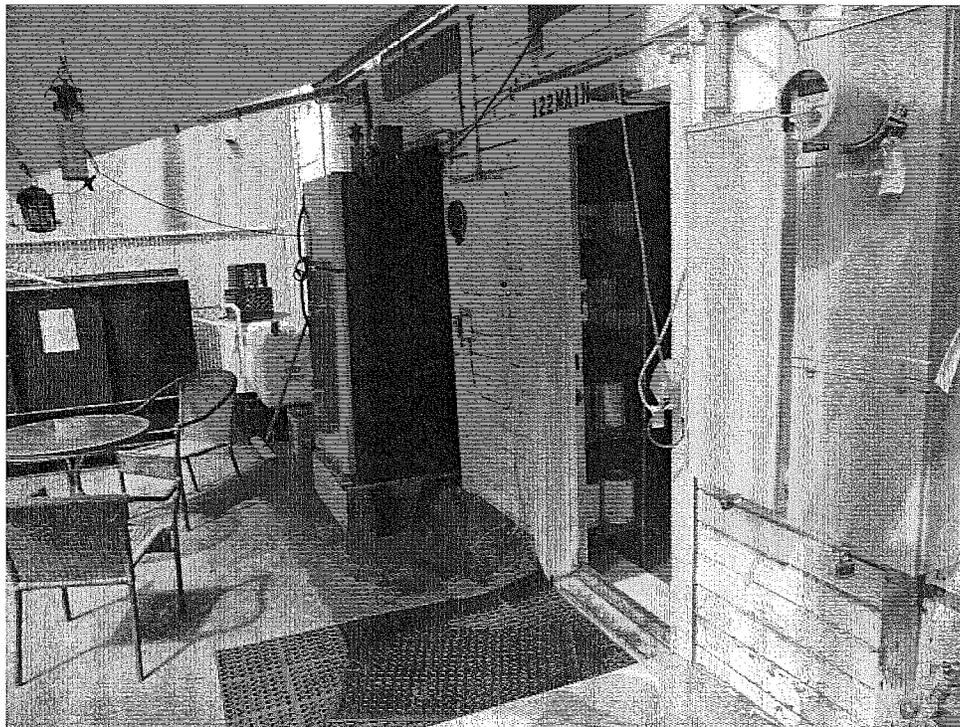


Figure 20. 122 Main Street, Rear (south) elevation, view to northwest (PCR 2012)

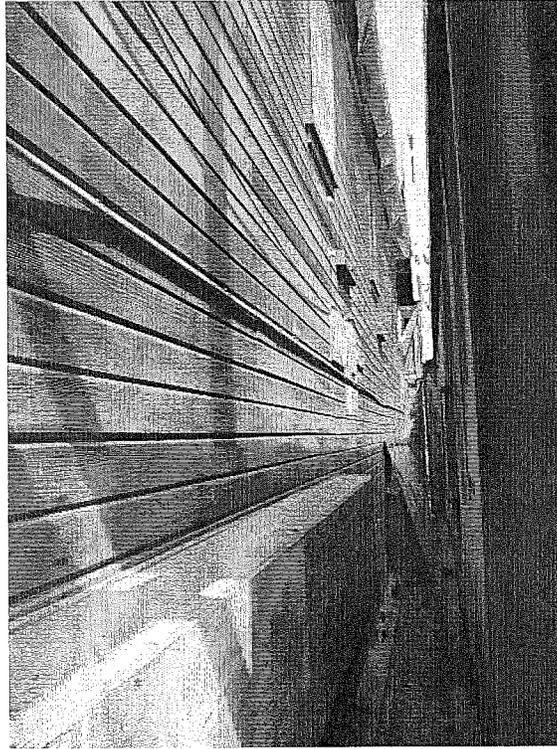


Figure 21. 122 Main Street, Side (east) elevation, view to north (PCR 2012)

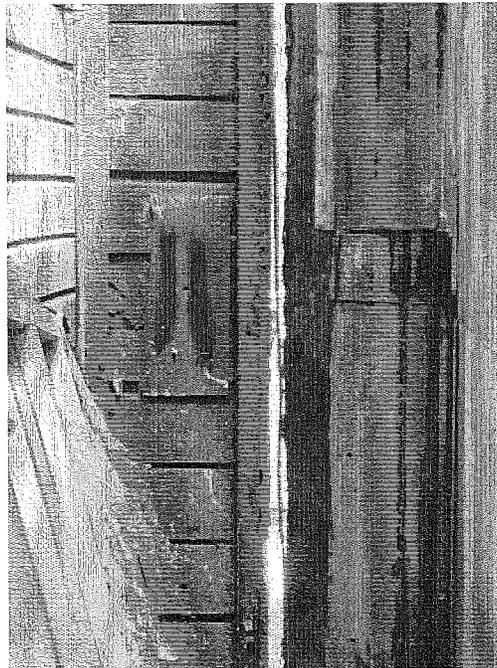


Figure 22. 122 and 124 Main Street, Detail of fronts, view to north (PCR 2012)



Figure 23. Interior of 122 Main Street, view to south (PCR 2012)

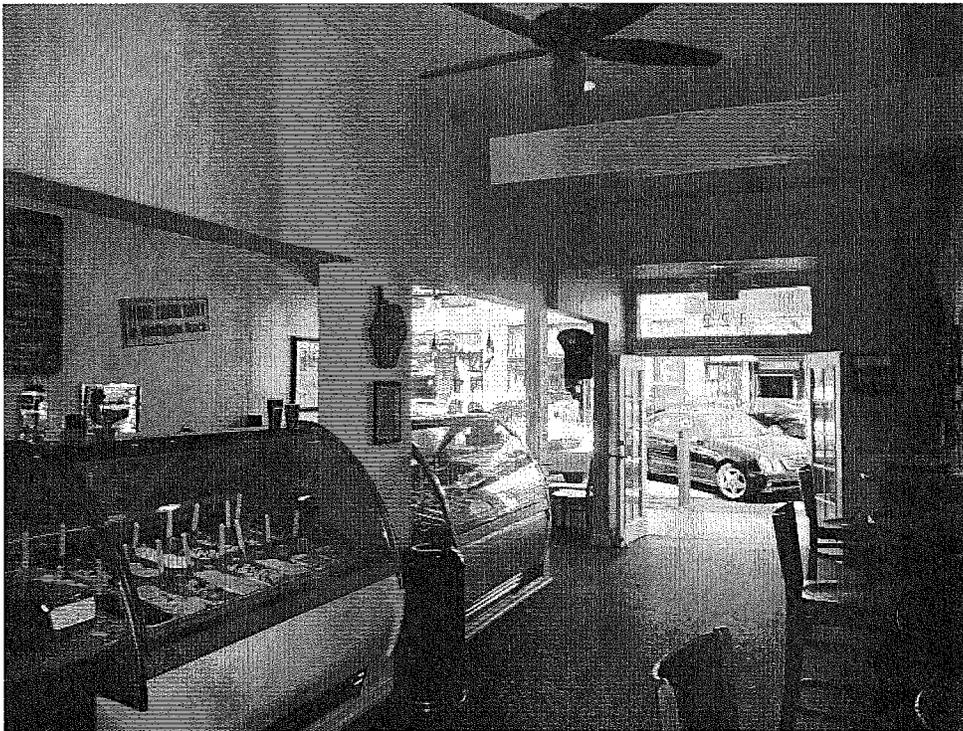


Figure 24. Interior of 122 Main Street, view to north (PCR 2012)



Figure 25. The historic setting of the 100 block of Main Street, view to south (PCR 2012)

2. Evaluation of 124 Main Street, APN: 024-154-02 (Project Site)

a. Architectural Description

The Streamline Moderne style one-story commercial building at 124 Main Street was constructed circa 1912. The subject property has a rectangular footprint, concrete foundation, and gable roof. As part of a 1930s renovation, the primary elevation was converted into the Streamline Moderne style (Figure 26). The primary elevation has a stucco finish, projecting fluted pilasters at each corner, and a wide stucco band running along the parapet. The storefront is comprised of a large plate glass windows, a central recessed entrance, flagstone bulkheads added circa 1950s, and a ribbon of transom windows and a canvas awning above the store front window (Figure 27). The secondary elevations are clad in corrugated metal (Figure 28). The rear elevation is clad in corrugated metal, has two flat-panel doors (alteration), transom windows (alteration), and a gabled patio cover (addition) (Figures 29 and 30). A narrow, single-story addition finished in stucco extends into the rear of the lot (Figure 31). The interior has been remodeled over the years to accommodate different tenants but appears to retain a wood ceiling and wall arches along the west and east walls from the historic period (Figure 31).

b. Integrity

The overall appearance of the subject property at 124 Main Street indicates the property retains integrity of location, design, workmanship, materials, feeling, and association. Originally the subject property had a Western False Front, as depicted in Figure 11. In the 1930s the primary elevation was remodeled into the Streamline Moderne style. The primary elevation was re-stuccoed and the storefront windows were replaced at that time. Since then, flagstone bulkheads were added under the storefront windows, and a tiled floor was installed at the storefront entrance. The subject property retains the character-defining features of the Streamline Moderne style including the projecting fluted pilasters at each corner, a wide band running along the parapet, the storefront entrance and display windows, and the transom above the storefront. The secondary elevations are clad in corrugated metal, which may be the original building construction method used in 1912 although it is likely the siding has been replaced over the years. The interior has been altered and updated over the years as a result of tenant improvements and does not contribute to the significance of the subject property.

Even with the recent development along Main Street, 124 Main Street still retains some of its historic setting. The buildings at 120 Main Street, 117-121 Main Street, 122 Main Street, and 127 Main Street are over 45-years in age and contribute to the historic setting of the subject property. The existing setting is depicted in Figure 25.

c. Statement of Significance: 124 Main Street, APN: 024-154-02 (Project Site)

One historic resource was evaluated on Parcel 024-154-02: a one-story Streamline Moderne commercial building located at 124 Main Street. The subject property was originally constructed in approximately 1912 with a Western False Front-style elevation. During the 1930s, 124 Main Street was updated with a Streamline Moderne façade. The original owner, architect and contractor are unknown. The period of significance for the 124 Main Street is 1912 through 1940, including the date the property was constructed through the 1930s period when the property was remodeled in the Streamline Moderne style. The subject property is associated with the following themes: Early Settlement and Growth, 1901-1920; The Oil Boom and Interwar Transformation, 1920 – 1945; Western False Front Commercial Building Type; and Streamline Moderne Style, 1930-1945.

The subject property has been identified as a contributor to the Main Street historic district in previous evaluations. Presently, 124 Main Street retains integrity and contributes to the architectural and historical context of Main Street. However, the subject property is not included within the boundaries of the Main Street Historic District described in the City's General Plan, which limits the boundaries of the district to "the 200 block of Main, the 200 and 300 blocks of Fifth Street and cross street buildings on Olive Avenue between Third and Fifth Streets." The Main Street Historic District survey was completed in 1986 and is older than five years, and therefore was reevaluated in the PCR survey. As discussed in the General Plan, intervening infill development has isolated the 100 block of Main Street from the historic district. However, the subject property and several other buildings in the 100 block of Main Street, including 120 Main Street, 117-121 Main Street, 122 Main Street, and 127 Main Street, appear eligible as a distinct grouping or small district of commercial buildings (CHR Status Code 3D and Historical Landmark Category Rating 3D) associated with the Early Settlement and Growth of Huntington Beach (1901-1920) and the Oil Boom and Interwar Transformation (1920-1945).

The property was evaluated for conformance with criteria of the National Register and California Register, and as a potential local landmark.

National Register Criterion A: Is associated with events that have made a significant contribution to the broad patterns of our history.

California Register Criterion 1: Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.

The development of 124 Main Street is part of the regional history of Huntington Beach. During the early twentieth century Main Street was the commercial center of Huntington Beach. The character of Main Street between 1900 and 1915 was commercial with buildings expressing the Western False Front style. The primary elevation was updated to the Streamline Moderne style during the 1930s to reflect the contemporary architectural trends of the time. There are no events associated with this property that have made a significant contribution to the broad patterns of cultural, political, economic, or social history of the nation, state or city. Therefore, 124 Main Street does not appear eligible for the National Register under Criterion A, or the California Register under Criterion 1, or as a local landmark.

National Register Criterion B: Is associated with the lives of persons significant in our past.

California Register Criterion 2: Is associated with the lives of persons important in our past.

The various tenants of 124 Main Street in the between 1912 and 1977 were a variety of businesses, including a paint store, drugstore, real estate broker, tailor, barber, photographer, market, restaurants, and retailers. It appears the tenants did not occupy the storefronts for long periods of time. Furthermore, none of the occupants were notable or significant in history and they did not produce important work at the subject property; nor is the architecture somehow tied to or symbolic of their careers. It also appears that the property does not show any historical importance in association with various owners, including Charles Sarrabere, and the property does not rise to the threshold of significance for listing as a nation, state, or local landmark. Therefore, the subject property does not appear to satisfy National Register Criterion B or California Register Criterion 2 or as a local landmark for eligibility related to a historic personage or event.

National Register Criterion C: Embodies the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.

California Register Criterion 3: Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.

While not individually eligible, 124 Main Street is a representative example of a Western False Front style building which was renovated in the 1930s as a Streamline Moderne commercial building. 124 Main Street retains integrity of location, design, setting, workmanship, materials, feeling, and association. Thus, the subject property and several other buildings in the 100 block of Main Street, including 120 Main Street, 117-121 Main Street, 124 Main Street and 127 Main Street, appear eligible under National Register Criterion C and California Register Criterion 3 and as a local district as a distinct grouping or small district of commercial buildings which are associated with Early Settlement and Growth of Huntington Beach (1901-1920) and the Oil Boom and Interwar Transformation (1920-1945).

National Register Criterion D. It yields, or may be likely to yield, information important in prehistory or history.

California Register Criterion 4. Has yielded, or may be likely to yield, information important in prehistory or history.

The subject property is not likely to yield any information important to prehistory or history. Therefore, the subject property does not meet the above criterion at the national or state level.

d. Existing Character-defining Features of 124 Main Street

Primary features:

- Rectangular footprint
- One-story massing
- Streamline Moderne Storefront with a stucco finish, fluted pilasters at each corner from the ground to just above the top of the parapet, and tall parapet with wide band along top and large recessed panel
- Recessed center entrance, large glass display windows, multi-light transom above display windows (stone veneer bulkheads below display windows are later alterations; canopy is a later addition)

Secondary features:

- Gabled roof behind a high front parapet (not visible from public right of way)
- Wood frame construction sheathed in corrugated metal siding (not visible from public right of way)

Current Photographs of 124 Main Street

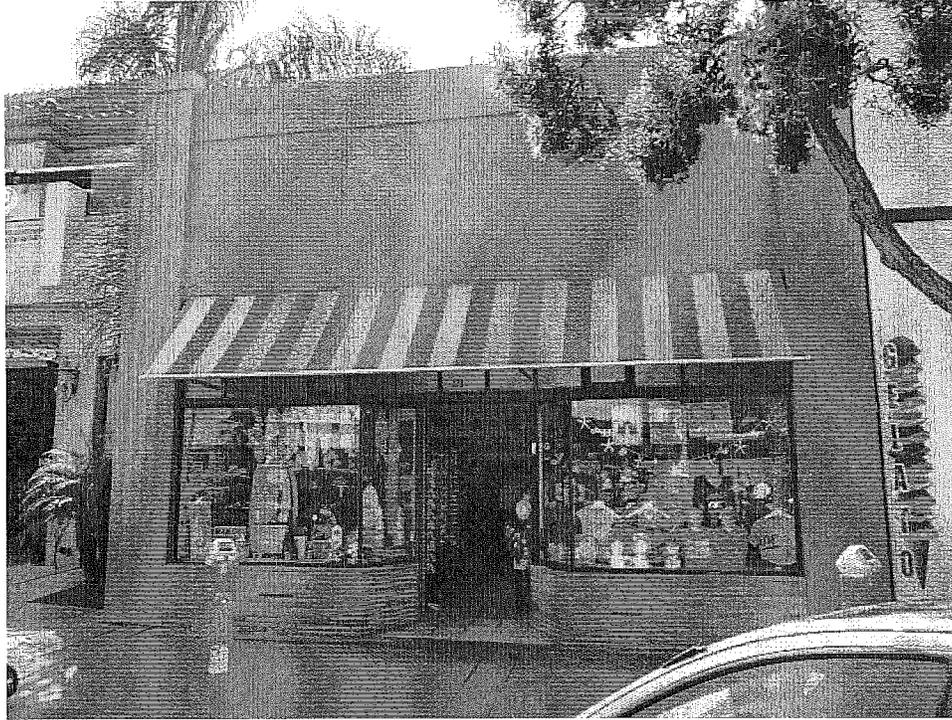


Figure 26. 124 Main Street, Primary (north) elevation, view to south (PCR 2012)

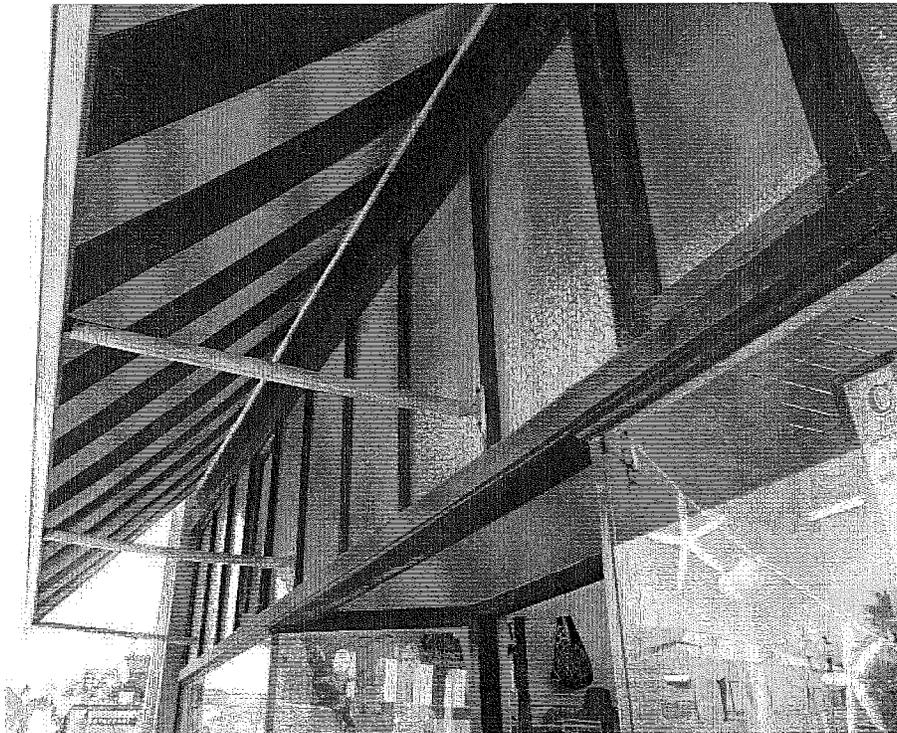


Figure 27. 124 Main Street, Detail of transom windows above storefront, primary (north) elevation, view to east (PCR 2012)

