



City of Huntington Beach Planning and Building Department  
**STAFF REPORT**

**TO:** Planning Commission  
**FROM:** Scott Hess, AICP, Director of Planning and Building  
**BY:** Ethan Edwards, AICP, Associate Planner *EE*  
**DATE:** September 24, 2013

**SUBJECT: ENTITLEMENT PLAN AMENDMENT NO. 12-012 (EVANGELICAL FREE CHURCH EXPANSION)**

**APPLICANT/  
PROPERTY**

**OWNER:** Evangelical Free Church, Robert Derrick, 1912 Florida Street, Huntington Beach, CA 92648

**LOCATION:** 1912 Florida Street, 92648 (eastside, between Utica Avenue and Adams Avenue)

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**STATEMENT OF ISSUE:**

- ◆ Entitlement Plan Amendment No. 12-012 request:
  - To permit the expansion of an existing church and school facility by demolishing an approximately 2,863 sq. ft. youth ministry/classroom building and constructing an approximately 7,639 sq. ft. two-story office/classroom building and a 4,155 sq. ft. single-story multipurpose building.
- ◆ Staff's Recommendation: Approve Entitlement Plan Amendment No. 12-012 based upon the following:
  - Compliance with the General Plan designation of Public.
  - Compliance with all minimum development standards including parking.
  - Compatibility with existing church operations and adjacent residential uses.

**RECOMMENDATION:**

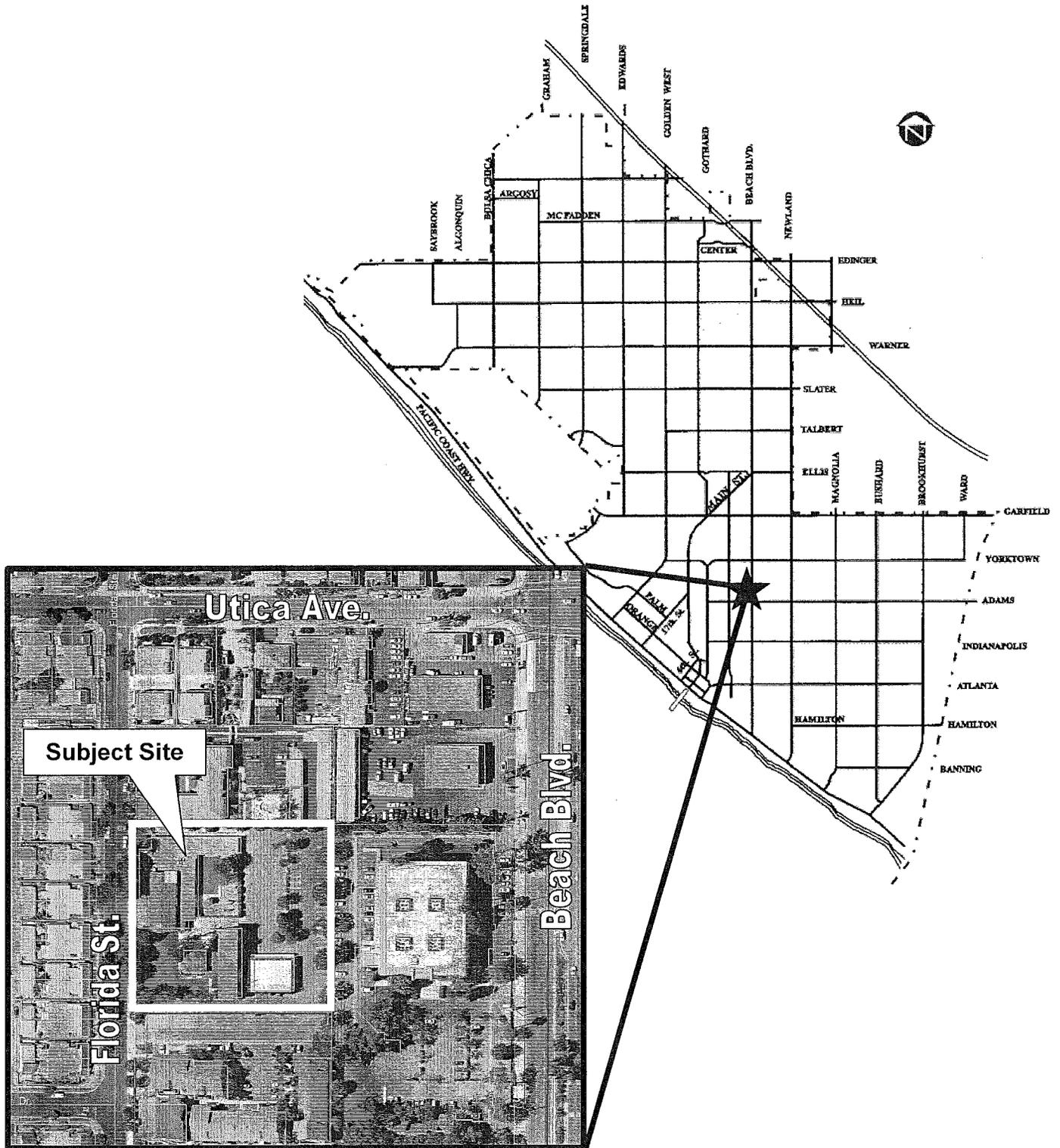
Motion to:

“Approve Entitlement Plan Amendment No. 12-012 with suggested findings and conditions of approval (Attachment No. 1).”

**ALTERNATIVE ACTION(S):**

The Planning Commission may take alternative actions such as:

- A. “Continue Entitlement Plan Amendment No. 12-012 and direct staff accordingly.”
- B. “Deny Entitlement Plan Amendment No. 12-012 with findings for denial.”



**VICINITY MAP**  
**ENTITLEMENT PLAN AMENDMENT NO. 12-012**  
**(EVANGELICAL FREE CHURCH EXPANSION – 1912 FLORIDA STREET)**

Entitlement Plan Amendment No. 12-012 represents a request to expand an existing church and school facility by demolishing an approximately 2,863 sq. ft. youth ministry/classroom building and constructing an approximately 7,639 sq. ft. two-story office/classroom building and a 4,155 sq. ft. single-story multipurpose building pursuant to Section 210.04 RL, RM, RMH, RH, and RMP Districts: Land Use Controls, Religious Assembly; and Section 241.18 Changed Plans; New Application of the Huntington Beach Zoning and Subdivision Ordinance (HBZSO). With demolition and new construction, the proposed project results in a net increase of 8,931 sq. ft.

The project site consists of the main campus and an off-site parking area (200 ft. south of main campus) separated by an existing apartment building. The main campus parcel is developed with a sanctuary/classroom building, the Joyful Noises Preschool, three individual structures identified as the C.E. Building, the Quad, and The Hut with 74 parking spaces. The off-site parking area consists of 115 parking spaces.

The applicant's narrative states that the schedule of activities and number of people involved will remain similar to the existing schedule however some of the locations will change after the proposed expansion is constructed (Attachment No. 3.3-6). Typical activities on Sunday include worship, Sunday school, and band practice in the existing Sanctuary Building general assembly/classrooms, existing classroom building, and proposed multipurpose building classrooms and office building classrooms. The hours for these uses will not overlap. Typical activities during the weekdays include church administration, preschool, youth ministries, and bible studies in the preschool classrooms, proposed office building offices and proposed multipurpose building classrooms. The proposed office building classrooms, multipurpose building general assembly and existing office building classrooms will be primarily utilized during weekday evening hours for youth ministries and bible studies. Saturday is typically left open for weddings, bridal & baby showers, funerals, and special activities in the multipurpose building general assembly/classrooms. In no case will the Sanctuary or multipurpose building be used concurrently. The primary change in the activities location is the use of the proposed office building and the multipurpose building, which will replace the space lost from the previous use of the Cornerstone Office Building and demolition of The Hut building.

### **Background:**

Evangelical Free Church was originally constructed at 1912 Florida Street in 1964. In 1973, the building was expanded to include Joyful Noises Preschool. In 1975, the 11,500 sq. ft. two-story C.E. Building was constructed, along with a four-unit modular classroom building named The Quad, which included a library, office, and two classrooms.

On February 3, 1988, the Planning Commission approved a request to expand the church from 27,830 sq. ft. to 47,496 sq. ft. (for a total of 762 sanctuary seats), reduced yards for a bus garage and to construct an off-site parking area for overflow church parking located approximately 200 feet south of the main campus (CUP 87-37/VAR 87-77/ND 87-43). After a series of extensions of time, the off-site parking lot was constructed with 115 parking spaces; however the new sanctuary and bus garage were never built. Subsequently, on July 31, 1998, the Planning Commission approved Conditional Use Permit No. 97-106 allowing the installation of a 2,880 sq. ft. prefabricated modular classrooms for youth ministry (The Hut).

In 1999, anticipating significant growth in membership, the church purchased the adjacent property to the east, previously owned by Wycliffe Bible Translators, including the 59,320 sq. ft. Cornerstone Office Building and the 17-unit lodge located along the Beach Boulevard frontage. In 2000, the church relocated some of its offices and other assembly uses to this new property at 19891 Beach Boulevard. In 2011 the church sold the Beach Boulevard property and is using proceeds to expand the original property at 1912 Florida Street (current request).

**ISSUES:**

**Subject Property And Surrounding Land Use, Zoning And General Plan Designations:**

LOCATION	GENERAL PLAN	ZONING	LAND USE
Subject Site:	P (Public)	RM (Medium Density Residential)	Church
North, South, and West (across Florida St.) of Subject Property:	RM-15 (Residential Medium Density-15)	RM (Medium Density Residential)	Multi-Family
East of Subject Property:	M-sp-d (Mixed Use – Specific Plan and Design Overlays)	SP14 (Beach & Edinger Corridors Specific Plan)	Office

**General Plan Conformance:**

The General Plan Land Use Map designation on the subject property is P (RM-15) (Public (underlying Residential Medium Density)). The proposed project is consistent with this designation and the policies and objectives of the City’s General Plan as follows:

**A. Land Use Element**

Policy LU 7.1.1 Accommodate existing uses and new development in accordance with the Land Use and Density Schedules.

Objective LU 9.4 Provide for the inclusion of recreational, institutional, religious, educational services that support resident needs within residential neighborhoods.

Policy LU 9.4.2 Require that institutional structures incorporated in residential neighborhoods be designed to be compatible with and convey the visual and physical scale and character of residential structures.

Policy LU 13.1.2 Allow for the continuation of existing and development of new religious facilities in any land use zone where they are compatible with adjacent uses and subject to City review and approval.

**B. Public Facilities and Public Services Element**

Policy PF 4.3.2 Investigate the feasibility of permitting and/or providing child or elderly day care services at public and private institutional facilities, such as churches, temples, other religious buildings, hospitals and schools.

Entitlement Plan Amendment No. 12-012 provides for the continuation and expansion of existing religious, educational, and pre-school services which support the needs of the surrounding community. Expansion of the existing religious assembly and classroom use will further opportunities for religious services in the Huntington Beach community.

**Zoning Compliance:**

The proposed project is located within the RM (Medium Density Residential) zoning district and complies with the requirements of that designation. The following is a zoning conformance matrix which compares the proposed project with the development standards of the RM zone.

<b>SECTION</b>	<b>ISSUE</b>	<b>CODE PROVISION</b>	<b>PROPOSED</b>
210.06	Lot size	Min. 6,000 square feet	85,764 square feet
210.06	Front setback	Min. 15 feet	10 feet (existing) 178 feet (proposed)
210.06	Side setback	Min. 5 feet	9 feet and 26'-8"
210.06	Rear setback	Min. 10 feet	10 feet
210.06	Building height	Max 35 feet	35 feet
210.06	Lot coverage	Max 50%	27%
232.12	Landscaping	Min 6% and min 6-foot wide planter along street frontages	24% and existing 9-foot wide planter along street frontage
231.04	Parking	-1 space/35 sq. ft. of public assembly area -1 space/staff plus 1 space/classroom No additional parking required for Sunday school classrooms or other ancillary church related functions.	See parking discussion in ANALYSIS section.

**Urban Design Guidelines Conformance:** Not Applicable.

**Environmental Status:**

The proposed project is Categorically Exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15332, Class 32—*In-Fill Development Projects*, because the project involves the expansion of an existing church facility that is consistent with applicable general plan policies and zoning regulations within an urban area with no significant effects to habitat, traffic, noise, air and water quality; and can be adequately served by all required utilities and public services.

**Coastal Status:** Not Applicable.

**Design Review Board:** Not Applicable.

**Subdivision Committee:** Not applicable.

**Other Departments Concerns and Requirements:**

The Departments of Planning and Building, Fire, Public Works and Police have reviewed the application and identified applicable code requirements which have been provided to the applicant and are attached for information purposes only (Attachment No. 4).

**Public Notification:**

Legal notice was published in the Huntington Beach/Fountain Valley Independent on September 12, 2013, and notices were sent to property owners and occupants of record within a 500 ft. radius of the subject property, individuals/organizations requesting notification (Planning and Building Department's Notification Matrix), tenants, applicant, and interested parties. As of September 17, 2013, staff has received no comments in support or opposition to the request.

**Application Processing Dates:**

DATE OF COMPLETE APPLICATION:

August 14, 2013

MANDATORY PROCESSING DATE(S):

October 14, 2013

Entitlement Plan Amendment No. 12-012 was filed on October 12, 2012 and deemed complete on August 14, 2013. The application is scheduled for public hearing before the Planning Commission on September 24, 2013.

**ANALYSIS:**

**Land Use Compatibility**

Staff finds that the proposed additional classrooms and multi-purpose space will be compatible with the existing religious assembly and preschool uses on the site and the surrounding neighborhood. As stated in the background section above, an expansion to the Evangelical Free Church was approved in 1988 but was never constructed. This entitlement plan amendment represents an amendment to previous approvals, although this expansion is much smaller in scope.

The project will also be compatible with existing surrounding residential and commercial office uses. The property has been used for religious purposes since the 1970's and has long been a part of the community. The entire campus will continue to be used in some fashion seven days a week. Uses on site vary from offices and administrative functions of the church during the weekdays, to meetings, bible study, and worship services on weekday evenings and Sundays. Although residential uses are adjacent to the north, south, and west, the church will remain compatible with these residents as long as sufficient parking is provided. By providing an adequate number of available parking spaces, the church can assure that no parking will spill over onto the surrounding residential streets. To ensure there is adequate parking, staff recommends a condition of approval that restricts occupying the general assembly area of the Multi-Purpose Building when the Sanctuary is occupied. Additional recommended conditions include limiting parking areas to parking only unless otherwise approved via Temporary Activity or Temporary Use Permits, and regular encouragement to church members to utilize on-site/overflow parking areas and discouragement of on-street parking. Although noise can sometimes be a concern, there are no reported code violations associated with this site and none are anticipated due to the proposed expansion. To ensure that noise does not become a concern, staff recommends a condition of approval that prohibits outdoor sound systems.