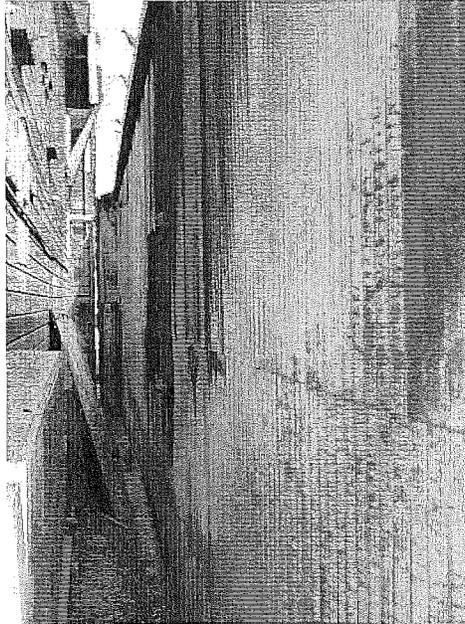


Figure 28. 124 Main Street, Side (west) elevation, view to north (PCR 2012)

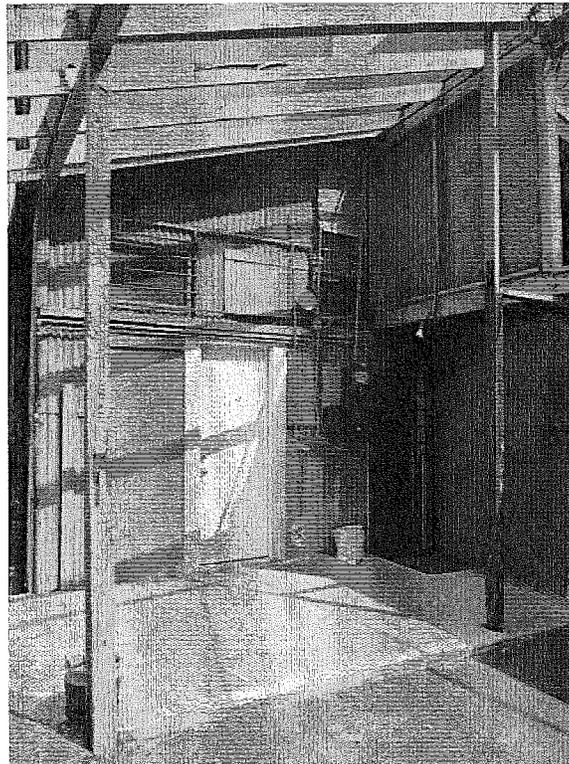


Figure 29. 124 Main Street, Rear (south) elevation, view to north (PCR 2012)

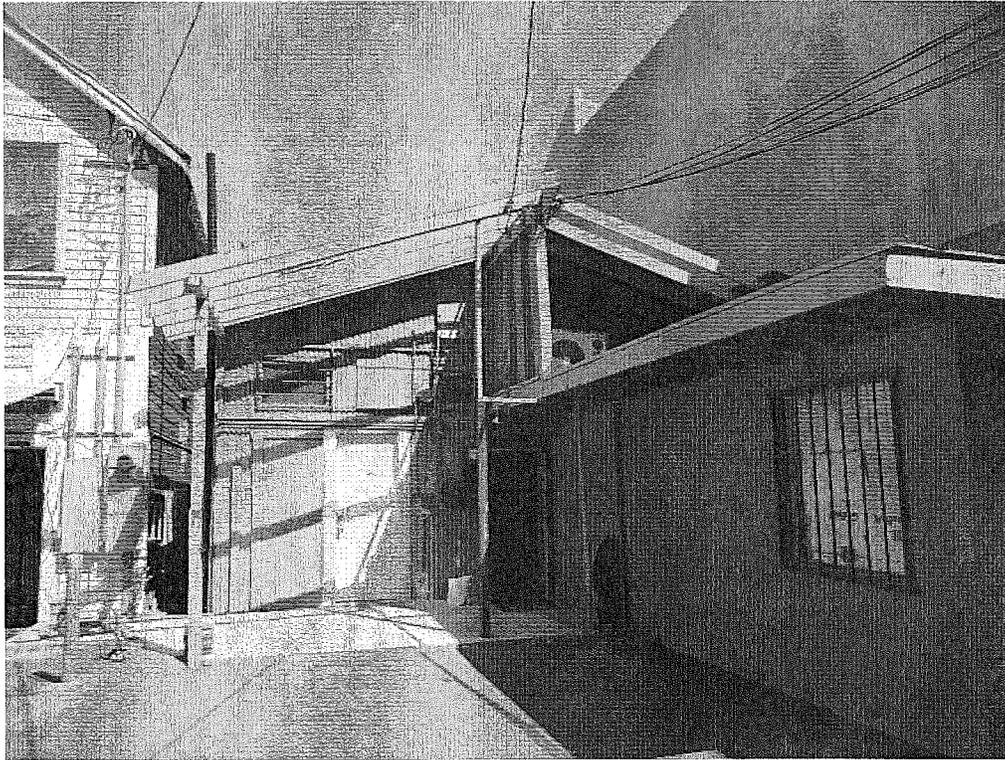


Figure 30. 124 Main Street, Rear (south) elevation, view to north (PCR 2012)



Figure 31. Interior of 124 Main Street, view to northeast (PCR 2012)

IV. CEQA IMPACTS ANALYSIS

1. CEQA Impacts Thresholds for Historical Resources

Section 15064.5(b) of the CEQA Guidelines states that a project involves a “substantial adverse change in the significance of a historical resource” when one or more of the following occurs:

1. Substantial adverse change in the significance of a historical resource means physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of a historical resource would be materially impaired.
2. The significance of a historical resource is materially impaired when a project:
 - a. Demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register of Historical Resources; or
 - b. Demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources pursuant to Section 5020.1(k) of the Public Resources Code or its identification in a historical resources survey meeting the requirements of Section 5024.1(g) of the Public Resources Code, unless the public agency reviewing the effects of the project establishes by a preponderance of evidence that the resource is not historically or culturally significant; or
 - c. Demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA.
3. Generally, a project that follows the Secretary of the Interior’s Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior’s Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (1995), Weeks and Grimmer, shall be considered as mitigated to a level of less than a significant impact on the historical resource.

2. Impacts Analysis

Under the Proposed Project, the historic street fronts of the existing one and two-story commercial buildings at 122 Main Street and 124 Main Street would be retained and rehabilitated, while the remaining portions of the structures would be replaced with a three-story, approximately 35-foot high mixed-use retail/office/residential building. PCR reviewed project plans for the proposed Mixed-Use Building prepared by Jeff Bergsma, Architect, TEAM Design, Huntington Beach, dated April 2, 2014, which are provided in Appendix C.

The Proposed Project was analyzed for conformance with Section 15064.5(b) of the CEQA Guidelines and the Secretary of the Interior’s Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (Standards).

a. CEQA

As discussed above, two historical resources have been identified on the project site, 122 Main Street and 124 Main Street. Historical resources in the project vicinity include a grouping of historic buildings in the 100 block of Main Street, and the Main Street Historic District.

Under the proposed project the historic exterior front facades will be retained and rehabilitated, thus the primary distinctive materials and features of the subject properties would be preserved. However, relocation of the historic street fronts is a City requirement due to the right-of-way dedication for pedestrian access and public utilities. Although the historic storefronts would be relocated approximately six feet back from their existing location, they would remain within their same respective parcels and have a similar orientation to the street. Thus the visual and historical relationships of the historic storefronts with the site and other historical resources in the immediate surrounding setting in the 100 block of Main would be preserved, and the historical associations of the subject properties with the Main Street Historic District would therefore be retained. The altered non-contributing interiors as well as the contributing exterior secondary side and rear elevations behind the storefronts would be removed and replaced with new construction. Removal of the side and rear elevations are necessary for the new use and cannot be avoided. The removal of the side and rear elevations and their replacement with new construction would potentially result in an adverse impact to historical resources; nevertheless, the adverse impacts would be less than significant. The rear and side elevations are not primary character-defining features and do not characterize the property; they are substantially-altered non-distinctive secondary features that contribute to, but are not essential to the property’s eligibility. The primary character-defining storefront façades would be retained and rehabilitated under the Project, which is necessary to preserve the eligibility of these resources. After project completion, because the primary façades would be preserved and the subject properties would retain their eligibility as historical resources, and because the visual and historical relationships with other historical resources in the surrounding setting would be also be preserved, the project would result in a less than significant impact on historical resources.

The following tables summarize the impacts of the project and demonstrate that after project completion, the key distinctive primary character defining features of the subject properties would be preserved.

122 Main Street

Primary Features

Rectangular footprint	No
Two-story massing	No
Western False-front Storefront (first floor altered over the years to accommodate tenant improvements) consisting of wood frame finished with stucco (stucco finish applied in the 1930s over original wood shiplap siding) with a tall crenellated	Yes (distinctive)

parapet that wraps around to the sides, and a projecting belt-course above and below the second-floor windows	
---	--

Secondary Features

Two rectangular window openings on the second-story level (existing non-original windows covered with wood shutters are later alterations)	Yes The existing non-original windows will be replaced with historically compatible new windows
Wood frame construction (not visible from public right of way)	No
Gabled roof (not visible from public right of way)	No
Side and rear elevations sheathed in wood shiplap siding (not visible from public right of way)	No

124 Main Street

Primary Features

Rectangular footprint	No
One-story massing	No
Streamline Moderne Storefront with a stucco finish, fluted pilasters at each corner from the ground to just above the top of the parapet, and tall parapet with wide band along top and large recessed panel	Yes (distinctive)
Recessed center entrance, large glass display windows, multi-light transom above display windows (stone veneer bulkheads below display windows are later alterations; canopy is a later addition)	Yes (distinctive)

Secondary Features

Gabled roof behind a high front parapet (not visible from public right of way)	No
Wood frame construction sheathed in corrugated metal siding (not visible from public right of way)	No

There is a risk that damage may occur to the historic storefronts during relocation and construction. A bracing and relocation plan has been included as a project feature under the proposed project to prevent damage to the historic storefronts. Additionally, mitigation measures have been provided below to reduce potential adverse impacts which would be less than significant, as discussed above. After project completion, with mitigation incorporated, the important visual relationships, historical associations and architectural significance of the subject properties would be retained and the subject properties would retain their eligibility as historical resources. Therefore, with mitigation incorporated, the proposed project would result in a less than significant impact to historical resources.

Mitigation measures have been provided below, including recordation of the subject properties in a Historic American Buildings Survey (HABS) report, which shall record the history and appearance of the subject properties prior to commencement of construction. Of the two buildings, only 122 Main is individually eligible and therefore a demolition monitoring and salvage program is recommended to evaluate the portions of the structure to be removed for salvage, analysis and interpretation in a demolition monitoring and salvage report. To avoid creating a false sense of history, a permanent metal plaque will be affixed to each storefront or a marker will be imbedded in the pavement in front, to briefly explain that the storefronts were relocated.

b. Standards for Rehabilitation

Generally, a project that conforms to the Standards is considered mitigated pursuant to CEQA. A detailed analysis of the projects conformance with the Standards is provided below. The proposed project would conform to Standards 1, 4, 5, 6, 7, 8 and 10. The proposed project does not fully conform to Standards 2, 3, or 9 because of the relocation of the storefronts and removal of the side and rear elevations. While the project follows the intent of the Standards, as demonstrated below, the project would potentially result in an adverse impact under CEQA because it does not fully conform to the Standards. However, as discussed above, the project would not substantially impair the eligibility of historical resources and therefore would result in a less than significant impact.

- 1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

Under the proposed project the subject properties will continue to be used as commercial properties as they were historically. The historic exterior front facades will be retained and rehabilitated, thus the primary distinctive materials and features of the subject properties would be preserved. Furthermore, the visual and historical relationships of the subject properties with other historical resources in the immediate surrounding setting in the 100 block of Main would be preserved; and the historical associations of the subject properties with the Main Street Historic District would be retained. The proposed project conforms to Standard 1.

- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

The historic exterior character-defining front facades will be retained and preserved. The distinctive materials, features and spatial relationships of the façade will be preserved or repaired, or where necessary due to damage or deterioration they will be replaced in kind. The removal or alteration of distinctive

features that characterize the subject properties will be avoided, and the spatial relationships with other historical resources in the immediate surrounding setting will be preserved. The altered non-contributing interiors as well as the contributing exterior secondary side and rear elevations behind the storefronts would be removed and replaced with new construction. The side and rear elevations are secondary features which do not substantially contribute to the eligibility of the resources, and they are not visible from the public right of way. Removal of the side and rear elevations are necessary for the new use and cannot be avoided. Although their removal will not materially impair the eligibility of the historical resources, the proposed project does not fully conform to Standard 2 because of the relocation of the historic storefronts for the required setback, and removal of the side and rear elevations. Therefore, mitigation measures have been provided below to reduce potential impacts.

3. *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The subject properties will be recognized as a physical record of their time, place and use and no conjectural features or elements will be introduced. However, relocation of the historic storefronts to create a new setback is required by the City due to right-of-way dedication for pedestrian access and public utilities. Relocation of the storefronts will alter their historical relationship to the street and will create a false sense of historical development. However, because they will only be moved back a small distance from their original location, their general relationship with the surrounding setting will still appear similar to what it was during the historic period. Therefore, relocation of the historic storefronts will not result in a substantial change to the historical resources. Nonetheless, because the historic storefronts will be relocated, the proposed project does not fully conform to Standard 3. Therefore, mitigation measures have been provided below to reduce potential impacts.

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

The stucco cladding on the wood-frame formerly clapboard storefront at 122 Main as acquired significance in its own right and will be retained and preserved. Likewise, the Streamline Moderne storefront at 124 Main has acquired historic significance in its own right and will be retained and preserved. The project conforms to Standard 4.

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

The distinctive materials, features, finishes and construction techniques and examples of craftsmanship of the character-defining historic storefronts will be preserved. All distinctive character-defining historic material of the storefronts that are currently visible from the public right-of-way will be retained and preserved under the project. The interior is substantially altered and there are no distinctive materials, features, finishes or construction techniques apparent. The exterior wood-frame side elevations are not distinctive and are not visible from the public right-of-way on Main Street. However, the rear elevation and part of the side elevations are visible from the public parking area behind the building. Nevertheless, the rear and side elevations are not distinctive primary contributing features and do not characterize the

property; they are substantially-altered secondary features that contribute to but are not essential to the property's eligibility. The project conforms to Standard 5.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

Both of the storefronts are of wood frame construction with a stucco finish. The structural condition of the storefronts has been compromised over the years by weathering and some of the wood members are deteriorated or rotted. Similarly, the stucco cladding is over 80 years old and in need of repair.

The framing for the parapets of 122 Main is completely rotted and cannot be saved; the framing will be repaired or replaced in kind to match the original. The plaster finish and horizontal banding on the parapet must therefore be removed and replaced in kind. The plaster finish and banding on the storefront will be renovated or replaced in kind to match the original. The existing door and windows and door/window openings on the first floor, and the windows and window openings on the second floor are altered and are not original. The new replacements will be ADA compliant and will be compatible with the original historic appearance in design, color, texture, and where possible materials, substantiated by historic photographs.

None of the plaster on the 124 Main storefront is original, except the fluted Art Deco pilasters which are to be preserved. The remaining plaster will be replaced in kind to original appearance. All the wood framing on the glass storefront is termite ridden and/or not original; the glass storefront will be repaired or replaced in kind to match the original. The transom windows (steel frame and obscure glass) will be retained and preserved. The existing doors will be replaced with historically appropriate wood and glass doors, and the recessed entrance will be reconfigured so that the existing angled walls will be straightened to be ADA compliant. The existing non-original storefront base will be replaced with a compatible cast plaster base. Replacements of the missing features will match the historic features in design, color, texture, and where possible materials, substantiated by the historic photographs.

The rear and side elevations are in poor condition and will be removed under the project and replaced with new construction. As discussed above under Standard 5, the exterior wood-frame side elevations are not visible from the public right-of-way on Main Street. The rear elevation and part of the side elevations are visible from the public parking area behind the building. As previously discussed, the rear and side elevations are not primary character-defining features and do not characterize the property; they are substantially-altered non-distinctive secondary features that contribute to, but are not essential to the property's eligibility.

The proposed project will conform to Standard 6.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

No Chemical or physical treatments that can cause damage to historic materials will be used. The project conforms to Standard 7.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

No known archaeological resources exist on the project site. If such resources are encountered during construction, appropriate mitigation measures will be undertaken. The project conforms to Standard 8.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

The proposed rehabilitation and adaptive reuse will retain and preserve the historic character-defining storefronts and will not destroy any of the primary historic materials, features or spatial relationships that characterize the property, as discussed above. However, as discussed above under Standard 2, the altered non-contributing interiors as well as the contributing exterior secondary side and rear elevations behind the storefronts would be removed and replaced with new construction. Removal of the side and rear elevations are necessary for the new use and cannot be avoided.

The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and the environment. The proposed project will retain and relocate the historic storefronts and the new construction will be set back so that after project completion views of the historic storefronts will be similar to the existing views in the context of Main Street and the historic significance of the storefronts will be preserved. The design of the new construction is respectful and sensitive to the historic storefronts, continuing the horizontal lines of the historic storefronts in the new construction. The placement, scale and architectural rhythm of the window openings scale on the new construction is compatible with the window and door openings on the historic storefronts. The size and scale of the setbacks on the new construction is compatible with the historic storefronts which will remain visually prominent. The smooth stucco finish of the new construction will be differentiated from yet compatible with the historic plaster finishes on the storefronts; the new plaster will be a modern smooth finish while the historic plaster has more of a bumpy texture. The modern glass balcony railings will be structurally separate from the parapets on the historic storefronts and are designed to be visually unobtrusive.