The proposed 7,639 sq. ft. two-story office/classroom building will be located at the northeast corner of the site along the northern property line, adjacent to the Cornerstone office building to the east and parking for the adjacent apartment building to the north. The 4,155 sq. ft. single-story multipurpose building will also be located at the northeast corner of the site along the eastern property line. Both buildings are oriented toward the center of the church campus and are designed to appear residential in architecture including pitched clay-tile roofs, stucco finish with wood lintels and stone veneer accents.

The design of the buildings is compatible with the development in the area in terms of massing and appearance and they will be painted to match the existing church and surrounding buildings. It is not anticipated that the project will have a detrimental impact to the area due to the nature of the use, the design of the building, and its location within the site. Finally, it should be noted that the General Plan encourages religious assembly uses and pre-schools/daycare in residential neighborhoods.

**Parking**

Parking for the church is provided in two areas: the primary main campus property (1912 Florida Street) containing 32 parking spaces and an off-site parking lot owned by the church (1800 Florida Street) approved in 1988 containing 115 parking spaces (Attachment No. 3.7-8). In 1988, the Planning Commission approved a request to expand the church and construct a bus garage including an off-site parking area for overflow church parking located approximately 200 feet south of the main campus. Ultimately, the church expansion and bus garage were never built, however the overflow parking was constructed for 115 spaces and has been used by the church. The expansion includes adding additional preschool classrooms, church offices and a general assembly multi-purpose room to be utilized when the sanctuary is not in use. The new preschool classrooms and multi-purpose room requires additional parking. All other ancillary rooms such as offices, administrative, and storage do not require additional parking because church parking is based on the size of the sanctuary, not the ancillary uses that accompany a church. The following table depicts the required and provided parking for the proposed expansion as well as the other existing on-site uses based upon Section 231.04 of the HBZSO:

*See next page for table.*

<b>REQUIRED AND PROVIDED PARKING</b>			
<b>USE</b>	<b>MON-FRI REQUIRED PARKING</b>	<b>SUNDAY REQUIRED PARKING</b>	<b>PROVIDED PARKING</b>
Joyful Noises Preschool -15 classrooms	35 spaces <sup>2</sup>	None	32 spaces (main campus)  115 spaces (overflow lot)
Sanctuary Building -public assembly 3,892 sq. ft. -church offices & classrooms 13,749 sq. ft.	None <sup>4</sup>  None <sup>3</sup>	112 spaces <sup>1</sup>  None <sup>3</sup>	
Multi-purpose Building -public assembly 2,085 sq. ft. -church offices 2,070 sq. ft.	59 spaces <sup>1</sup> None <sup>3</sup>	None <sup>4</sup> None <sup>3</sup>	
Office Building -church offices & classrooms 7,639 sq. ft.	None <sup>3</sup>	None <sup>3</sup>	
<b>TOTAL</b>	<b>94 spaces</b>	<b>112 spaces</b>	<b>147 spaces</b>

<sup>1</sup>Based on requirement of 1 space/35 sq. ft. of public assembly area

<sup>2</sup>Based on requirement of 1 space/staff plus 1 space/classroom

<sup>3</sup>Based on ancillary church use and off-set usage hours, no additional parking required

<sup>4</sup>Not utilized per condition of approval.

As indicated in the table above, restricting use of the administrative, multi-purpose assembly, and classrooms to weekdays only and church assembly uses to Sunday only will continue to ensure that adequate parking is provided. Staff recommends a condition of approval that prohibits the use of the Multi-Purpose Building general assembly area when church services are occurring concurrently in the Sanctuary.

**SUMMARY:**

With the suggested conditions of approval, the subject request will not result in noise, safety, or compatibility issues. Accordingly, staff recommends approval of the request.

Staff recommends approval of the Entitlement Plan Amendment No. 12-012 based upon the following:

- Compliance with the General Plan designation of Public (Residential Medium Density – 15 du/ac).
- Compliance with all minimum development standards including parking.
- Compatibility with existing church operations and adjacent residential uses.

**ATTACHMENTS:**

1. Suggested Findings and Conditions of Approval
2. Site Plans, Floor Plan, and Elevations received and dated April 10, 2013
3. Project Narrative received and dated October 12, 2012
4. Code Requirements Letter dated January 10, 2013
5. Notice of Action – CUP 87-37/ CE 87-77/ ND 87-43

SH:JJ:EE:kd

## **ATTACHMENT NO. 1**

### **SUGGESTED FINDINGS AND CONDITIONS OF APPROVAL**

#### **ENTITLEMENT PLAN AMENDMENT NO. 12-012**

##### **SUGGESTED FINDINGS FOR PROJECTS EXEMPT FROM CEQA:**

The Planning Commission finds that the project will not have any significant effect on the environment and is Categorical Exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15332, Class 32—*In-Fill Development Projects*, because the project involves the expansion of an existing church facility that is consistent with applicable general plan policies and zoning regulations within an urban area with no significant effects to habitat, traffic, noise, air and water quality; and can be adequately served by all required utilities and public services.

##### **SUGGESTED FINDINGS FOR APPROVAL – ENTITLEMENT PLAN AMENDMENT NO. 12-012:**

1. Entitlement Plan Amendment No. 12-012 to permit the expansion of an existing church and school facility by demolishing an approximately 2,863 sq. ft. youth ministry/classroom building and constructing an approximately 7,639 sq. ft. two-story office/classroom building and a 4,155 sq. ft. single-story multipurpose building will not be detrimental to the general welfare of persons working or residing in the vicinity or detrimental to the value of the property and improvements in the neighborhood. The expansion project will be compatible with surrounding residential and commercial office uses and designed to appear residential in architecture including pitched clay-tile roofs, stucco finish with wood lintels and stone veneer accents. The buildings are compatible with the development in the area in terms of massing and appearance and they will be painted to match the existing church and surrounding buildings. Adequate parking will be provided on-site and by the approved overflow parking area. The off-set days of the week between church administrative, multi-purpose assembly, and classroom uses on weekdays, and church assembly uses on Sunday will continue to ensure that adequate parking is provided. The project will not have a detrimental impact to the area due to the nature of the use, the design of the building, and its location within the site. The site has been operating as a church and school campus since the 1970's and adequate parking can be provided for the additional classrooms and multi-purpose space.
2. The request to permit the expansion of an existing church and school facility by demolishing an approximately 2,863 sq. ft. youth ministry/classroom building and constructing an approximately 7,639 sq. ft. two-story office/classroom building and a 4,155 sq. ft. single-story multipurpose building will be compatible with surrounding uses because the project is located within an existing church campus and adequate parking will be provided. The church is primarily surrounded by multi-family residential and office uses and therefore will be consistent with the existing land use pattern and compatible with its surroundings. The project will provide adequate parking, on-site and via the use of the adjacent parking area.
3. The request to permit the expansion of an existing church and school facility by demolishing an approximately 2,863 sq. ft. youth ministry/classroom building and constructing an approximately 7,639 sq. ft. two-story office/classroom building and a 4,155 sq. ft. single-story multipurpose building

will comply with the Residential Medium Density zoning designation and other applicable provisions in Titles 20-25 of the Huntington Beach Zoning and Subdivision Ordinance (HBZSO), including permitted uses, minimum parking requirements, maximum building height, minimum building setbacks and minimum landscaping requirements.

4. The granting of the entitlement plan amendment to permit the expansion of an existing church and school facility by demolishing an approximately 2,863 sq. ft. youth ministry/classroom building and constructing an approximately 7,639 sq. ft. two-story office/classroom building and a 4,155 sq. ft. single-story multipurpose building is consistent with the General Plan. The General Plan Land Use Map designation on the subject property is P (RM-15) (Public (Residential Medium Density)). The proposed project is consistent with this designation and the policies and objectives of the City's General Plan as follows:

A. Land Use Element

Policy LU 7.1.1 Accommodate existing uses and new development in accordance with the Land Use and Density Schedules.

Objective LU 9.4 Provide for the inclusion of recreational, institutional, religious, educational services that support resident needs within residential neighborhoods.

Policy LU 9.4.2 Require that institutional structures incorporated in residential neighborhoods be designed to be compatible with and convey the visual and physical scale and character of residential structures.

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B. Public Facilities and Public Services Element

Policy PF 4.3.2 Investigate the feasibility of permitting and/or providing child or elderly day care services at public and private institutional facilities, such as churches, temples, other religious buildings, hospitals and schools.

Entitlement Plan Amendment No. 12-012 provides for the continuation and expansion of existing religious, educational, and pre-school services which support the needs of the surrounding community. Expansion of the existing religious assembly and classroom use will further opportunities for religious services in the Huntington Beach community.

**SUGGESTED CONDITIONS OF APPROVAL – ENTITLEMENT PLAN AMENDMENT NO. 12-012:**

1. The project plans received and dated April 10, 2013 shall be the conceptually approved design with the following modifications.
  - a. All freestanding low walls, planter walls, handrails, benches and other similar improvements within the hardscape and courtyard areas shall be designed to deter skateboarding.

2. At least 14 days prior to any grading activity, the applicant/developer shall provide notice in writing to property owners of record and tenants of properties within a 500-foot radius of the project site as noticed for the public hearing. The notice shall include a general description of planned grading activities and an estimated timeline for commencement and completion of work and a contact person name with phone number. Prior to issuance of the grading permit, a copy of the notice and list of recipients shall be submitted to the Planning and Building Department.
3. The use shall comply with the following:
  - a. Only the uses described in the project narrative received and dated October 12, 2012 shall be permitted.
  - b. Hours of operation and locations of each use shall be consistent with the project narrative received and dated October 12, 2012.
  - c. The Multi-Purpose Building general assembly area shall not be occupied when church services are occurring concurrently in the Sanctuary.
  - d. Outdoor sound system(s) of any kind shall be prohibited at all times.
  - e. Church services, weddings, funerals, festivals, fairs, and other similar activities shall be prohibited outdoors unless approved via a Temporary Use Permit or Conditional Use Permit at a noticed public hearing.
  - f. Use of parking areas for uses other than parking shall be prohibited at all times unless otherwise approved via a Temporary Activity Permit or Temporary Use Permit.
  - g. The church shall regularly encourage church members and parents of children attending pre-school to utilize on-site and overflow parking lot and shall discourage on-street parking.
4. Prior to issuance of building permits, evidence of restrictive covenant approved by the Planning and Building Department and the City Attorney as to form and recorded with the County Clerk-Recorder's Office shall be provided or submitted to assure that both properties (main campus and overflow parking area) shall remain under common ownership and that the overflow parking area remains for the exclusive use of the church.
5. The Development Services Departments and divisions (Building & Safety, Fire, Planning and Public Works) shall be responsible for ensuring compliance with all applicable code requirements and conditions of approval. The Director of Planning and Building may approve minor amendments to plans and/or conditions of approval as appropriate based on changed circumstances, new information or other relevant factors. Any proposed plan/project revisions shall be called out on the plan sets submitted for building permits. Permits shall not be issued until the Development Services Departments have reviewed and approved the proposed changes for conformance with the intent of the Planning Commission's action. If the proposed changes are of a substantial nature, an amendment to the original entitlement reviewed by the Planning Commission may be required pursuant to the provisions of HBZSO Section 241.18.
6. Entitlement Plan Amendment No. 12-012 shall become null and void unless exercised within two years of the date of final approval or such extension of time as may be granted by the Director pursuant to a written request submitted to the Planning and Building Department a minimum 30 days prior to the expiration date.

7. Incorporating sustainable or “green” building practices into the design of the proposed structures and associated site improvements is highly encouraged. Sustainable building practices may include (but are not limited to) those recommended by the U.S. Green Building Council’s Leadership in Energy and Environmental Design (LEED) Program certification (<http://www.usgbc.org/DisplayPage.aspx?CategoryID=19>) or Build It Green’s Green Building Guidelines and Rating Systems (<http://www.builditgreen.org/index.cfm?fuseaction=guidelines>).

**INDEMNIFICATION AND HOLD HARMLESS CONDITION:**

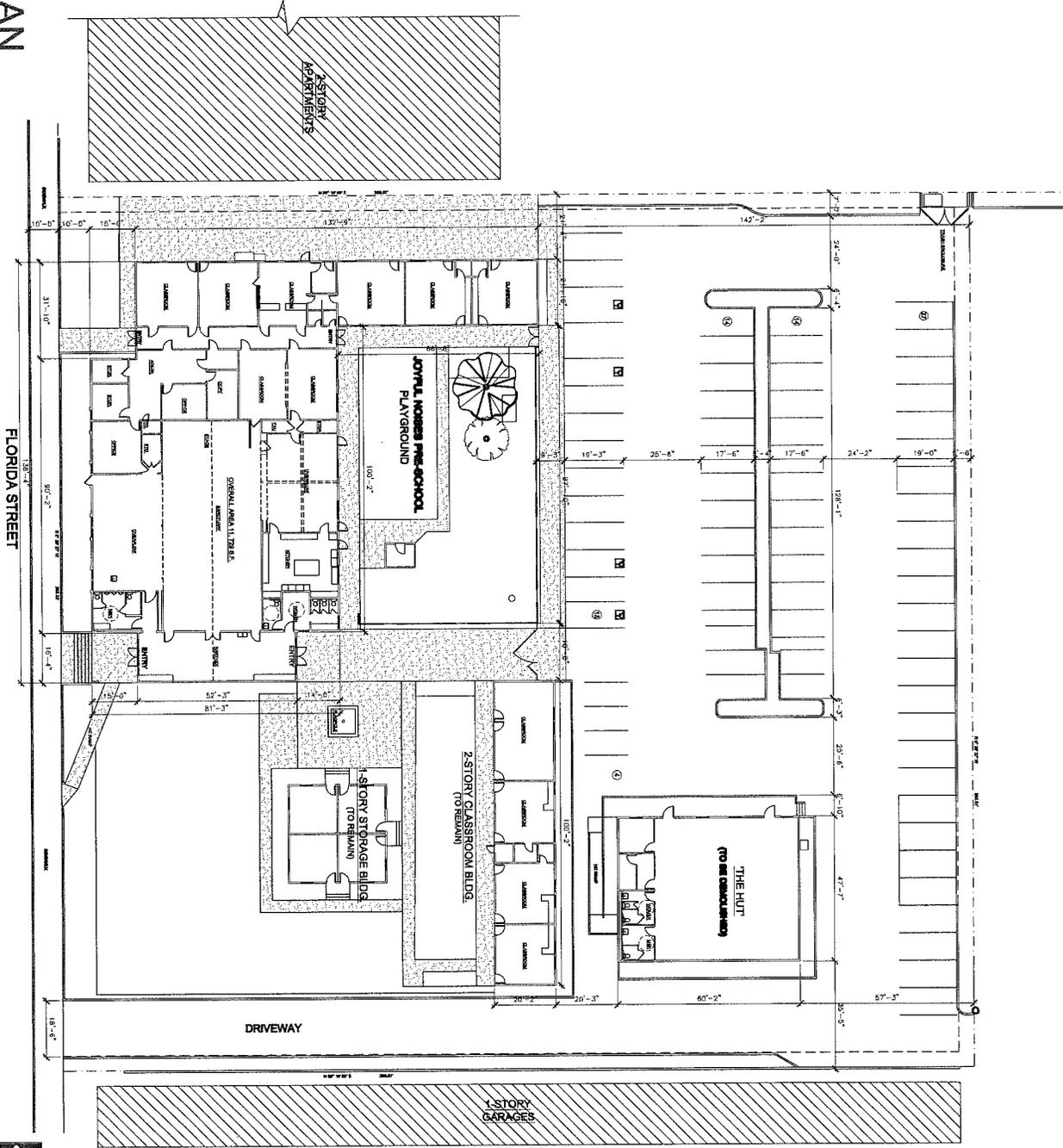
The owner of the property which is the subject of this project and the project applicant if different from the property owner, and each of their heirs, successors and assigns, shall defend, indemnify and hold harmless the City of Huntington Beach and its agents, officers, and employees from any claim, action or proceedings, liability cost, including attorney’s fees and costs against the City or its agents, officers or employees, to attack, set aside, void or annul any approval of the City, including but not limited to any approval granted by the City Council, Planning Commission, or Design Review Board concerning this project. The City shall promptly notify the applicant of any claim, action or proceeding and should cooperate fully in the defense thereof.