The proposed project does not fully conform to Standard 9 because of the relocation of the storefronts and removal of the side and rear elevations by the new construction. While these changes are not substantial and will not materially impair the eligibility of the subject properties, mitigation measures have been provided below to reduce potential impacts.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

The essential form and integrity of the historic properties, specifically the historic character-defining storefronts will be retained under the proposed project. If the related new construction were to be removed in the future, leaving the historic storefronts intact, the historic properties and their environment would be unimpaired and they would remain eligible as historical resources. The project conforms to Standard 10.

3. Recommended Mitigation

The project would retain and rehabilitate the distinctive character-defining historic storefronts of 122 and 124 Main Street. After project completion because the eligibility of 122 and 124 Main as historical resources would be retained under the project, impacts to historical resources under the proposed project are considered less than significant. Mitigation measures are provided below for each property to reduce adverse impacts to historical resources resulting from relocation of the storefronts and removal of the side and rear elevations.

a. 122 Main Street

Mitigation Measure 1 (MM1): Level III Historic American Buildings Survey (HABS)

A Historic American Buildings Survey (HABS) Level III recordation document shall be prepared of the existing building; its property type, the Western False Front style and wood frame construction; and document other similar property types in downtown Huntington Beach; and its possible association with the City Hall of Pacific City and the economic and cultural development of the City of Huntington Beach. The HABS document shall be prepared by a qualified architectural historian or historic preservation professional who satisfies the Secretary of the Interior's Professional Qualification Standards for Architectural History pursuant to 36 CFR 61. This document shall include a historical narrative on the architectural and historical importance of the Western False Front and wood frame commercial buildings in Huntington Beach, downtown Huntington Beach and Main Street, association with the City Hall of Pacific City, and record the existing appearance of the building in professional large format HABS photographs. The building exterior, representative interior spaces, character-defining features, as well as the property setting and contextual views shall be documented. All documentation components shall be completed in accordance with the Secretary of the Interior's Standards and Guidelines for Architectural and Engineering Documentation (HABS standards). Original archivally-sound copies of the report shall be submitted to the HABS collection at the Library of Congress, and South Central Coastal Information Center, California State University, Fullerton, CA. Non-archival copies will be distributed to the City of Huntington Beach and Huntington Beach Public Library (Main Branch). In addition, any existing and available design and/or as-built drawings shall be compiled, reproduced, and incorporated into the recordation document. Results of the demolition monitoring and salvage investigations discussed below shall be incorporated into the final draft of the HABS report (see MM2).

Mitigation Measure 2 (MM2): Demolition Monitoring and Salvage

The project applicant shall retain a qualified architectural historian to conduct construction monitoring during demolition. Any important historic fabric associated with the period of significance, ca. 1902, shall be fully recorded in photographic images and written manuscript notes. Significant material shall be inventoried and evaluated for potential salvage, analysis and interpretation. A qualified architectural historian or historic preservation professional who satisfies the Secretary of the Interior's Professional Qualification Standards for Architectural History, pursuant to 36 CFR 61, shall prepare the necessary written and illustrated documentation in a construction monitoring and salvage report. This document shall record the history of 122 Main Street and the wood-frame construction methods during the period of significance as well document its present physical condition through site plans; historic maps and photographs; sketch maps; 35mm photography; and written data and text. All documentation components shall be completed in accordance with the Secretary of the Interior's Standards and for Archaeological Documentation for above ground structures. The completed documentation shall be placed on file at the South Central Coastal

Information Center, California State University, Fullerton, CA; and the City of Huntington Public Library. Findings shall be incorporated into the HABS report (see MM1 above).

Mitigation Measure 3 (MM3): Plaque/Marker

A permanent metal plaque will be affixed to the 122 Main storefront or a marker will be imbedded in the pavement in front, which will briefly explain that the storefront was relocated.

b. 124 Main Street

Mitigation Measure 4: Level III Historic American Buildings Survey (HABS)

A Historic American Buildings Survey (HABS) Level III recordation document shall be prepared of the existing building; its property type, the Western False Front style, wood frame construction, and the Streamline Moderne style; and document other similar property types in downtown Huntington Beach. The HABS document shall be prepared by a qualified architectural historian or historic preservation professional who satisfies the Secretary of the Interior's Professional Qualification Standards for Architectural History pursuant to 36 CFR 61. This document shall include a historical narrative on the architectural and historical importance of the Western False Front, wood frame, and Streamline Moderne style commercial buildings in Huntington Beach, downtown Huntington Beach and Main Street, and record the existing appearance of the building in professional large format HABS photographs. The building exterior, representative interior spaces, character-defining features, as well as the property setting and contextual views shall be documented. All documentation components shall be completed in accordance with the Secretary of the Interior's Standards and Guidelines for Architectural and Engineering Documentation (HABS standards). Original archivally-sound copies of the report shall be submitted to the HABS collection at the Library of Congress, and South Central Coastal Information Center, California State University, Fullerton, CA. Non-archival copies will be distributed to the City of Huntington Beach and Huntington Beach Public Library (Main Branch). In addition, any existing and available design and/or as-built drawings shall be compiled, reproduced, and incorporated into the recordation document.

Mitigation Measure 5 (MM3): Plaque/Marker

A permanent metal plaque will be affixed to the 124 Main storefront or a marker will be imbedded in the pavement in front, which will briefly explain that the storefront was relocated.

4. Conclusion

Under the proposed project the historic exterior front facades will be retained and rehabilitated, thus the primary distinctive materials and features of the subject properties would be preserved. However, relocation of the historic street fronts is a City requirement due to the right-of-way dedication for pedestrian access and public utilities. Although the historic storefronts would be relocated approximately six feet back from their existing location, they would remain within their same respective parcels and have a similar orientation to the street. Thus, the visual and historical relationships of the subject properties with other historical resources in the immediate surrounding setting in the 100 block of Main would be preserved; and the historical associations of the subject properties with the Main Street Historic District would be retained.

The altered non-contributing interiors as well as the contributing exterior secondary side and rear elevations behind the storefronts would be removed and replaced with new construction. The side and rear

elevations are secondary rather than primary character-defining features. The side elevations are hidden from view between the buildings and are not clearly visible from the public right of way. The side and rear elevations do not substantially contribute to the eligibility of the subject properties. Removal of the side and rear elevations are necessary for the new use and cannot be avoided. While the removal of the side and rear elevations and their replacement with new construction would remove secondary features and therefore result in an adverse impact to historical resources, nevertheless, the adverse impact would be less than significant. The primary character-defining storefront façades would be retained and rehabilitated under the Project, which is necessary to preserve the eligibility of these resources. Hence, because the primary façades would be preserved and the subject properties would retain their eligibility as historical resources after project completion, and because the visual and historical relationships with other historical resources in the surrounding setting would be also be preserved, the project would result in a less than significant impact on historical resources.

The proposed project would conform to Standards 1, 4, 5, 6, 7, 8 and 10. While following their intent, the proposed project does not fully conform to Standards 2, 3, or 9 because of the relocation of the storefronts and removal of the side and rear elevations. Furthermore, there is a risk that damage may occur to the historic storefronts during relocation and construction. A bracing plan has been included as a project feature under the proposed project to prevent damage to the historic storefronts. Additionally, mitigation measures have been provided to reduce potential adverse impacts which would be less than significant, as discussed above. Mitigation measures include recordation of the subject properties in a Historic American Buildings Survey (HABS) report, which shall record the history and appearance of the subject properties prior to commencement of construction. Of the two buildings, only 122 Main is individually eligible and therefore a demolition monitoring and salvage program is recommended to evaluate the portions of the structure to be removed for salvage, analysis and interpretation in a demolition monitoring and salvage report. To avoid creating a false sense of history, a permanent metal plaque will be affixed to each storefront or a marker will be imbedded in the pavement in front, to briefly explain that the storefronts were relocated.

After project completion, with mitigation incorporated, the distinctive storefronts would be preserved and would continue to convey the important historical associations and architectural significance of the subject properties would be retained and the subject properties, which would retain their eligibility as individual historical resources and as contributors to a distinct grouping or small district of commercial buildings in the surrounding setting. The metal plaques would inform the public that the storefronts had been relocated, and images of the buildings prior to relocation would be recorded in the HABS report. Therefore, with mitigation incorporated, the proposed project would result in a less than significant impact to historical resources. Hence, PCR recommends the preparation of an MND as the appropriate document to complete the environmental review process under CEQA.

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VI. Appendices

Appendix A

California Department of Parks and Recreation Record Form, 122 Main Street (1986)

California Department of Parks and Recreation Record Form, 124 Main Street (1986)

Appendix B.

Professional Qualifications

Appendix C.

Proposed Project Plans

Appendix A

**CALIFORNIA DEPARTMENT OF PARKS AND RECREATION RECORD FORM
122 MAIN STREET (1986)**

**CALIFORNIA DEPARTMENT OF PARKS AND RECREATION RECORD FORM
124 MAIN STREET (1986)**

HISTORIC RESOURCES INVENTORY

HABS _____		HAER _____		NR _____	SHL _____	Loc _____
UTM:	A _____	B _____		C _____		
	C _____	D _____		Ser. No. _____		

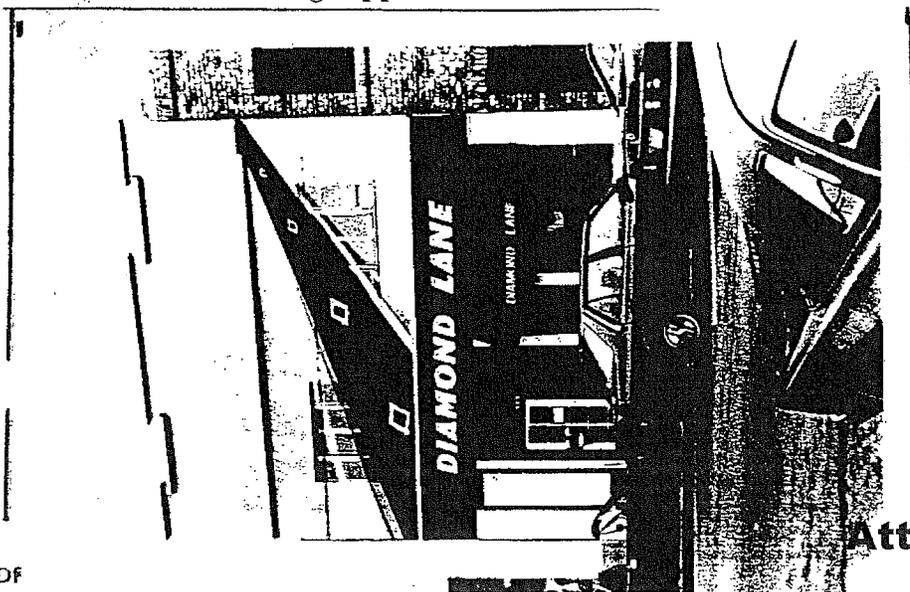
IDENTIFICATION

- Common name: Diamond Lane
- Historic name: Huntington Cleaners and Dyers
- Street or rural address: 122 Main Street
City Huntington Beach Zip 92648 County Orange
- Parcel number: 024-154-02
- Present Owner: Charles Sarrabere & Blanche Wood Address: 201 5th St.
City Huntington Beach Zip 92648 Ownership is: Public _____ Private
- Present Use: Clothing Store Original use: Retail-Mens Clothing

DESCRIPTION

- Architectural style: Western Falsefront
- Briefly describe the present *physical description* of the site or structure and describe any major alterations from its original condition:

The facade of this two-story frame building is now covered in stucco, but the original western falsefront is still in place. Wooden ledges, with one section on each end and the larger section in the center, emphasize the horizontal roofline. A narrow ledge runs across the face, a few feet above the windows. Two sets of aluminum windows now replace the originals used on the second floor. A narrow beltcourse runs across the front above the stucco-clad transom area. Vertical wood panels offset multi-paned wood-framed entry doors, and plate glass windows occupy the first floor storefront. The rear of this building is very unusual as it is representative of the settlement of the commercial center of the City. A two-story ship-lap-sided gable-roofed building exists behind this false front. Tall, narrow double-hung windows and enclosed eaves indicate that this building is probably one of the oldest on the street. A single-story, flat-roofed brick building projects from the rear of the two-story wood section. Although the building appears to be made of red brick, the Sanborn maps have the



- Construction date:
Estimated _____ Factual 1902
- Architect Owner
- Builder Owner
- Approx. property size (in feet)
Frontage 25' Depth 117.5'
or approx. acreage _____
- Date(s) of enclosed photograph(s)
11/85

13. Condition: Excellent ___ Good X Fair ___ Deteriorated ___ No longer in existence ___
14. Alterations: Paint, first floor storefront, stucco
15. Surroundings: (Check more than one if necessary) Open land ___ Scattered buildings ___ Densely built-up ___
Residential ___ Industrial ___ Commercial X Other: ___
16. Threats to site: None known ___ Private development ___ Zoning ___ Vandalism ___
Public Works project ___ Other: Redevelopment
17. Is the structure: On its original site? X Moved? ___ Unknown? ___
18. Related features: None

SIGNIFICANCE

19. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)

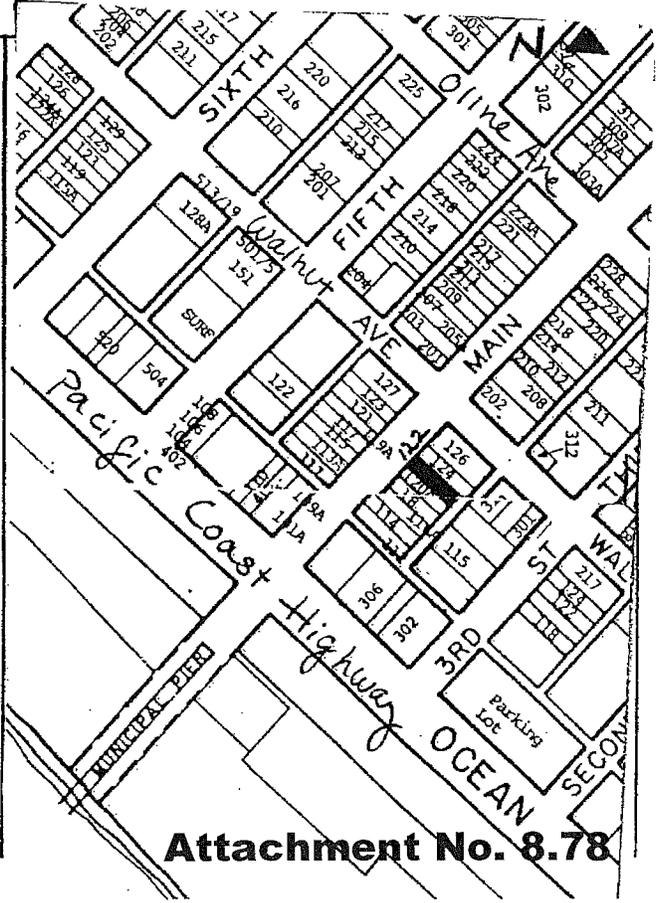
This building is significant because of its role in the settlement of downtown Huntington Beach. The western falsefront style, with a gable-roofed frame building behind the taller parapeted wooden front, is rare in urban Orange County. In 1920 L Malter, Clothing operated in this building. Thomas Smith Clothiers was here in 1924 and Jack Robertson's Mens' Clothes Store followed. There is a brick section immediately behind the wooden section and an adobe section behind that where the Cleaners mechanical section was located for many years. The Huntington Cleaners is the building's best remembered occupant. A variety of old equipment survives from the days when the Cleaners was active.

20. Main theme of the historic resource: (If more than one is checked, number in order of importance.)
 Architecture 2 Arts & Leisure ___
 Economic/Industrial 3 Exploration/Settlement 1
 Government ___ Military ___
 Religion ___ Social/Education ___

21. Sources (List books, documents, surveys, personal interviews and their dates).

22. Date form prepared 2/86
 By (name) D. Marsh
 Organization Thirtieth Street Architects, Inc.
 Address: 2821 Newport Blvd.
 City Newport Beach Zip 92663
 Phone: (714) 673-2643

Historical Researchers:
 Barbara Melkovitch
 Jerry Person



122 Main Street

7b. Physical Description (Cont.)

southern-most sections of this wing as being of adobe construction. Large metal-clad fire doors, which slide in tracks, face east from the side of the building.

HISTORIC RESOURCES INVENTORY

HABS _____		HAER _____		NR _____	SHL _____	Loc _____
UTM: A _____		B _____				
C _____		D _____				

IDENTIFICATION Merrilee's

1. Common name: Merrilee's

2. Historic name: Tripp's Market Building

3. Street or rural address: 124 Main Street

City Huntington Beach Zip 92648 County Orange

4. Parcel number: 04-154-02

5. Present Owner: Charles Sarrabere & Blanche Wood Address: 201 5th St.

City Huntington Beach Zip 92648 Ownership is: Public _____ Private X

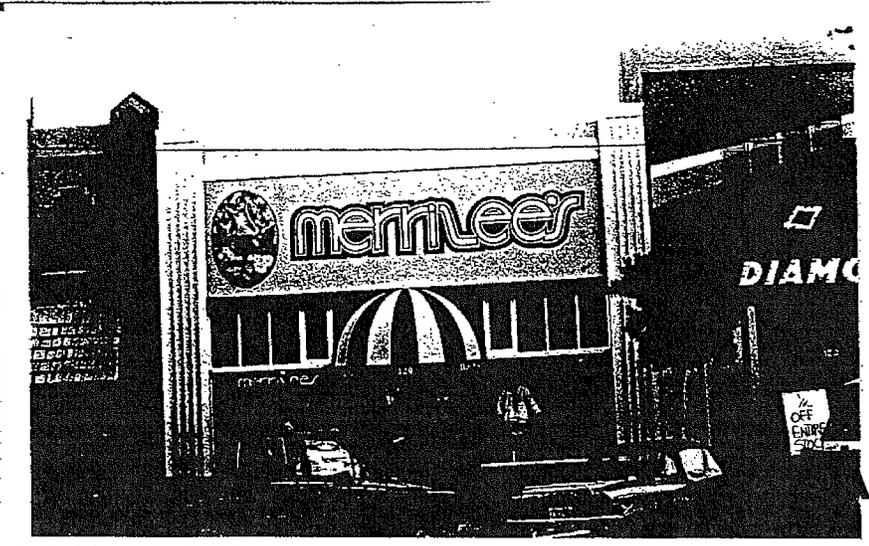
6. Present Use: Clothing store Original use: Retail-commercial

DESCRIPTION

7a. Architectural style: Moderne

7b. Briefly describe the present *physical description* of the site or structure and describe any major alterations from its original condition:

Moderne in style, the single-story flat-roofed building shown below was originally a Western Falsefront building with a frame body. The gabled section behind the falsefront was and is still clad in corrugated metal while the front was clad in stucco as part of the Moderne remodel in the early 1930's. Projecting fluted pilasters accent each corner of the front facade, with a wide stucco band running parallel to the top of the unbroken parapet. Below the sign "Merrilee's" another band of stucco forms a beltcourse above the row of vertical wood-framed transom windows. Large plate glass windows with glass sides slanting toward the centered wood doors form the storefront. The bulkheads are clad in flagstone, added in the 50's, and a semi-circular canvas awning, a recent addition, shelters the doors. The rear view shows a gable-roofed structure, clad in corrugated metal, with the gable facing to the rear. A long, narrow, single-story stucco-clad addition extends almost to the rear of the lot.