# EXISTING SITE PLAN

BUILDING AREA (FOOTPRINTS ONLY)	
CHURCH BLDG.	11,728 S.F.
THE HUT	2,280 S.F.
CLASSROOM BLDG.	2,000 S.F.
STORAGE BLDG.	1,000 S.F.
TOTAL AREA	17,008 S.F.
LOT AREA	47,800 S.F.
LOT COVERAGE	35.5%

ALL BLDGS. ARE 1-STORY, EXCEPT 2-STORIES



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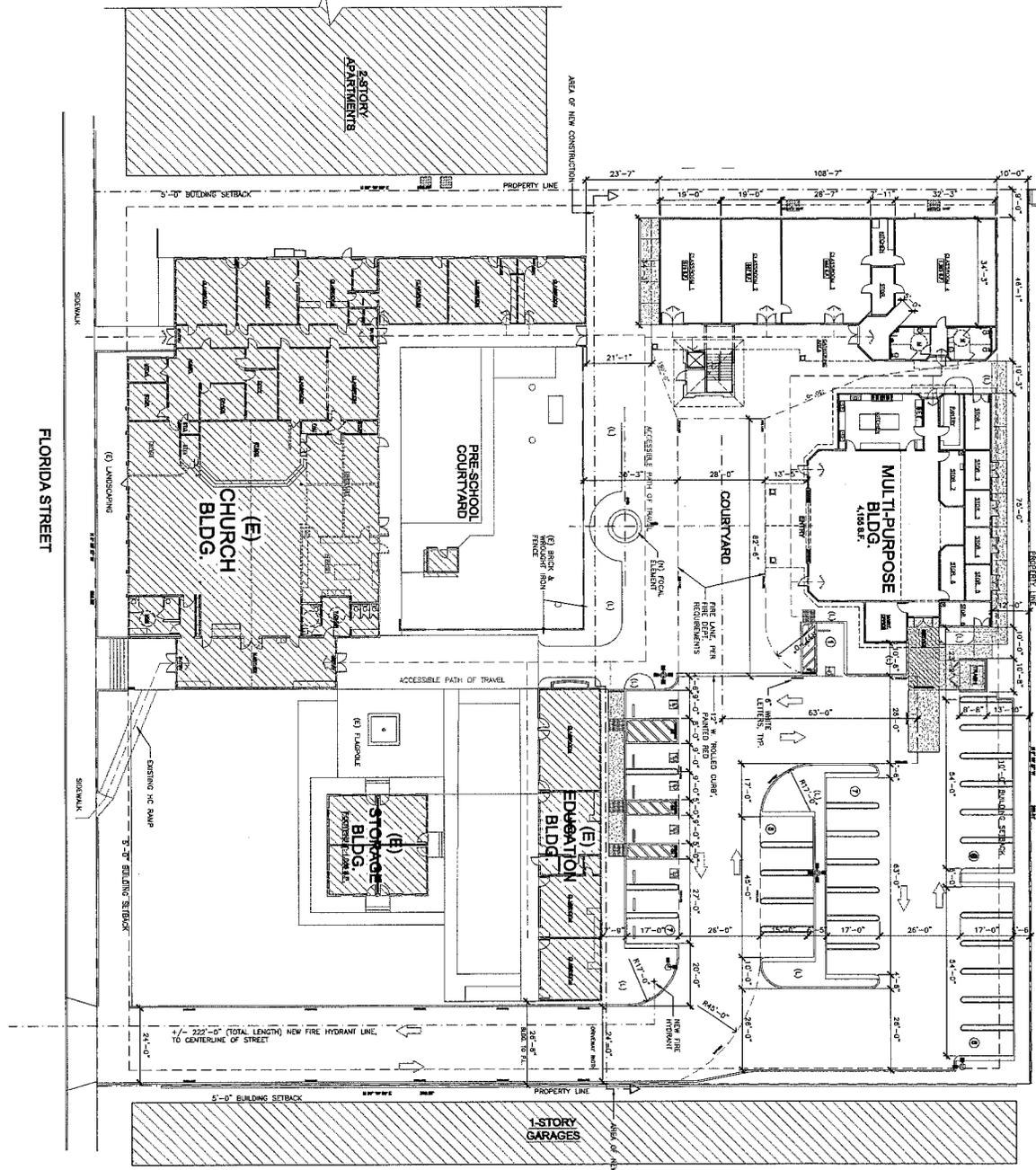
EXISTING SITE PLAN



**J. S. ARCHITECTS**  
 13885 BEACH BLVD., SUITE 120  
 HUNTINGTON BEACH, CA 92648  
 (714) 803-8454

**EVANGELICAL FREE CHURCH**  
 A CHURCH PROJECT  
 1912 FLORIDA AVE.  
 HUNTINGTON BEACH, CA 92648

**PROPOSED SITE PLAN**



APRIL 6, 2013



Scale: 1/8" = 1'-0"

Sheet: A-2

**OWNER:**  
 EVANGELICAL FREE CHURCH  
 1812 FLORIDA STREET  
 HUNTINGTON BEACH, CA 92648  
**CONTACT:**  
 WAYNE DERRICK  
 (714) 536-1389

**ARCHITECT/APPLICANT:**  
 M8 ARCHITECTS  
 18142 MAPLE GROVE CIRCLE  
 HUNTINGTON BEACH, CA 92646  
 (714) 803-8434  
**ARCHITECT:**  
 MICHAEL SANTILLAN, ARCHITECT

**APN: 025-200-48**

**LEGEND:**  
 [Hatched Box] INDICATES EXISTING BUILDING TO REMAIN  
 [Dashed Line] INDICATES EXISTING WALLS TO REMAIN  
 [Solid Line] INDICATES NEW WALLS  
 [Dashed Line with Arrow] INDICATES ACCESSIBLE PATH OF TRAVEL  
 (1) INDICATES AREA OF UNDESIRABLE USE

**NOTES:**  
 1. REFER TO LANDSCAPE PLAN FOR MORE DETAILS  
 2. ALL SHEDDING SPACES ARE 5'-0" WIDE X 17'-0" LONG WITH A 2'-0" OVERHANG. TOTAL LENGTH IS 19'-0"  
 3. ALL PARKING LOT PAVING AND DRIVEWAYS ARE TO BE RE-PAVED. INCLUDE NEW CURBING THROUGHOUT.

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 (1) INDICATES AREA OF UNDESIRABLE USE

**NOTES:**  
 1. REFER TO LANDSCAPE PLAN FOR MORE DETAILS  
 2. ALL SHEDDING SPACES ARE 5'-0" WIDE X 17'-0" LONG WITH A 2'-0" OVERHANG. TOTAL LENGTH IS 19'-0"  
 3. ALL PARKING LOT PAVING AND DRIVEWAYS ARE TO BE RE-PAVED. INCLUDE NEW CURBING THROUGHOUT.

**LEGEND:**  
 [Hatched Box] INDICATES EXISTING BUILDING TO REMAIN  
 [Dashed Line] INDICATES EXISTING WALLS TO REMAIN  
 [Solid Line] INDICATES NEW WALLS  
 [Dashed Line with Arrow] INDICATES ACCESSIBLE PATH OF TRAVEL  
 (1) INDICATES AREA OF UNDESIRABLE USE

**NOTES:**  
 1. REFER TO LANDSCAPE PLAN FOR MORE DETAILS  
 2. ALL SHEDDING SPACES ARE 5'-0" WIDE X 17'-0" LONG WITH A 2'-0" OVERHANG. TOTAL LENGTH IS 19'-0"  
 3. ALL PARKING LOT PAVING AND DRIVEWAYS ARE TO BE RE-PAVED. INCLUDE NEW CURBING THROUGHOUT.

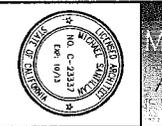
**LEGEND:**  
 [Hatched Box] INDICATES EXISTING BUILDING TO REMAIN  
 [Dashed Line] INDICATES EXISTING WALLS TO REMAIN  
 [Solid Line] INDICATES NEW WALLS  
 [Dashed Line with Arrow] INDICATES ACCESSIBLE PATH OF TRAVEL  
 (1) INDICATES AREA OF UNDESIRABLE USE

**NOTES:**  
 1. REFER TO LANDSCAPE PLAN FOR MORE DETAILS  
 2. ALL SHEDDING SPACES ARE 5'-0" WIDE X 17'-0" LONG WITH A 2'-0" OVERHANG. TOTAL LENGTH IS 19'-0"  
 3. ALL PARKING LOT PAVING AND DRIVEWAYS ARE TO BE RE-PAVED. INCLUDE NEW CURBING THROUGHOUT.

**LEGEND:**  
 [Hatched Box] INDICATES EXISTING BUILDING TO REMAIN  
 [Dashed Line] INDICATES EXISTING WALLS TO REMAIN  
 [Solid Line] INDICATES NEW WALLS  
 [Dashed Line with Arrow] INDICATES ACCESSIBLE PATH OF TRAVEL  
 (1) INDICATES AREA OF UNDESIRABLE USE

**NOTES:**  
 1. REFER TO LANDSCAPE PLAN FOR MORE DETAILS  
 2. ALL SHEDDING SPACES ARE 5'-0" WIDE X 17'-0" LONG WITH A 2'-0" OVERHANG. TOTAL LENGTH IS 19'-0"  
 3. ALL PARKING LOT PAVING AND DRIVEWAYS ARE TO BE RE-PAVED. INCLUDE NEW CURBING THROUGHOUT.

**EVANGELICAL FREE CHURCH**  
 A CHURCH PROJECT  
 1812 FLORIDA AVE.  
 HUNTINGTON BEACH, CA 92648



**M8 ARCHITECTS**  
 18142 MAPLE GROVE CIRCLE  
 HUNTINGTON BEACH, CA 92648  
 (714) 803-8434

**PROPOSED SITE PLAN**

Scale: 1/8" = 1'-0"  
 Date: 2/11/13  
 Project No.: EV FREE

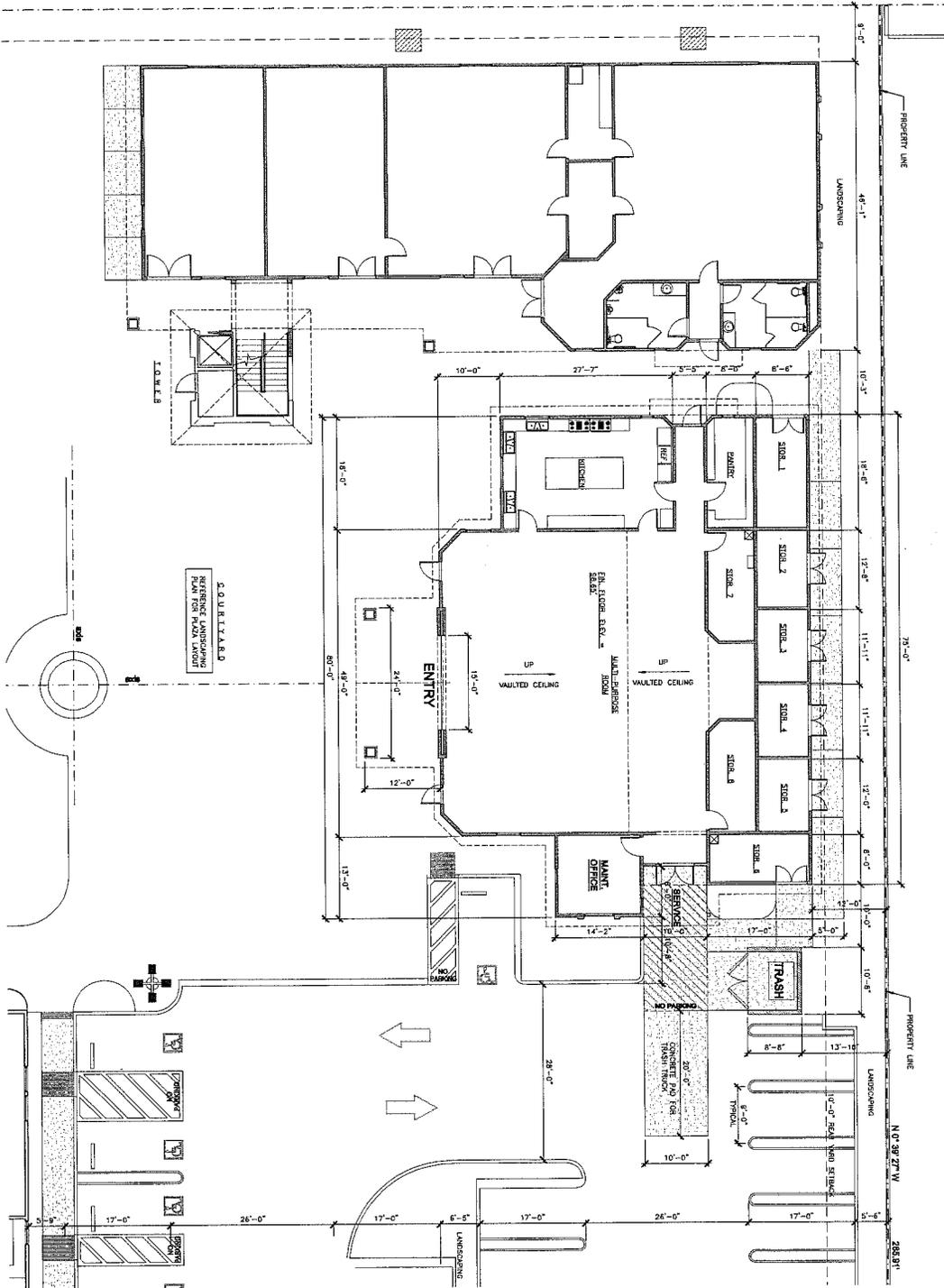
Drawn By: [Blank]  
 Checked By: [Blank]  
 Scale: [Blank]  
 Date: 2/11/13