8. Construction date: Estimated _____ Factual 1912

9. Architect Owner

10. Builder Owner

11. Approx. property size (in feet)
Frontage 25 Depth 117.5
or approx. acreage _____

12. Date(s) of enclosed photograph(s)
10/85

13. Condition: Excellent ___ Good X Fair ___ Deteriorated ___ No longer in existence ___
14. Alterations: Flagstone on bulkheads and canopy
15. Surroundings: (Check more than one if necessary) Open land ___ Scattered buildings ___ Densely built-up ___
Residential ___ Industrial ___ Commercial X Other: ___
16. Threats to site: None known ___ Private development ___ Zoning ___ Vandalism ___
Public Works project ___ Other: Redevelopment
17. Is the structure: On its original site? X Moved? ___ Unknown? ___
18. Related features: None

SIGNIFICANCE

19. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)

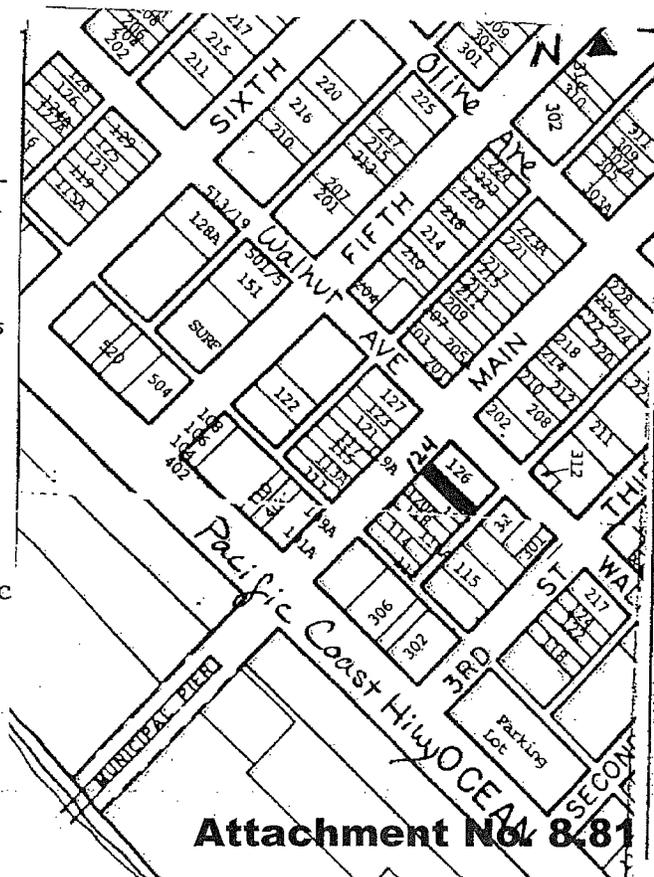
Remodeled in the early 30's from a Western storefront style, Merrilee's retains most of the Moderne features of that era. The transoms and pilasters form the major horizontal and vertical lines. This was the first location of O'Barr's Drug Store in 1914, before they built the large two-story brick building on the corner of Main and P.C.H. The U.S. Restaurant was there in 1919 and the early Twenties papers list the following occupants: Huntington Beach Stock Exchange; Fowler's Paint, Paper, and Variety Store; Lynn Colburn Real Estate; Model Tailors; and Economy Market. The Buckhorn Cafe and 20/30 Cafe were there in 1939 and 1943. The building is significant for its contribution to the broad patterns of the City's history and association with businessmen who contributed much to the City's economy.

20. Main theme of the historic resource: (If more than one is checked, number in order of importance.)
 Architecture 2 Arts & Leisure ___
 Economic/Industrial ___ Exploration/Settlement 1
 Government ___ Military ___
 Religion ___ Social/Education ___

21. Sources (List books, documents, surveys, personal interviews and their dates).

22. Date form prepared 2/86
 By (name) D. Marsh
 Organization Thirtieth Street Architects, Inc
 Address: 2821 Newport Blvd.
 City Newport Beach Zip 92663
 Phone: (714) 673-2643

Historical Researchers:
 Barbara Milkovich
 Jerry Person



Appendix B

PROFESSIONAL QUALIFICATIONS

Margarita J. Wuellner, Ph.D., DIRECTOR OF HISTORIC RESOURCES

Education

- Ph.D., Art History, University of California, Los Angeles, California, 2005
- M.A., Architectural History, University of Virginia, Charlottesville, Virginia, 1991
- Certificate of Historic Preservation, University of Virginia, Charlottesville, Virginia, 1991
- B.A., Art History, Oberlin College, Oberlin, Ohio, 1983

Professional Affiliations

- Santa Monica Conservancy
- Los Angeles Conservancy
- California Preservation Foundation
- Society of Architectural Historians
- National Trust for Historic Preservation

Expertise

Margarita J. Wuellner, Ph.D., has over 20 years of experience in the practice of historic preservation and cultural resources management in California, the United States, and Europe. She has an extensive background in art and architecture from the eighteenth through twenty-first century, and is a specialist in the study of visual culture, Modernism, urbanism, and cultural landscape. She has training and substantial experience in the evaluation and conservation of art and architecture, and her qualifications and experience meet and exceed the Secretary of the Interior's Professional Qualification Standards in History, Archaeology, and Architectural History.

Dr. Wuellner has received numerous awards and fellowships for her work including: Samuel H. Kress Foundation Fellowship, Art History; American Council of Learned Societies Fellowship, East European Studies; Edward A. Dickson Graduate Fellowship, Art History, UCLA; Thomas Jefferson Fellow, Dupont Fellow, Governor's State Graduate Fellow, UVA School of Architecture.

Experience

Historic Preservation and Cultural Resources Management: Dr. Wuellner has extensive experience in the evaluation, management and treatment of historic properties for compliance with Sections 106 and 110 of the National Historic Preservation Act (NHPA), National Environmental Protection Act (NEPA), Section 4(f) of the Department of Transportation Act, California Environmental Quality Act (CEQA), and local preservation ordinances. Dr. Wuellner is experienced in the assessment of projects for conformance with the Secretary of the Interior's Standards and frequently assists clients with city, state and federal agency consultation. Dr. Wuellner has over 15 years of experience as a principal investigator, project manager, and technical lead for international, national and regional firms, including EDAAW, Inc. (now AECOM) and Parsons, Inc. She gained her professional training and experience with the historic preservation firm John Milner Associates in Alexandria, Virginia, and the landscape preservation firm Land and Community Associates in Charlottesville, Virginia. She returned to Los Angeles in 1995 to begin her doctoral studies at UCLA and since then has established a strong regional historic preservation practice. She currently serves as the City of Santa Monica's historic preservation consultant, and is also an on-call preservation consultant for the Los Angeles Redevelopment Agency.

Planning and Redevelopment: Dr. Wuellner has surveyed thousands of properties and conducted extensive research to document historic resources throughout the United States, and has conducted hundreds of projects in Southern California for public agencies and private clients. Redevelopment, urban design and master planning projects are of primary interest to Dr. Wuellner. She completed three surveys under contract to the Community Redevelopment Agency of the City of Los Angeles to evaluate historic resources within the Wilshire Center/Koreatown Recovery Redevelopment Project Area (2009), Adelante Eastside (2008), and the Normandie 5 Redevelopment Project Area (2010); the survey results are being incorporated into *SurveyLA*.

Her experience with educational resources includes the recent district-wide historic resources survey for the Santa Monica Unified School District (SMMUSD) as well as preservation consultation for renovations and additions to selected school sites. As part of the larger USC Master Plan Project she prepared a historic resources analysis for the USC Student Union Project IS/MND evaluating the Formalist Modern Norman Topping Center and potential impacts to the adjacent Commons Building and surrounding historic district; and a HABS report for the Modern Constructivist Schoenberg Institute. She also completed HABS reports for the Gymnasium at the University of La Verne and the Administration Building at Harvard-Westlake Academy.

Dr. Wuellner has authored hundreds of technical reports for incorporation into CEQA/NEPA environmental review documents (EIRs/EAs/EISs), and she is experienced in documenting and implementing mitigation measures to reduce potential impacts to historic resources. Dr. Wuellner presently provides preservation consultation for rehabilitation/adaptive reuse projects, such as the San Bernardino Santa Fe Depot, the Santa Monica City Hall, and the Dunbar Hotel which are listed in the National Register. Her notable recent conservation work includes the Survey of Fine and Decorative Arts aboard the RMS Queen Mary (2008), and the recently completed Conservation Management Plan for the RMS Queen Mary (2010) for the City of Long Beach.

Amanda Kainer, ASSISTANT ARCHITECTURAL HISTORIAN

Education

- M.S., Historic Preservation (Emphasis: Conservation), Columbia University, New York, New York, 2008
- B.S., Design, (Emphasis: Interior Architecture), University of California, Davis, California, 2002
- B.A., Art History, University of California, Davis, California, 2002

Professional Affiliations

- American Society of Interior Designers
- National Trust for Historic Preservation
- Association for Preservation Technology
- Los Angeles Conservancy
- Santa Monica Conservancy

Summary

Amanda Kainer has over seven years of professional and academic experience in the practice of historic preservation and architectural history throughout the United States.

Ms. Kainer's qualifications and experience meet and exceed the Secretary of the Interior's Professional Qualification Standards in History and Historic Preservation Planning. She has a wide-ranging knowledge of nineteenth- and twentieth-century American Architecture and Interior Design. Ms. Kainer has advanced skills in researching and documenting residential interior design, and analyzing preservation easements. She also specialized in conservation with knowledge of analytical methods, and materials such as stone, metal, mortar, bricks and finishes.

Experience

Historic Preservation Documentation and Research: Ms. Kainer has conducted extensive archival research, field observation, and recordation for numerous historic documentation projects. She provided database management for the Adelante Eastside Redevelopment Project and the Wilshire Center/Koreatown Historic Resources Survey and served as the Survey Team Leader for the survey of fine and decorative arts aboard the RMS Queen Mary in Long Beach. Ms. Kainer assisted with the management of the survey database and research for the Normandie 5 Survey in Los Angeles.

Ms. Kainer has completed character-defining features reports, and assistance with investment tax credit applications and Historic American Building Survey (HABS) documentation. She has contributed to Historic Resource Assessments for residential properties in Laguna Beach and Redondo Beach, as well as a bowling alley in Chatsworth. Ms. Kainer has prepared Conditions Assessments and provided recommendations for two projects in New York, including the East and West Parlors of the Van Cortlandt House Museum in the Bronx and the Orange County and Government Center in Goshen. She has assisted with the HABS documentation of the Schoebner Institute and the Santa Monica City Jail. Ms. Kainer has contributed to character-defining features reports for All Saints Church and Polytechnic Elementary School in Pasadena.

Santa Monica: Ms. Kainer has served as a research assistant and co-author for numerous reports for the City of Santa Monica as part of PCR's on-call contract with the City. She has experience providing research assistance, critical analysis, and writing for City Landmark Assessment and Evaluation reports, Preliminary Assessment Memoranda, and Structure of Merit Evaluations. The reports evaluated a variety of commercial, residential and institutional properties, including the Bay Builders Exchange (1503-1509 4th Street), the Keller Block (1456-1460 3rd Street/227 Broadway), the Santa Monica Doctor's Building (2125 Arizona Avenue), the Shangri-La Hotel (1301 Ocean Avenue), and a residential property (142 Hollister Avenue).

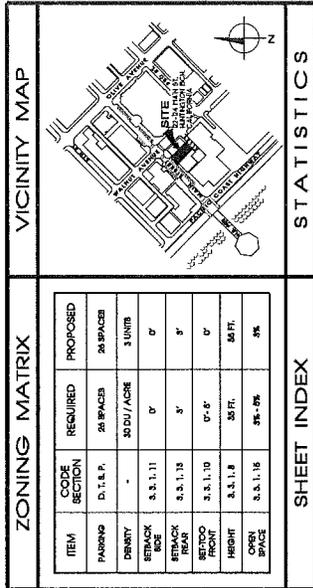
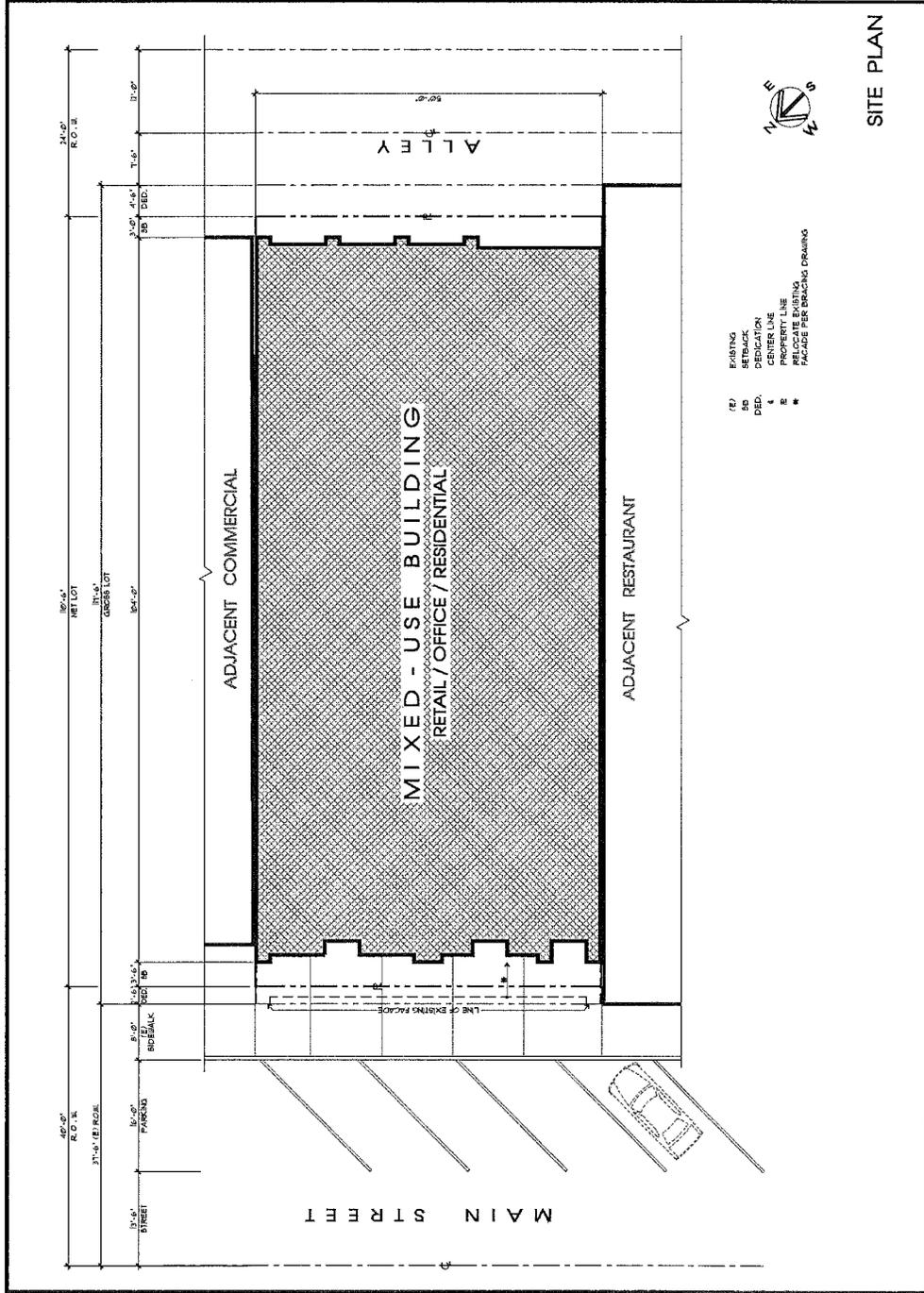


Appendix C

PROPOSED PROJECT PLANS

MIXED - USE RETAIL / OFFICE / RESIDENTIAL

122 -124 MAIN STREET, HUNTINGTON BEACH, CALIFORNIA



ZONING MATRIX

ITEM	CODE SECTION	REQUIRED	PROPOSED
PARKING	D, T, R, P	26 SPACES	26 SPACES
DENSITY	-	30 DU / ACRE	3 UNITS
SETBACK SIDE	3.3.1.11	0'	0'
SETBACK REAR	3.3.1.12	0'	0'
SETBACK FRONT	3.3.1.10	0'-8"	0'
HEIGHT	3.3.1.8	35 FT.	35 FT.
OPEN SPACE	3.3.1.16	35-39%	3%

SHEET INDEX

ARCHITECTURAL

- A0 SITE PLAN VICINITY MAP STATISTICS
- A1 FIRST LEVEL FLOOR PLAN
- A2 SECOND LEVEL FLOOR PLAN
- A3 THIRD LEVEL FLOOR PLAN
- A4 BUILDING SECTION
- A5 ELEVATION
- A6 ELEVATION
- A7 ELEVATION
- A8 ELEVATION

STATISTICS

APN: 024-164-02
 TRACT: 164 TRACT BLOCK 103, LOTS 22 & 24
 NET LOT AREA: 9,130 S.F.
 ZONING: D, T, R, P DISTRICT #1
 OCCUPANCY: M, B, U-1, R-3
 CONSTRUCTION: TYPE V, N, FULLY FIRE BRK.
 HEIGHT: 35' / 3-STORY
 BUILDING AREA: 10,330 S.F.
 1ST LEVEL OFFICE: 6,000 S.F.
 2ND LEVEL RESIDENTIAL: 2,200 S.F.
 TOTAL: 8,200 S.F.
 PARKING: 26 / 3-STORY
 RETAIL: 2,600 / 835 = 3
 OFFICE: 600 / 200 = 3
 REQUIRED COMMERCIAL = 17 SPACES *
 RESIDENTIAL:
 3 UNITS X 2 = 6 TANDEN
 GUEST 2X 26 = 1 SPACES
 * PROPOSED IN-LUUI FREE SPACES

OWNER / DEVELOPER:
 MORNING JADE CORP.
 2855 PULLMAN ST.
 SANTA ANA, CA 92706

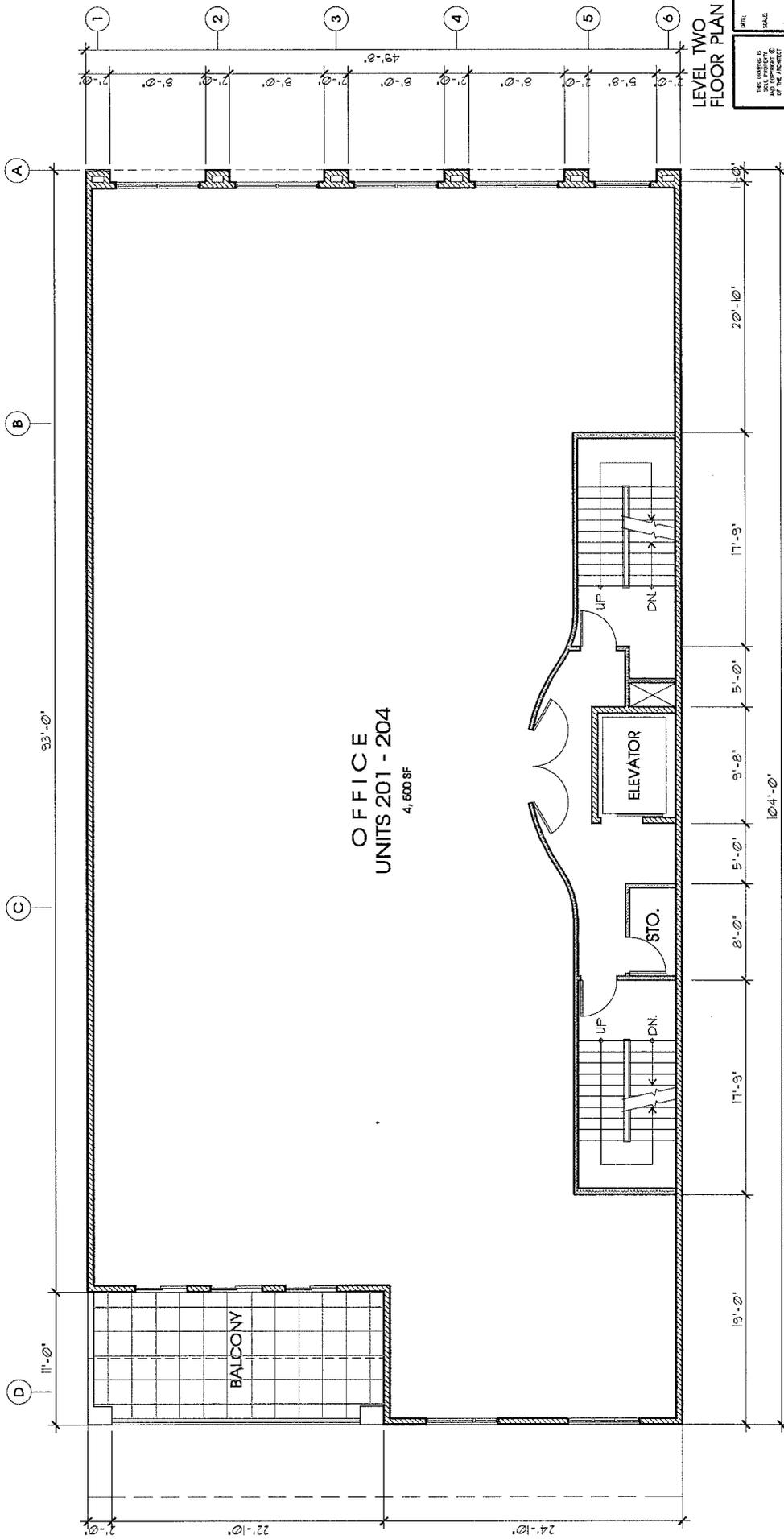
DATE: 4/27/14
 SCALE: 1/8" = 1'-0"
 DWG. REF.: MSHB-AD

MIXED-USE BUILDING
 122-124 MAIN ST.
 HUNTINGTON BEACH
 CALIFORNIA

TEAM
 JEFF BERGMAN
 ARCHITECT
 114 2121 MAIN ST.
 HUNTINGTON BEACH, CA 92648
 714.211.1111

AO

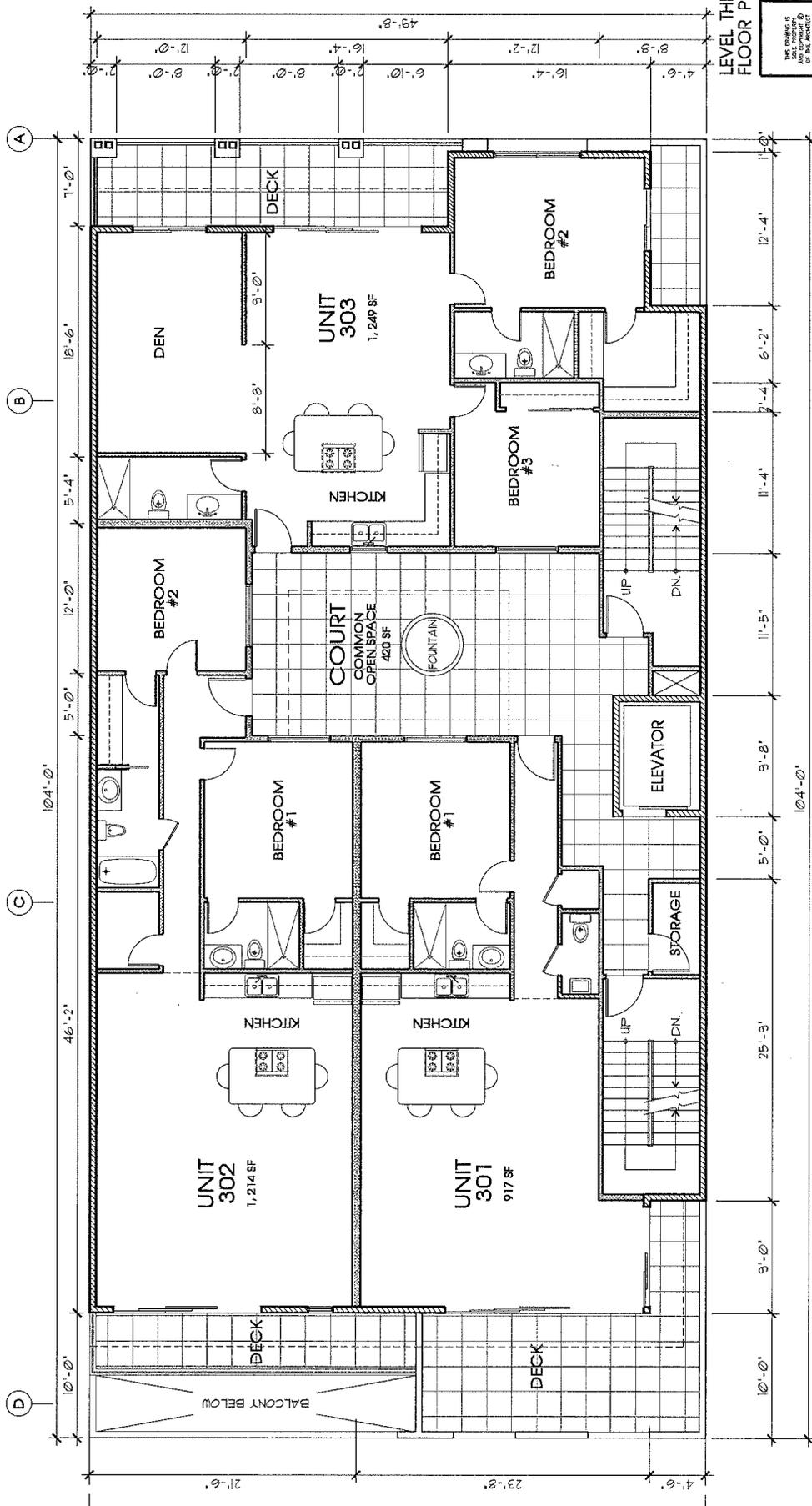
Attachment No. 8.86



LEVEL TWO FLOOR PLAN

THE SHINGLES 1001 W. 10TH ST. ANAHEIM, CA 92801	SHEET 4/20/14 SCALE 1/8" = 1'-0" JOB NO. 15588-A2	MIXED-USE BUILDING 100-104 MAIN ST. HAWAIIAN BEACH, CALIFORNIA	A2
JEFF BERSON ARCHITECT		TEAM DESIGNER 411 N. 11th Street Suite 100 Honolulu, HI 96813 Phone: (808) 531-1111	



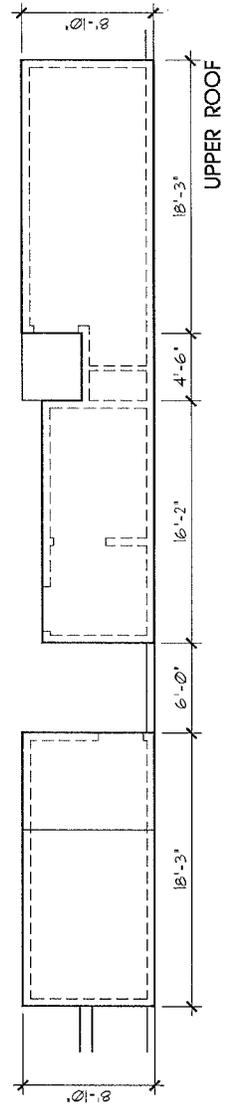
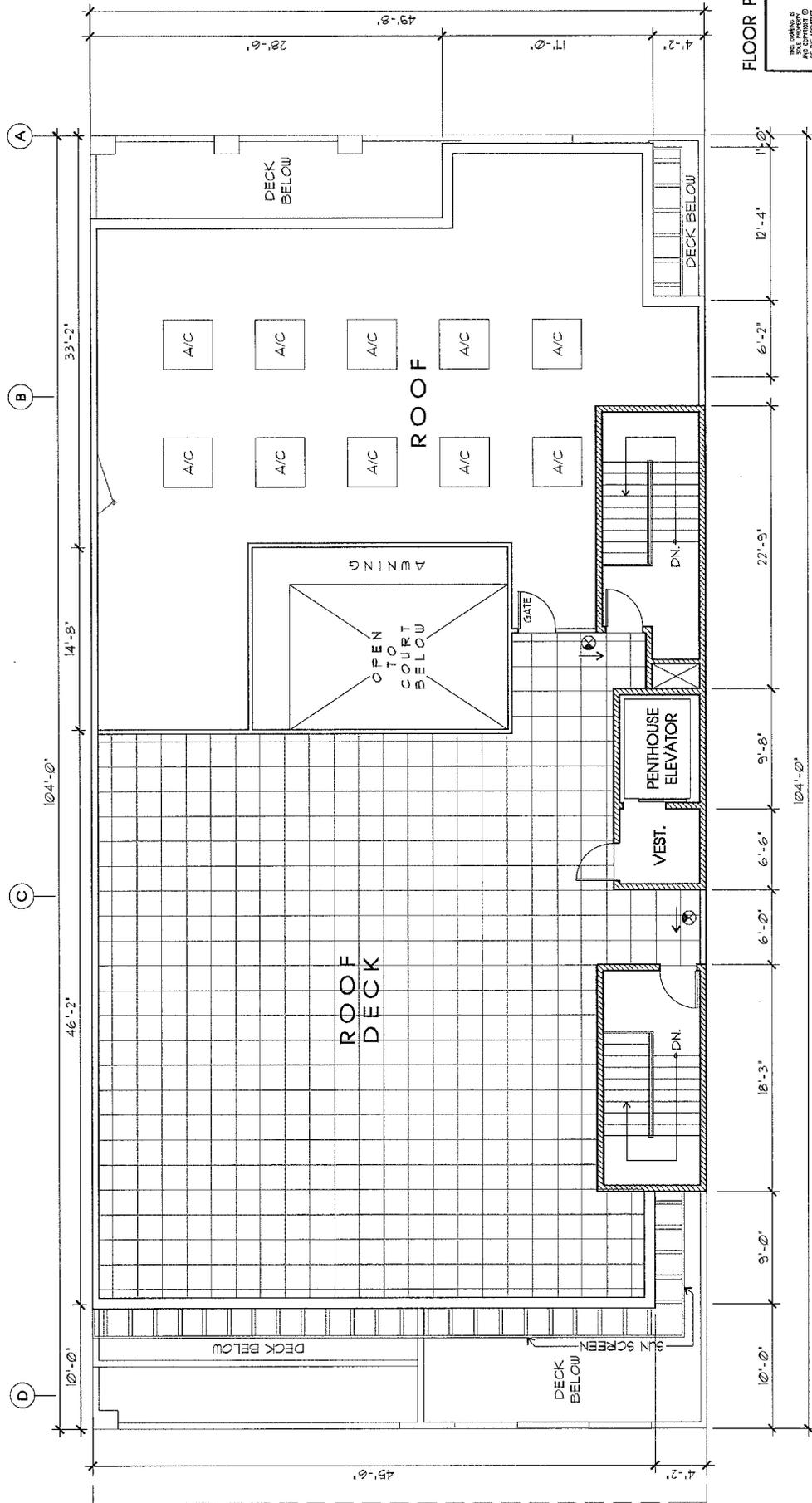


LEVEL THREE
FLOOR PLAN

DATE	4/20/14
SCALE	1/8" = 1'-0"
BY FILE	PHB/RS-AS
MIXED-USE BUILDING	
FOR: 224 MANVILLE, HUNTINGTON BEACH, CALIFORNIA	
OFF: BERENSON ASSOCIATES, INC.	
TEAM 112 222 222 0-2-2-11-0-0 4000 200 200 4-7-7-7 333 333	
A3	



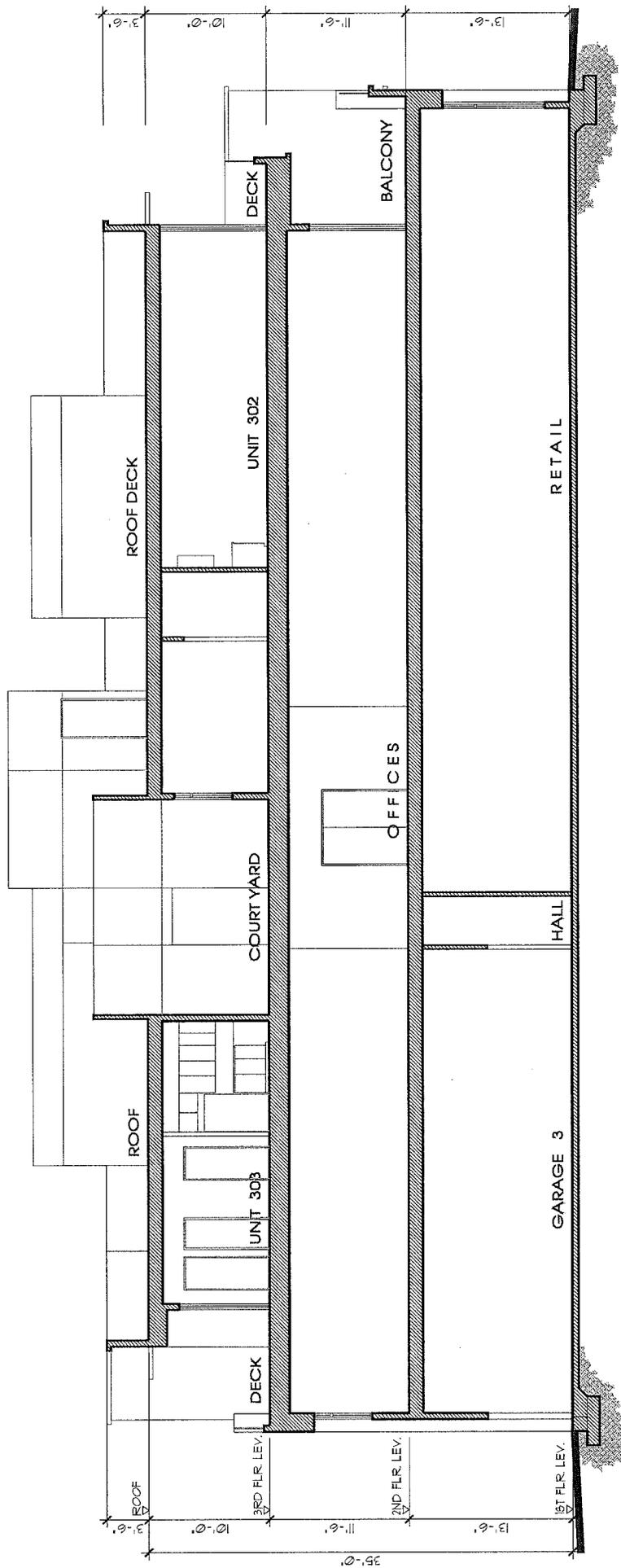
Attachment No. 8.89



FLOOR PLAN

NO. DRAWING DATE: 4/25/14	SCALE: 1/8" = 1'-0"	MIXED-USE BUILDING	132-134 MAIN ST. HUNTINGTON BEACH, CALIFORNIA
DATE: 10/11/14	DATE: 10/11/14		