Sheet: A-2

APRIL 6, 2013



**FLOOR PLAN - MULTI-PURPOSE BLDG.**



**NOTES:**  
 1. REFERENCE LANDSCAPE PLAN FOR MORE DETAILED PLANT SPECIFICATIONS.

APRIL 5, 2013



Drawn By	Checked By
Scale	Date
Proj. No.	EV FREE
Sheet	A-4

**MULTI-PURPOSE BLDG. FLOOR PLAN**

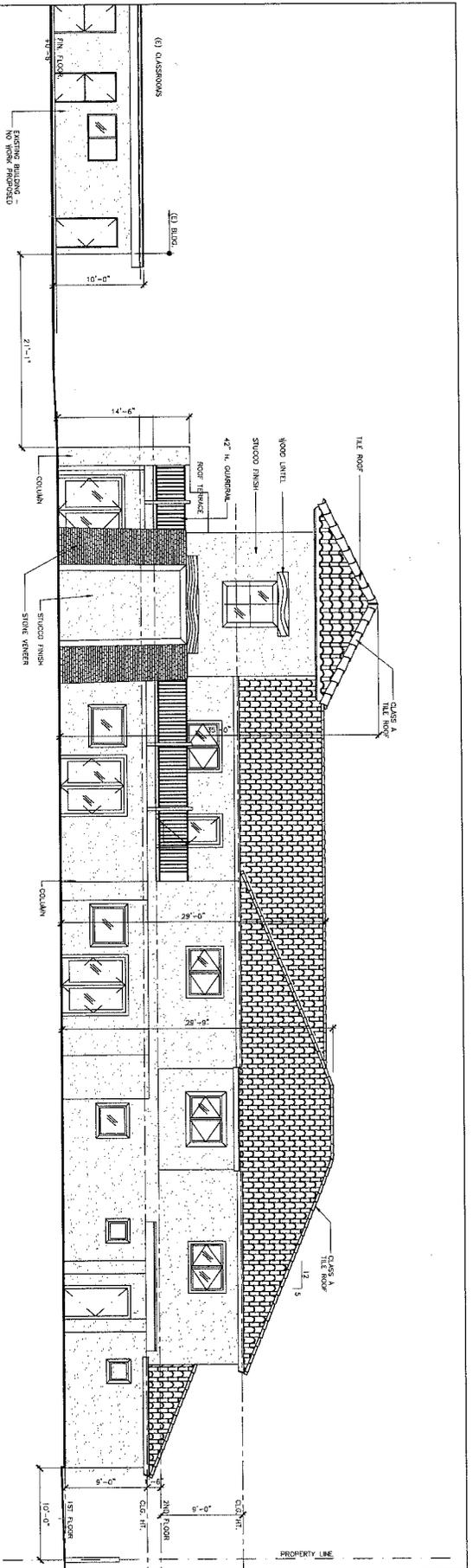


**ARCHITECTS**  
 10801 BEACH BLVD., SUITE 230  
 HUNTINGTON BEACH, CA 92648  
 (714) 843-8454

**EVANGELICAL FREE CHURCH**  
 A CHURCH PROJECT  
 812 FLORIDA AVE  
 HUNTINGTON BEACH, CA 92648

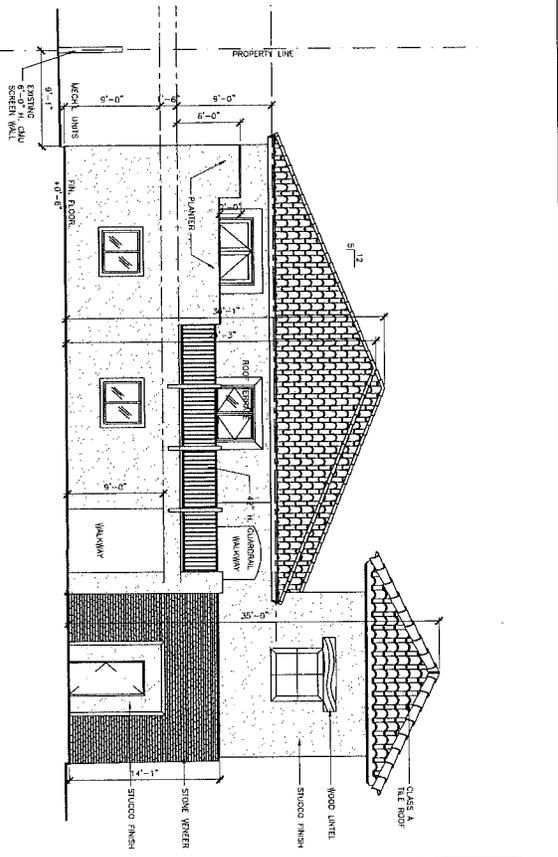
PROFESSIONAL SEAL  
 PLAN CHECK COMMENTS