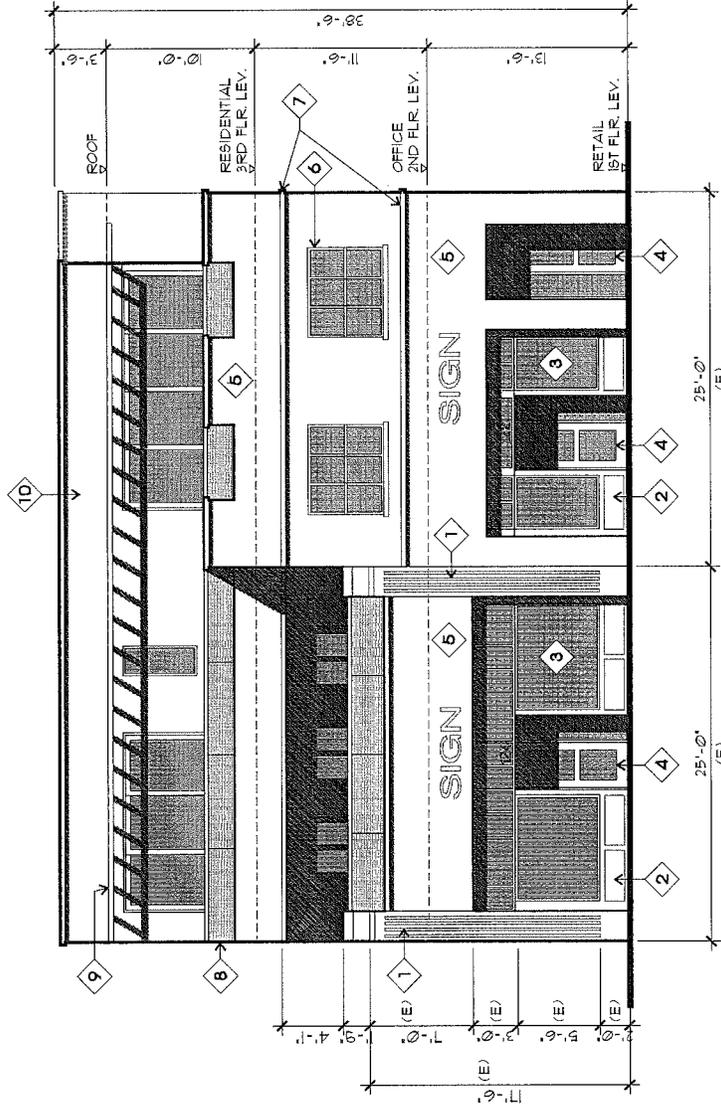
Attachment No. 8.90



THE BOARD OF CIVIL ENGINEERS OF THE STATE OF CALIFORNIA	DATE: 07/20/10
	SCALE: 1/8" = 1'-0" JOB FILE: P58B-45
OFF. ADDRESS: 1111 L STREET, SUITE 100 SACRAMENTO, CA 95811	MIXED-USE BUILDING 122-124 MAIN ST. HAYWARD, CALIFORNIA
TEAM DESIGN	A5

BUILDING SECTION

Attachment No. 8.91



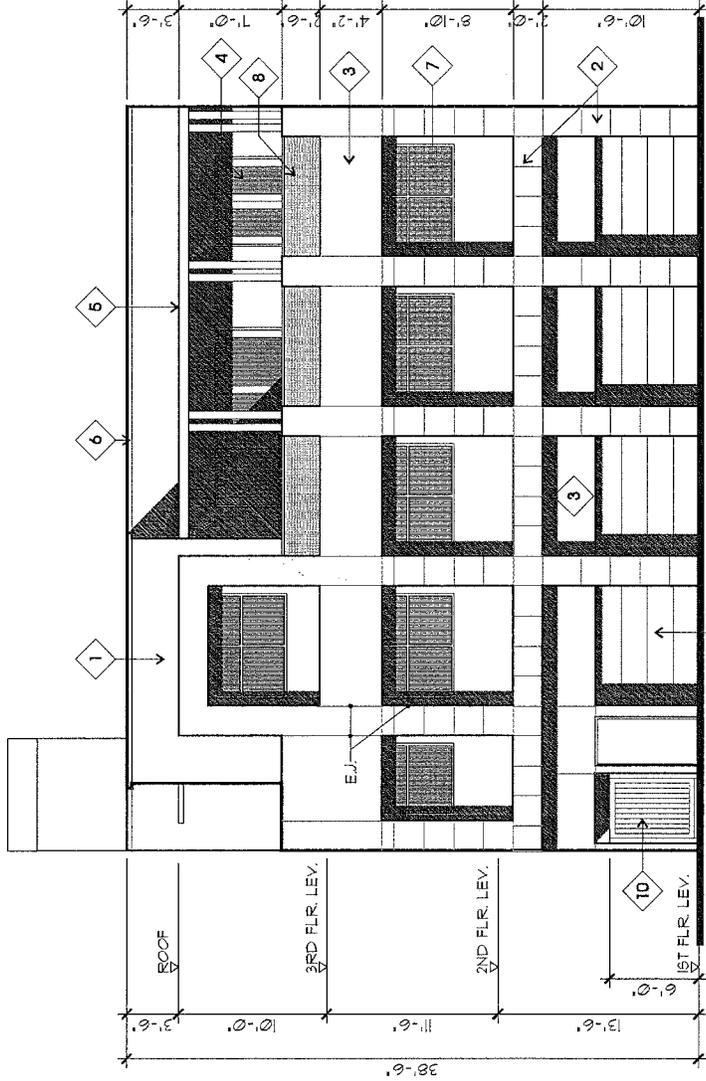
KEYNOTES - EXISTING HISTORIC FACADE

- 1 PRESERVE (E) FLUTED CONC. PILASTERS
- 2 REPLACE CAST PLASTER STOREFRONT BASE
- 3 REPLACE HISTORIC GLASS STOREFRONT
- 4 REPLACE HISTORIC WOOD & GLASS DOORS (ENTRY ADA COMPLIANT)
- 5 RENOVATE OR REPLACE SMOOTH PLASTER
- 6 REPLACE HUNG WOOD WINDOWS TO MATCH ORIGINAL
- 7 REPLACE PLASTER BANDING
- 8 GLASS GUARDRAIL
- 9 SUN SCREEN - WOOD
- 10 NEW SMOOTH PLASTER

**NORTH ELEVATION
MAIN STREET FACADE**

DATE: 10/26/14 DRAWING NO.: 04-11-0000-01 PROJECT: 132-124 MARKET STREET, SACRAMENTO, CA	SCALE: 1/8" = 1'-0" DRAWING NO.: 04-11-0000-01	PROJECT: 132-124 MARKET STREET, SACRAMENTO, CA	SHEET: A6
ARCHITECT: JEFF BERNDSON ARCHITECTS 1111 14TH STREET, SUITE 100, SACRAMENTO, CA 95811 TEL: (916) 441-1111 WWW.JEFFBERNDSON.COM		MIXED-USE BUILDING	A6

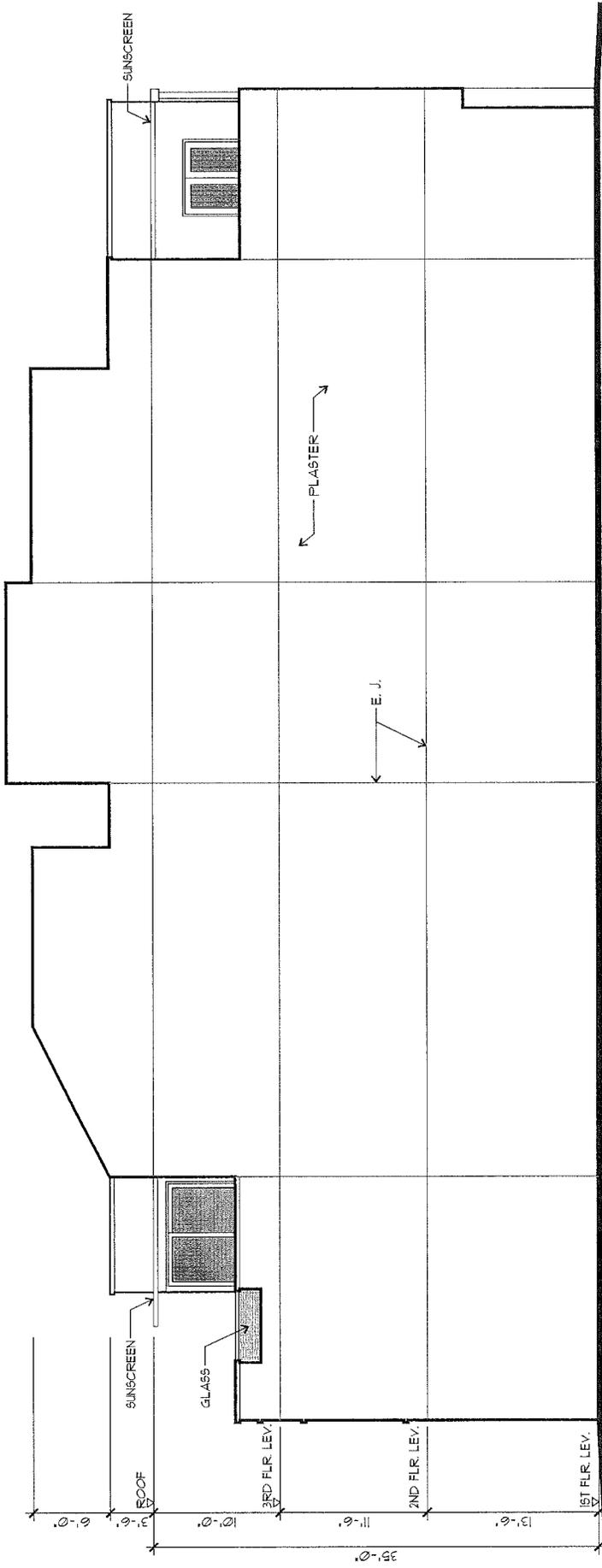
Attachment No. 8.92



SOUTH ELEVATION
ALLEY

KEYNOTES	NEW MATERIAL	COLOR
1	SMOOTH STUCCO	SAND
2	STONE 2' X 2'	MARBLE
3	ACCENT PANEL	MED. GREY
4	STOREFRONT GLASS / ALUM.	CLEAR / GREY
5	SUNSHADE	DARK GREY
6	SHIT. MTL. COPING	ZINC GREY
7	WINDOW / DOOR	TINTED GLASS
8	GUARD RAIL W/ ALUM. RAIL	TINTED GLASS
9	PANEL DOOR	GREY
10	TRASH GATE	GREY

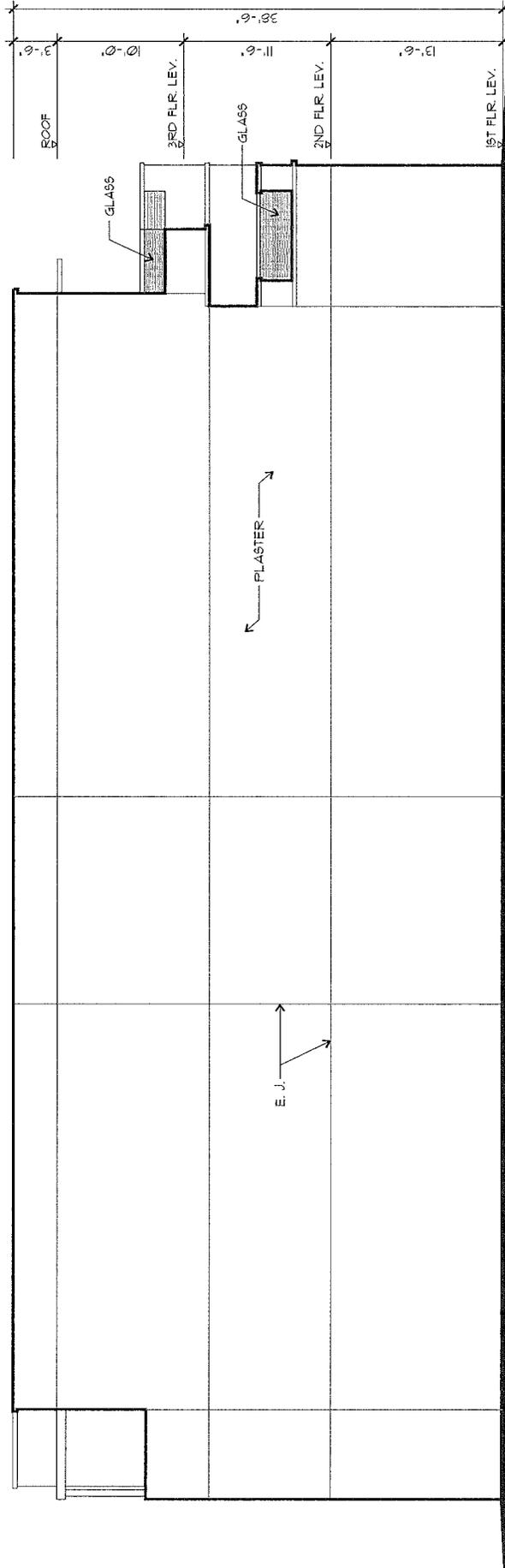
THE SHARPS & SOUL PROPERTY OF THE PROJECT	SHE: 106/14 SCALE: N.T.S. JOB NO.: 1589B-A1
JEFF BERGMA ARCHITECT	MIXED-USE BUILDING 125-121 MAIN ST. HUNTINGTON BEACH, CALIFORNIA
TEAM DESIGN	A7



WEST ELEVATION

THE ARCHITECTS 2001 UNIVERSITY AVENUE, SUITE 200 BERKELEY, CA 94704	DATE: 4/23/14 SCALE: N.T.S. DRAWING NO.: HSB-14-03
JEFF BERKOWITZ ARCHITECT	MIXED-USE BUILDING 120-124 MANLYE UNIVERSITY AVENUE BERKELEY, CALIFORNIA
TEAM D. E. B. I. B. K. ARCHITECTS 1000 UNIVERSITY AVENUE SUITE 200 BERKELEY, CA 94704	A8

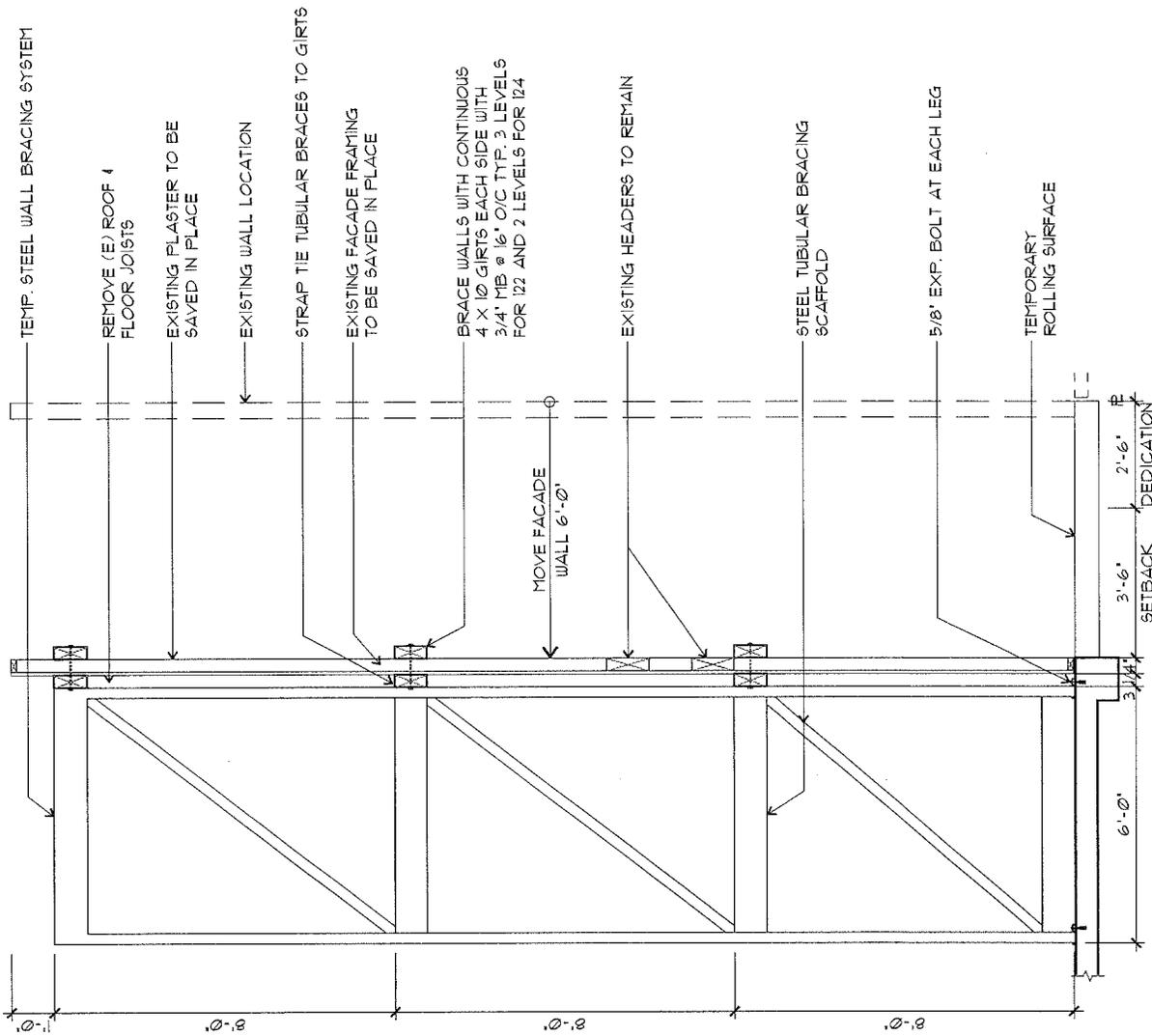
Attachment No. 8.94



EAST ELEVATION

THE PLANS & SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT	DATE: 4/25/14 SCALE: N.T.S. JOB NO.: 1504MB-043
JEFF BERGHA ARCHITECT 211 S. 1ST ST. ANAHEIM, CA 92805 (714) 231-2211	MIXED-USE BUILDING 1201 MAIN ST. HUNTINGTON BEACH, CALIFORNIA
TEAM DESIGN	
A9	

Attachment No. 8.95



FACADE BRACING
FACADE WALL FOR RELOCATION
 122 - 124 MAIN STREET
 HUNTINGTON BEACH

DATE: 4/22/14	NO. SHEETS: 6
SCALE: 3/8"=1'-0"	SHEET NO. OF THE SHEET: 1
DATE: 4/22/14	PROJECT: 122-124 MAIN ST., HUNTINGTON BEACH, CALIFORNIA
MIXED-USE BUILDING	JEFF BERGMAN ARCHITECTS
122-124 MAIN ST., HUNTINGTON BEACH, CALIFORNIA	TEAM
A10	11445 S. MAIN ST., SUITE 100, HUNTINGTON BEACH, CA 92648

Attachment No. 8.96

Planning Commission
City of Huntington Beach

Meeting date: November 25, 2014

RE: Agenda item A-1 Mitigated Negative Declaration No. 14-004 / Conditional Use Permit No. 12-011 / Coastal Development Permit No. 12-007 (Ocean Side Properties Mixed Use Building)

Chair Erik Peterson and Members of the Planning Commission,

I urge you to *deny the recommended staff approach* for this project, which requires a setback and effectively mandates demolition and destruction of a rare historic resource on Main Street.

I suggest instead that you consider *waiving the setback* for this project and request the applicant provide a plan for historic preservation with adaptive reuse. This is a long- noted historic property and should be grandfathered as exempt from the setback. This applicant also has the opportunity to apply for the Mills Act or other preservation incentives if they include a historic preservation approach.

Forcing the applicant to comply with a setback intended for new construction results in more expense for the applicant, reduces their usable square footage, and denies them the opportunity to save a rare historic resource. The setback creates what can be called a Potemkin approach to historic preservation, and not an actual effort to preserve one of the City's first buildings.

In this case, historic preservation is a more reasonable and economically viable approach for the applicant, while meeting a stated General Plan goal to preserve the community's historic resources.

Both 122 and 124 Main Street were included in the historic district recommended by the California State Office of Historic Preservation in 1988* and the Johnson Heumann Research Associates report in 1989 as contributors to a district that qualified for the National Register of Historic Places.

122 Main Street

Listed on the 1986 survey as an "early commercial building" and contributor to a historic district. With the loss of half of the identified historic resources on the 1986 survey, this property is now a very rare *pre incorporation structure*.

The 122 Main Street building is *the oldest commercial building on Main Street*, predating the incorporation of Huntington Beach. The historical consultant cites the Sanborn map indicating the building was present in 1902, while the City's historic resources survey in 1986 dates it to 1905. It has been noted in the community memory of oral histories and news reports as being used as an early "city hall" or town hall during the Pacific City era.

Attached is a Los Angeles Times article from 1989 that provides more of the building's history.

124 Main Street

124 Main Street is the Tripp Market Building, dating to 1910 just after incorporation. It was the first location for O'Barr's Drugstore in 1914 (100 years ago this year), and after that the U.S. Restaurant, Huntington Beach Stock Exchange, a paint store, in the 1930s the Buckhorn Cafe (Frederick and Loy) and in the 1940s the 20/30 Cafe.

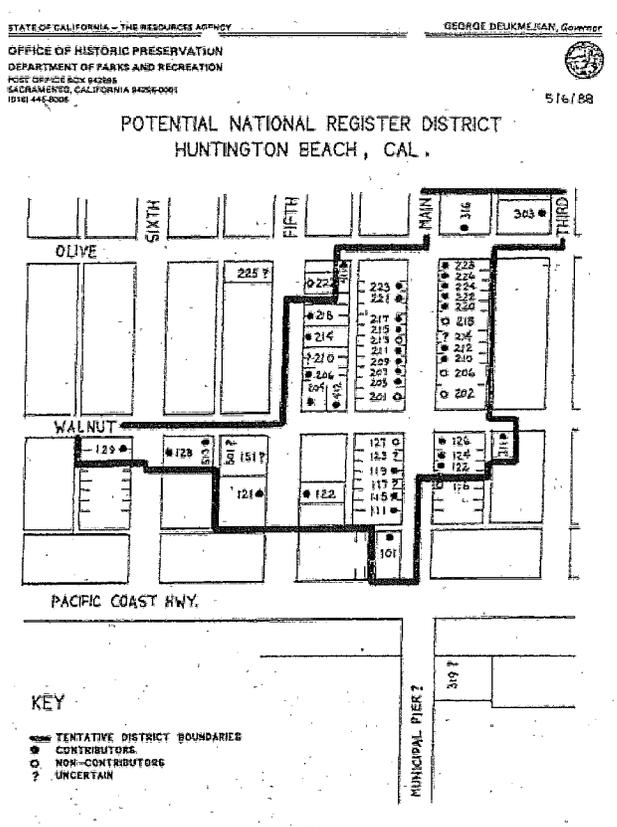
In the 1986 form prepared for the California State Dept. of Parks and Recreation for the state inventory of historic resources, it states this building "is significant for its contributions to the broad patterns of the City's history and association with businessmen who contributed much to the City's economy."

Huntington Beach advocates a green approach, e.g. the "HB Goes Green" program. There are less impacts to infrastructure, traffic, parking, and less resource waste (e.g. water, building materials) when there is a modern preservation approach. Communities that incorporate preservation result in higher property values and attract a younger, more affluent demographic, while spurring economic vitality (*Older, Smaller, Better*. May 2014. http://www.preservationnation.org/information-center/sustainable-communities/green-lab/oldersmallerbetter/report/NTHP_PGL_OlderSmallerBetter_ReportOnly.pdf)

I urge the Planning Commission to not allow the complete destruction of one of the community's oldest commercial structures and to embrace a more creative approach that allows historic preservation with adaptive reuse. It is the history of Huntington Beach that makes this community unique.

Mary Adams Urashima
Huntington Beach, CA

Map sent to the city council by the California State Office of Historic Preservation in 1988, showing the area they felt was a historic district that would qualify for the National Register of Historic Places. 122 and 124 Main Street are in the district.



Survey of historic resources for Main Street, 1986. Note: 122 is oldest commercial structure.

CITY OF HUNTINGTON BEACH HISTORICAL SURVEY					
STREET	STYLE	ALTERATIONS	DATE	RATING	
101-109-1/2	MAIN STREET	20'S COMMERCIAL	MODERATE	1915	B
111-112	MAIN STREET	20'S COMMERCIAL	MODERATE	1925	B
122-114	MAIN STREET	BRICK COMMERCIAL	MODERATE	1915	B
115	MAIN STREET	20'S BRICK COM	HINDR	1914	B
114-114 1/2	MAIN STREET	BRICK COMMERCIAL	MODERATE	1915	C
117	MAIN STREET	20'S COMMERCIAL	MODERATE	1920	C
119-121	MAIN STREET	20'S COMMERCIAL	HINDR	1923	B+
120	MAIN STREET	BRICK COMMERCIAL	MODERATE	1915	C
122	MAIN STREET	EARLY COMMERCIAL	MODERATE	1905	A
123	MAIN STREET	EARLY COMMERCIAL	SUBSTANTIAL	1925	B+
124	MAIN STREET	MODERNE	MODERATE	1910	B
124	MAIN STREET	ZIGZAG MODERNE	MODERATE	1935	A
127	MAIN STREET	MODERNE	MODERATE	1930	C
201-203	MAIN STREET	20'S COMMERCIAL	SUBSTANTIAL	1905	C
205	MAIN STREET	ZIGZAG MODERNE	HINDR	1930	B
206	MAIN STREET	20'S COMMERCIAL	MODERATE	1915	C
207	MAIN STREET	EARLY THEATRE	MODERATE	1910	B
209	MAIN STREET	30'S COMMERCIAL	MODERATE	1930	C
210-210 1/2	MAIN STREET	20'S COMMERCIAL	MODERATE	1915	C
211	MAIN STREET	20'S COMMERCIAL	MODERATE	1920	C
212	MAIN STREET	20'S COMMERCIAL	MODERATE	1915	C
213	MAIN STREET	30'S COMMERCIAL	MODERATE	1930	C
214	MAIN STREET	20'S COMMERCIAL	MODERATE	1920	C
215	MAIN STREET	20'S COMMERCIAL	MODERATE	1920	B
217	MAIN STREET	WESTERN FALSEFRONT	MODERATE	1964	B
218	MAIN STREET	20'S COMMERCIAL	MODERATE	1920	C-
220	MAIN STREET	20'S COMMERCIAL	MODERATE	1920	C
221	MAIN STREET	20'S COMMERCIAL	MODERATE	1920	C
222-222 1/2	MAIN STREET	20'S COMMERCIAL	MODERATE	1920	B
223	MAIN STREET	20'S COMMERCIAL	MODERATE	1920	B
224	MAIN STREET	20'S COMMERCIAL	MODERATE	1925	B
226	MAIN STREET	20'S BRICK CORNER	HINDR	1925	B
228	MAIN STREET	20'S BRICK CORNER	HINDR	1920	A
301	MAIN STREET	20'S GAS STATION	MODERATE	1920	C
305	MAIN STREET	30'S COMMERCIAL	HINDR	1930	C
307	MAIN STREET	EARLY COMMERCIAL	SUBSTANTIAL	1966	C-
309	MAIN STREET	30'S COMMERCIAL	MODERATE	1930	C-
306-322	MAIN STREET	30'S COMMERCIAL	MODERATE	1930	C
410	MAIN STREET	20'S COMMERCIAL	MODERATE	1920	B
424	MAIN STREET	20'S COMMERCIAL	HINDR	1920	B
428	MAIN STREET	30'S COMMERCIAL	HINDR	1936	C
405	MAIN STREET	SPANISH RANCH	HINDR	1900	C+
407	MAIN STREET	CALIF BUNGALOW	HINDR	1925	C-
409	MAIN STREET	COLONIAL REVIVAL	HINDR	1903	B
410	MAIN STREET	BRICK COMMERCIAL	HINDR	1920	C
417	MAIN STREET	CALIFORNIA BUNGALOW	HINDR	1915	C-
419	MAIN STREET	CRAFTSMAN BUNGALOW	MODERATE	1916	C
421-423	MAIN STREET	SPANISH COLONIAL	SUBSTANTIAL	1925	C
425	MAIN STREET	CRAFTSMAN	HINDR	1920	C
427	MAIN STREET	SPANISH COLONIAL	HINDR	1930	B

CITY OF HUNTINGTON BEACH HISTORICAL SURVEY					
STREET	STYLE	ALTERATIONS	DATE	RATING	
711	MAIN STREET	SPANISH RANCH	NONE	1925	C
713	MAIN STREET	CRAFTSMAN BUNGALOW	NONE	1915	C
717	MAIN STREET	CRAFTSMAN BUNGALOW	NONE	1910	B+
718	MAIN STREET	40'S COLONIAL	NONE	1940	C-
721	MAIN STREET	CRAFTSMAN BUNGALOW	HINDR	1900	C
722	MAIN STREET	COLONIAL REVIVAL	HINDR	1910	C
724	MAIN STREET	CALIF BUNGALOW	NONE	1915	C
726	MAIN STREET	CRAFTSMAN BUNGALOW	NONE	1910	B
727	MAIN STREET	CRAFTSMAN BUNGALOW	HINDR	1910	C-
730	MAIN STREET	CRAFTSMAN BUNGALOW	HINDR	1910	C
731	MAIN STREET	CRAFTSMAN BUNGALOW	NONE	1910	B
734	MAIN STREET	40'S RANCH	HINDR	1940	C-
735	MAIN STREET	CRAFTSMAN BUNGALOW	NONE	1910	B
737	MAIN STREET	SPANISH RANCH	NONE	1930	C
738-740	MAIN STREET	CRAFTSMAN BUNGALOW	HINDR	1908	B+
741	MAIN STREET	CALIF BUNGALOW	NONE	1915	C
742	MAIN STREET	SPANISH COLONIAL	NONE	1925	C
742	MAIN STREET	SPANISH COLONIAL	HINDR	1915	C
755	MAIN STREET	CRAFTSMAN BUNGALOW	HINDR	1910	C
801	MAIN STREET	CRAFTSMAN BUNGALOW	MODERATE	1915	D
804	MAIN STREET	SPANISH COLONIAL	HINDR	1928	C+
806	MAIN STREET	COLONIAL REVIVAL	NONE	1905	B
810	MAIN STREET	SPANISH COLONIAL	NONE	1925	B
814-816	MAIN STREET	BUNGALOW COURT	NONE	1910	B
815	MAIN STREET	COLONIAL REVIVAL	HINDR	1905	B
817	MAIN STREET	40'S COLONIAL	NONE	1940	C+
821	MAIN STREET	40'S RANCH	NONE	1940	C
833	MAIN STREET	SPANISH RANCH	SUBSTANTIAL	1930	D
902	MAIN STREET	COLONIAL	NONE	1940	C
908	MAIN STREET	COLONIAL	NONE	1940	C+
912-914	MAIN STREET	SPANISH COLONIAL	NONE	1920	C+
918	MAIN STREET	40'S RANCH	NONE	1940	C-
920	MAIN STREET	40'S COLONIAL	MODERATE	1940	C-
924	MAIN STREET	40'S RANCH	NONE	1940	C-
1010	MAIN STREET	40'S INTERNATIONAL	HINDR	1942	D
1024	MAIN STREET	PERIOD REVIVAL	HINDR	1930	C+
1030	MAIN STREET	40'S RANCH	HINDR	1940	C-
1104	MAIN STREET	COLONIAL	HINDR	1942	C-
1129	MAIN STREET	COLONIAL	NONE	1940	C
1200 BLOCK	MAIN STREET	NONE			
1300 BLOCK	MAIN STREET	NONE			
1400 BLOCK	MAIN STREET	NONE			
1500 BLOCK	MAIN STREET	NONE			
1480 BLOCK	MAIN STREET	NONE			
1502	MAIN STREET	SPANISH COLONIAL	NONE	1925	C
1512	MAIN STREET	COLONIAL REVIVAL	HINDR	1905	D
1514	MAIN STREET	40'S RANCH	HINDR	1942	C-
1516	MAIN STREET	CRAFTSMAN BUNGALOW	HINDR	1915	C
1905	MAIN STREET	MEDITERRANEAN	NONE	1926	A

[← Back to Original Article](#)

Orange County Focus

HUNTINGTON BEACH : 'Shrine' a Target for Condemnation

December 08, 1989 | JOHN FENNER

To local historians, it's the city's first city hall. To preservationists, it's one of the oldest buildings in the city. To redevelopment officials, it's an obsolete building that must be modernized or replaced.

But to 78-year-old Charles Sarrabere, it's a family shrine—the place where his French immigrant father started business in 1916.

"I was practically raised there," said Sarrabere, who took over his father's dry-cleaning business in 1935 and ran it until he retired in 1981.

The small shop at 122 Main St., now known as Diamond Lane clothing shop, is one of five downtown buildings owned by the Sarrabere family. Three are targeted for condemnation as part of the city's Main-Pier Redevelopment Project.

"I guess you can't stop progress," Sarrabere said. "And downtown is getting pretty old."

Sarrabere's father used his profits to buy Huntington Beach real estate. Now his descendants—Charles Sarrabere, his sister Blanche Wood and their niece, Helene Goodman—own the buildings: two on Main Street and one at Pacific Coast Highway and 5th Street, site of the family's old home.

Preservationists are interested in the old dry-cleaning store. It not only is among the city's oldest remaining buildings, built about 1902, but it originally was City Hall for Pacific City, as Huntington Beach was known from 1901 to 1905.

"That building was one of the very first on Main Street," said Douglas Langevin, a downtown businessman and historic-preservation activist. "It's one of very few of the original wood structures left in the city. . . . In my view, that is the most important (of the old wooden buildings), given its history with the city."

The face of the two-story building was remodeled decades ago, but the structure's walls are original, according to historical studies.

Under the redevelopment plan, owners may retain their buildings during remodeling if they help pay for the upgrade in advance. Advance payments average \$1 million per building, and the family says it has no interest in making such an investment.

Wood, widow of former Huntington Beach City councilman Herbert Wood, said she discussed having the building registered as a historical landmark, which would block condemnation, "but I didn't really know what to do, so we just figured, well, whatever's best."

Langevin said that as a last resort he may try to buy the building and restore it. But the family says it may sell the city all three properties and let redevelopment run its course.

"It's a sentimental thing," Sarrabere said. "It's part of my life, and I hate to part with it."

On the other hand, he said: "I feel we should be paid for what the building will be worth four or five years from now. We're going to sell it (and) a developer will make all the money off it, and you're out."

Wood added that after refusing to sell her father's properties for so many years, it pains her to do so now.

"We've always stuck together and held onto them," she said. "I know this is a new era, and we have to move on. The thing is, it's not because we want to, but because we have to."

State of California — The Resources Agency
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PRIMARY RECORD

Primary #
 HRI #
 Trinomial
 NRHP Status Code 3B, 3CB, 5B

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 & Building
 Date

Other Listings
 Review Code Reviewer

Page 1 of 5

*Resource Name or #: 122 Main Street

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*a. County: Orange

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad: Date: T ; R ; ¼ of ¼ of Sec ; M.D. B.M.
 c. Address: 122 Main Street City: Huntington Beach Zip: 92648

d. UTM: Zone: 10 ; mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

Parcel# 024-154-02.

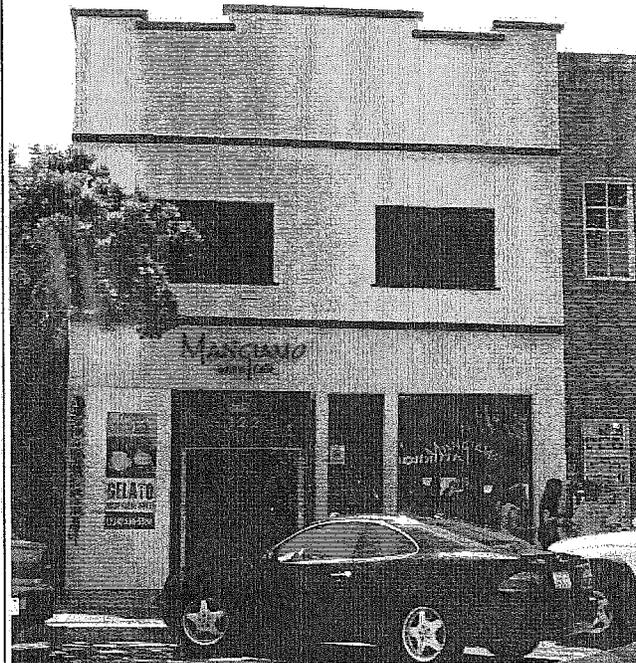
*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The two-story commercial building, constructed circa 1902, has a Western False Front style primary elevation. The building is situated on the south side of Main Street, between Walnut Avenue to the east, Pacific Coast Highway/Ocean Avenue to the west, Fifth Street to the north, and 3rd Street to the south. The building has a rectangular footprint, concrete foundation, wood frame, and a gable roof. The simple primary elevation is finished with stucco (alteration), and has two sets of second story windows covered with wood shutters, a belt-course above and below the second-floor windows, and a tall Western style parapet. The first-floor storefront has been altered over the years to accommodate new tenants. The storefront has a set of multi-light doors with single-light transom above, and two single-light storefront windows with a protruding faux stone painted base. The secondary elevations are covered with wood ship-lap siding. The rear (south) elevation has one primary entrance door, two second-story wood frame windows covered with screens, a second story door without a balcony or staircase (alteration), and a gable roof. The east elevation is covered with the original unfinished wood ship-lap siding and has a couple of boarded windows. The back of the primary elevation is visible from the east elevation and reveals the original wood construction method of the wood Western False Front style primary elevation.

*P3b. Resource Attributes: (List attributes and codes) HP6

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #)
 North Elevation, View to South, 2012

*P6. Date Constructed/Age and Sources: Historic
 Prehistoric Both

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)
 Amanda Kainer, PCR Services
 233 Wilshire Blvd., Ste. 130
 Santa Monica, CA 90405

*P9. Date Recorded: July 2012

*P10. Survey Type: (Describe)
 Historic Resources Assessment

*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

PCR Services. Historic Resources Assessment. Prepared for Jeff Bergsma, Team Design and Construction. July 2012.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

Attachment No. 40.1 Required Information

BUILDING, STRUCTURE, AND OBJECT RECORD

*Resource Name or # (Assigned by recorder) 122 Main Street

- B1. Historic Name: 122 Main Street
- B2. Common Name: 122 Main Street
- B3. Original Use: Commercial
- B4. Present Use: Commercial
- *B5. **Architectural Style:** Western False Front style
- *B6. **Construction History:** (Construction date, alterations, and date of alterations)
Constructed circa 1902.

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*B7. Moved? No Yes Unknown Date: Original Location:

*B8. Related Features:

B9a. Architect: n/ a

b. Builder: n/ a

*B10. **Significance: Theme:** See below

Area:

Period of Significance: 1902

Property Type: Commercial

Applicable Criteria: A, C, 1, 3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

One historic resource was evaluated on Parcel 024-154-02: a two-story Western style commercial building located at 122 Main Street. 122 Main Street was originally constructed in approximately 1902. The original owner, architect, and contractor are unknown. The period of significance for the 122 Main Street is 1902, the date of construction of 122 Main Street. The commercial building at 122 Main Street was evaluated against the following themes; Early Settlement and Growth, 1901-1920; and Western False Front Commercial Building Type. The property was evaluated for conformance with criteria of the National Register and California Register, and as a potential local landmark.

The property at 122 Main Street contributes to the potential Main Street historic district. The property has been identified as a contributor to the Main Street historic district in previous evaluations. 122 Main Street retains integrity and fits within the architectural and historical context of Main Street. However, 122 Main Street is not included within the boundaries of the Main Street Historic District described as "the 200 block of Main, the 200 and 300 blocks of Fifth Street and cross street buildings on Olive Avenue between Third and Fifth Streets." It is recommended the Main Street Historic District be re-surveyed, as the survey was completed in 1986 and is older than five years. 122 Main Street and other buildings on the 100 block of Main Street, including 124 Main Street, 120 Main Street, 117-121 Main Street, and 127 Main Street, are over 45-years in age and could also be potential contributors to the Main Street Historic District.

B11. Additional Resource Attributes: (List attributes and codes)

*B12. **References:**

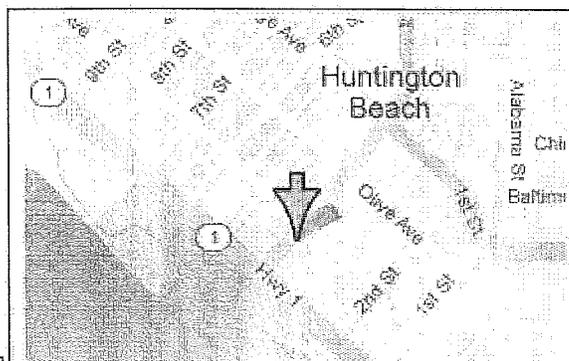
See continuation sheets

B13. Remarks:

*B14. **Evaluator:** Amanda Kainer, PCR Services

***Date of Evaluation:** July 2012

(This space reserved for official comments.)



B10. Significance (continued)

Because 122 Main Street retains integrity of location, design, setting, feeling and association, and may be a rare and architecturally important example of the Western False Front style, 122 Main Street appears eligible for listing in the federal, state and local register as a distinctive example of its type or style. Additionally, 122 Main Street is associated with the cultural and economic development of Pacific City and Huntington Beach and was possibly used as the City Hall for Pacific City when 122 Main Street was constructed in 1902. The property may have made a significant contribution to the broad patterns of cultural, political, economic, or social history of the City of Huntington Beach. 122 Main Street does appear potentially eligible, individually and as a contributing member of potential Main Street historic district, under the applicable criteria for listing in the National Register under Criteria A and C and the California Register under Criteria 1 and 3. Therefore, 122 Main Street is recommended potentially eligible as a City of Huntington Beach landmark and further research is recommended in the following areas: the rarity of the wood-frame/Western False Front commercial building property type in Huntington Beach and the association of 122 Main Street with the City Hall for Pacific City.

National Register Criterion A: Is associated with events that have made a significant contribution to the broad patterns of our history.

California Register Criterion 1: Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.

The development of 122 Main Street is part of the regional history of Huntington Beach. During the early twentieth century Main Street was the commercial center of Huntington Beach. The character of Main Street between 1900 and 1915 was commercial with buildings expressing the Western False Front style and wood construction. 122 Main Street retains integrity of location, design, setting, feeling, and association, and retains enough integrity to be historically associated with the broad patterns of Huntington Beach's economic, social, and cultural history. 122 Main Street was possibly the City Hall of Pacific City when 122 Main Street was constructed in 1902; however primary documentation was not found to confirm this information. Additionally, 122 Main Street has enough integrity to convey its historical association with Pacific City and the possible site of City Hall. Therefore, the 122 Main Street appears potentially eligible for the National Register under Criterion A, and the California Register under Criterion 1.

National Register Criterion B: Is associated with the lives of persons significant in our past.

California Register Criterion 2: Is associated with the lives of persons important in our past.

The various tenants of 122 Main Street between 1912 and 1977 encompassed a variety of businesses, including a city hall, dry cleaner, restaurant, and clothing retailers. Charles Sarrabere, who owned 122 Main Street, ran a dry cleaning business out of 122 Main Street with his father between 1916 and 1981. None of the occupants were notable or significant in history and they did not produce important work at 122 Main Street; nor is the architecture somehow tied to or symbolic of their careers. It also appears that the property does not show any historical importance in association with various owners, including Charles Sarrabere. Therefore, the subject property does not appear to satisfy National Register Criterion B or California Register Criterion 2 for eligibility related to a historic personage.

National Register Criterion C: Embodies the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.

California Register Criterion 3: Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.

122 Main Street is potentially eligible for designation under National Register Criterion C and California Criterion 3 as a locally significant example of a now rare Western style and method of construction. The property is a distinctive example of the Western False Front style both individually and as a contributor to a district. The Western False Front style is now increasingly rare in Huntington Beach and is representative of Huntington Beach's early architectural heritage. 122 Main Street retains integrity of location, design, setting, feeling, and association.

B10. Significance (continued)

National Register Criterion D. It yields, or may be likely to yield, information important in prehistory or history.

California Register Criterion 4. Has yielded, or may be likely to yield, information important in prehistory or history.

The subject property has been improved and is not likely to yield any information important to prehistory or history. Therefore, the subject property does not meet the above criterion at the national or state level.

Integrity

The overall appearance of the subject property at 122 Main Street indicates that the property retains integrity as a potential historical resource. Originally the simple Western False Front style primary elevation was covered with wood ship-lap siding. The façade was later sheathed with stucco most likely during the 1930s, reflecting the architectural trends of the period. Over the years the primary elevation has been re-stuccoed, but the application of stucco did not materially impair the Western False Front design which still retains its original form. The two second-story windows on the primary elevation were replaced and are now covered with shutters, although the openings remain. The interior has been updated through various tenant improvements. The rear non-contributing addition constructed between 1922 and 1939 was removed in 2001. The secondary elevations are relatively intact and retain the original ship-lap wood siding.

Even with the recent development along Main Street, 122 Main Street retains its historic setting. 124 Main Street, 120 Main Street, 117-121 Main Street, and 127 Main Street are over 45-years in age and contribute to the historic setting of 122 Main Street. The potentially eligible Main Street historic district begins on the 200 block of Main Street.

122 Main Street has integrity of location, design, setting, feeling, and association. Although the primary façade is stuccoed, the workmanship and materials of the secondary elevations is intact. The commercial building retains its original location on Main Street since approximately 1902. 122 Main Street retains its original Western False Front style; the building has the key character-defining features including wood construction, gable roof, and parapet extending above the roof. Also, 122 Main Street retains its historic feeling and association with the early cultural and economic development with Pacific City and Huntington Beach.

State of California — The Resources Agency
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CONTINUATION SHEET

Primary #
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Trinomial

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Page 5 of 5

*Resource Name or # (Assigned by recorder) 122 Main Street

Dept. of Planning

*Recorded by: Amanda Kainer, PCR Services

*Date: July 2012

Continuation Update

B12. Bibliography

A. Publications

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- "Work at Pacific City." *Los Angeles Times*. June 7, 1902. p. A4.

State of California — The Resources Agency
 DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
 HRI #

Trinomial

NRHP Status Code 3D, 3CD, 5D3

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Dept. of Planning
 & Building
 Date

Other Listings
 Review Code

Reviewer

Page 1 of 5

*Resource Name or #: 124 Main Street

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*a. County: Orange

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad:

Date:

T

R

¼ of

¼ of Sec

; M.D.

B.M.

c. Address: 124 Main Street

City: Huntington Beach

Zip: 92648

d. UTM: Zone: 10 ; mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

Parcel# 024-154-02.

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The Streamline Moderne style one-story commercial building at 124 Main Street was constructed circa 1912. The building is situated on the south side of Main Street, between Walnut Avenue to the east, Pacific Coast Highway/Ocean Avenue to the west, Fifth Street to the north, and 3rd Street to the south. 124 Main Street has a rectangular footprint, concrete foundation, and gable roof. As part of a 1930s renovation, the primary elevation was converted into the Streamline Moderne style. The primary elevation has a stucco finish, projecting fluted pilasters at each corner, and a wide band running along the parapet. The storefront is comprised of a large plate glass windows, a central recessed entrance, flagstone bulkheads added circa 1950s, and a vertical transom windows and a canvas awning above the store front window. The secondary elevations are clad in corrugated metal. The rear elevation is clad in corrugated metal, has two flat-panel doors (alteration), transom windows (alteration), and a gabled patio cover. A narrow, single-story addition finished in stucco extends into the rear of the lot. The interior has been remodeled over the years to accommodate different tenants but retains the wood ceiling and the arches along the west and east walls from the historic period.

*P3b. Resource Attributes: (List attributes and codes) HP6

*P4. Resources Present: Building Structure Object Site District Element of District Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #)
 North Elevation, View to South,
 2012

*P6. Date Constructed/Age and

Sources: Historic

Prehistoric Both

*P7. Owner and Address:

*P8. Recorded by: (Name, affiliation, and address)

Amanda Kainer, PCR Services
 233 Wilshire Blvd., Ste. 130
 Santa Monica, CA 90405

*P9. Date Recorded: July 2012

*P10. Survey Type: (Describe)
 Historic Resources Assessment

*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

PCR Services. Historic Resources Assessment. Prepared for Jeff Bergsma, Team Design and Construction. July 2012.

*Attachments: NONE Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (List):

DPR 523A (1/95)

*Required information

Attachment No. 10.6

BUILDING, STRUCTURE, AND OBJECT RECORD

*Resource Name or # (Assigned by recorder) 124 Main Street

B1. Historic Name: 124 Main Street
B2. Common Name: 124 Main Street
B3. Original Use: Commercial

B4. Present Use: Commercial

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*B5. **Architectural Style:** Streamline Moderne style

*B6. **Construction History:** (Construction date, alterations, and date of alterations)

Dept. of Planning

Constructed circa 1912 in the Western False Front style. Altered in the 1930s with a new Streamline Moderne style facade.

*B7. **Moved?** No Yes Unknown Date:

Original Location:

*B8. **Related Features:**

B9a. Architect: n/a

b. Builder: n/a

*B10. **Significance: Theme:** See below

Area:

Period of Significance: 1912-1940

Property Type: Commercial

Applicable Criteria: A, C, 1, 3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

One historic resource was evaluated on Parcel 024-154-02: a one-story Streamline Moderne commercial building located at 124 Main Street. 124 Main Street was originally constructed in approximately 1912. During the 1930s, 124 Main Street was updated with a Streamline Moderne facade. The original owner, architect and contractor are unknown. The period of significance for the 124 Main Street is 1912 through 1940, including the date the property was constructed through the 1930s period when the property was remodeled in the Streamline Moderne style. 124 Main Street is associated and evaluated against the following themes: Early Settlement and Growth, 1901-1920; The Oil Boom and Interwar Transformation, 1920 – 1945; Western False-Front Commercial Building Type; and Streamline Moderne Style, 1930-1945.

Because 124 Main Street retains integrity of location, design, materials, workmanship, setting, and feeling, the property remains a contributor to the potential Main Street Historic District. The property has been identified as a contributor to the Main Street historic district in previous evaluations. 124 Main Street retains integrity and fits within the architectural and historical context of Main Street. However, 124 Main Street is not included within the boundaries of the Main Street Historic District described as "the 200 block of Main, the 200 and 300 blocks of Fifth Street and cross street buildings on Olive Avenue between Third and Fifth Streets." It is recommended the potential Main Street Historic District be re-surveyed, as the survey was completed in 1986 and is older than five years. 124 Main Street and other buildings on the 100 block of Main Street, including 124 Main Street, 120 Main Street, 117-121 Main Street, and 127 Main Street, are over 45-years in age and could also be potential contributors to the Main Street Historic District.

B11. **Additional Resource Attributes:** (List attributes and codes)

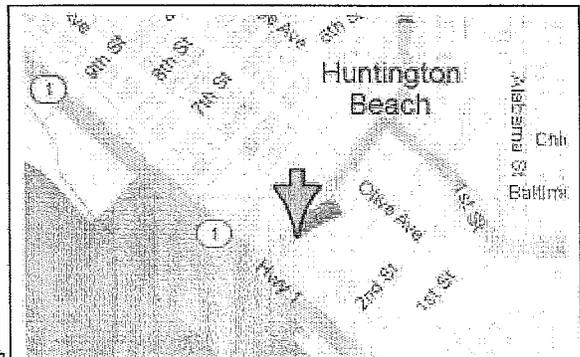
*B12. **References:**

See continuation sheets

B13. **Remarks:**

*B14. **Evaluator:** Amanda Kainer, PCR Services

***Date of Evaluation:** July 2012



(This space reserved for official comments.)

B10. Significance (continued)

The property was evaluated for conformance with criteria of the National Register and California Register, and as a potential local landmark.

National Register Criterion A: Is associated with events that have made a significant contribution to the broad patterns of our history.

California Register Criterion 1: Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.

The development of 124 Main Street is part of the regional history of Huntington Beach. During the early twentieth century Main Street was the commercial center of Huntington Beach. The character of Main Street between 1900 and 1915 was commercial with buildings expressing the Western False Front style. The primary elevation was updated to the Streamline Moderne style during the 1930s to reflect the contemporary architectural trends. There are no events associated with this property that have made a significant contribution to the broad patterns of cultural, political, economic, or social history of the nation, state or city. Therefore, 124 Main Street does not appear eligible for the National Register under Criterion A, or the California Register under Criterion 1.

National Register Criterion B: Is associated with the lives of persons significant in our past.

California Register Criterion 2: Is associated with the lives of persons important in our past.

The various tenants of 124 Main Street in the between 1912 and 1977 were encompassed a variety of businesses, including a paint store, drugstore, real estate broker, tailor, barber, photographer, market, restaurants, and retailers. It appears the tenants did not occupy the storefronts for long periods of time. No important historical events occurred at the property. Furthermore, none of the occupants were notable or significant in history and they did not produce important work at the subject property; nor is the architecture somehow tied to or symbolic of their careers. It also appears that the property does not show any historical importance in association with various owners, including Charles Sarrabere, and the property does not rise to the threshold of significance for listing as a nation, state, or local landmark. Therefore, the subject property does not appear to satisfy National Register Criterion B or California Register Criterion 2 for eligibility related to a historic personage or event.

National Register Criterion C: Embodies the distinctive characteristics of a type, period, or method of construction or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.

California Register Criterion 3: Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.

While not individually eligible, 124 Main Street is a representative example of a Western False Front style building which was renovated in the 1930s as a Streamline Moderne commercial building. 124 Main Street retains integrity of location, design, materials, workmanship, setting, and feeling, as discussed above on page 40 and shown in figures 22 to 28. Thus, 124 remains a contributor to the potential Main Street Historic District.

National Register Criterion D. It yields, or may be likely to yield, information important in prehistory or history.

California Register Criterion 4. Has yielded, or may be likely to yield, information important in prehistory or history.

The subject property is has been improved and is not likely to yield any information important to prehistory or history. Therefore, the subject property does not meet the above criterion at the national or state level.

B10. Significance (continued)

Integrity

The overall appearance of the subject property at 124 Main Street indicates the property retains integrity of location, design, materials, workmanship, setting, and feeling. Originally 124 Main Street had a Western False Front and in the 1930s the primary elevation was remodeled into the Streamline Moderne style. Even though the primary elevation has been re-stuccoed, the storefront windows were replaced, flagstone bulkheads were added to the storefront windows, and a tiled floor was installed at the storefront entrance, 124 Main Street retains the character-defining features of the Streamline Moderne style including the projecting fluted pilasters at each corner, a wide band running along the parapet, and the transom storefront windows. The secondary elevations are clad in corrugated metal, the original building construction method used in 1912. Thus, 124 Main Street retains design, materials, workmanship, and feeling.

Even with the recent development along Main Street, 124 Main Street retains its historic setting. 120 Main Street, 117-121 Main Street, and 127 Main Street are over 45-years in age and contribute to the historic setting of 122 Main Street.

124 Main Street is not associated with any historical events or people.

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