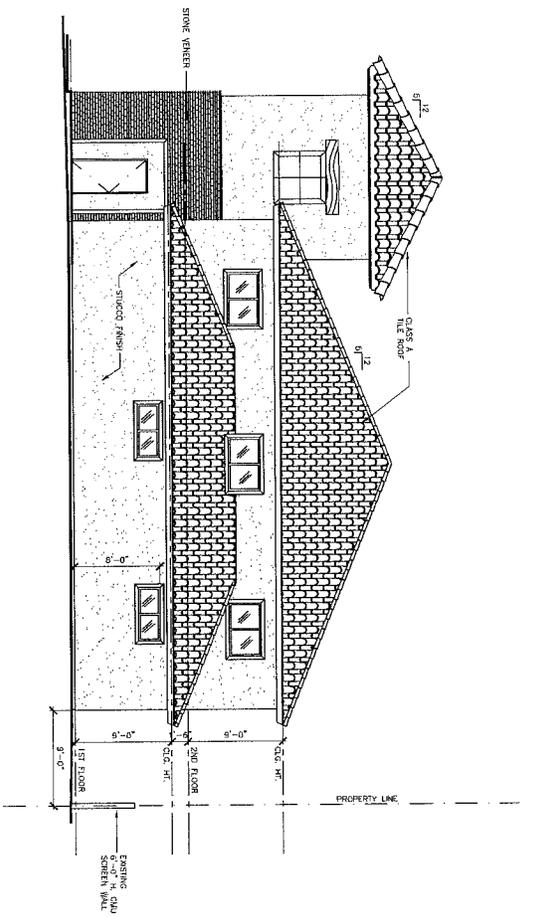


MARCH 16, 2013

**SOUTH (FRONT) ELEVATION - OFFICE/CLASSROOM BLDG.**



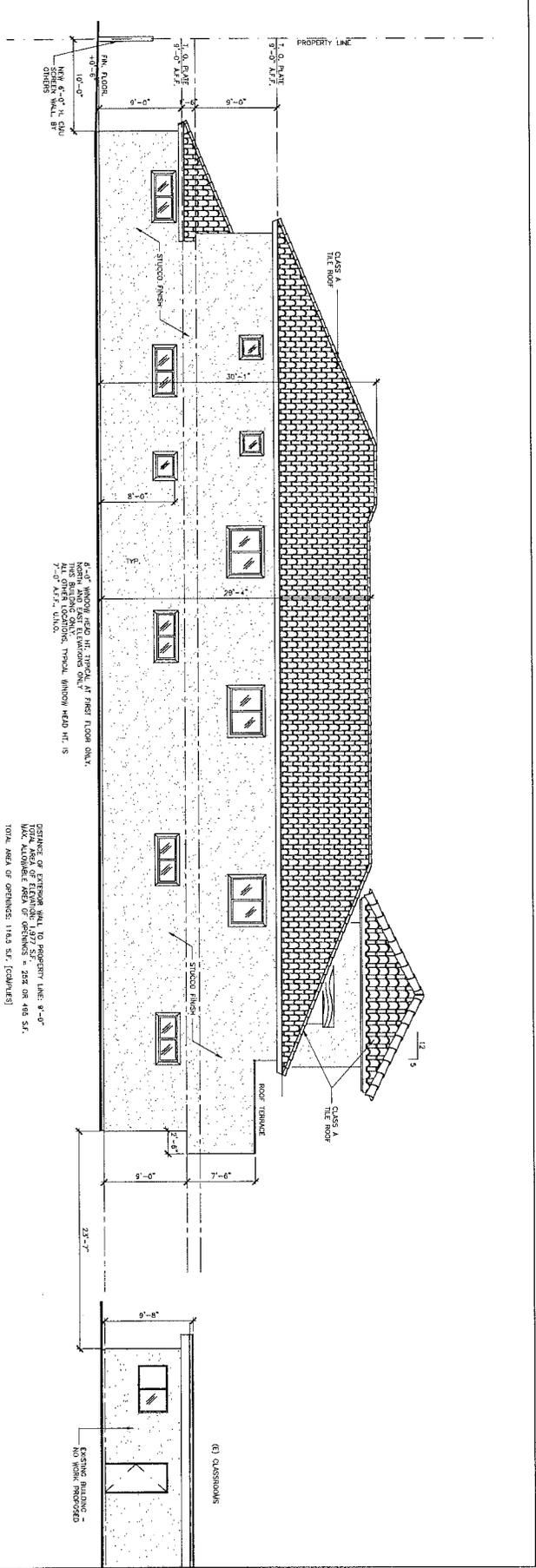
**WEST ELEVATION**



**EAST ELEVATION**

<p>DATE: APRIL 5, 2013</p> <p>SCALE: 1/8" = 1'-0"</p> <p>3</p>	<p>DATE: MARCH 16, 2013</p> <p>SCALE: 1/8" = 1'-0"</p> <p>1</p>	<p>DATE: APRIL 5, 2013</p> <p>SCALE: 1/8" = 1'-0"</p> <p>2</p>	<p>DATE: APRIL 5, 2013</p> <p>SCALE: 1/8" = 1'-0"</p> <p>3</p>	<p><b>EVANGELICAL FREE CHURCH</b>          A CHURCH PROJECT          1912 FLORIDA AVE.          HUNTINGTON BEACH, CA 92648</p>	<p>PROJECT NO. 1000</p>
<p>APRIL 5, 2013</p>				<p><b>EVANGELICAL FREE CHURCH</b>          ARCHITECTS</p> <p>1881 BEACH BLVD., SUITE 239          HUNTINGTON BEACH, CA 92648          (714) 803-8454</p>	<p>PROJECT NO. 1000</p>

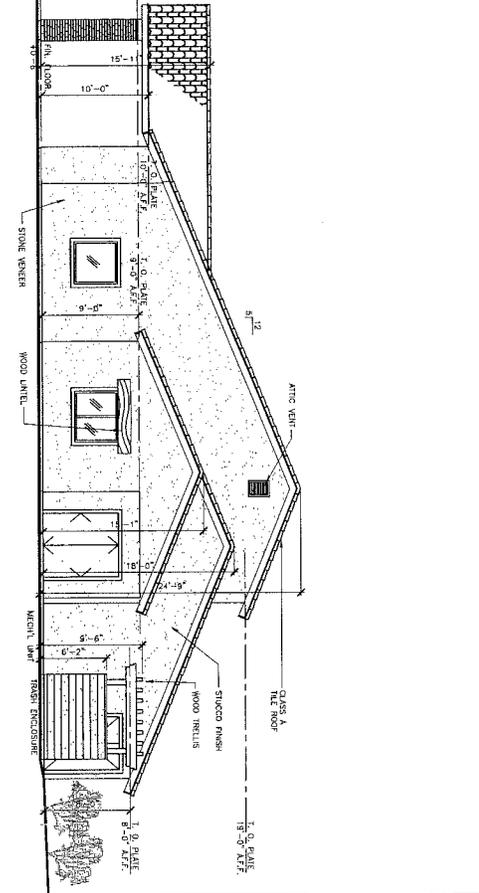
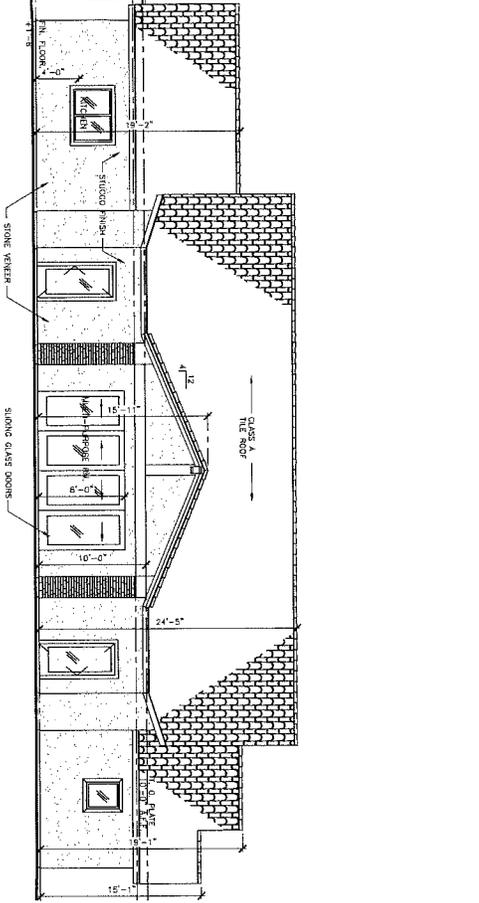
ATTACHMENT NO. 21



EVANGELICAL FREE CHURCH  
 A CHURCH PROJECT  
 1912 FLORIDA AVE.  
 HUNTINGTON BEACH, CA 92648

**NORTH ELEVATION - OFFICE/CLASSROOM BLDG.**

**WEST (FRONT) ELEVATION - MULTI-PURPOSE BLDG.**



**WEST (FRONT) ELEVATION - MULTI-PURPOSE BLDG.**

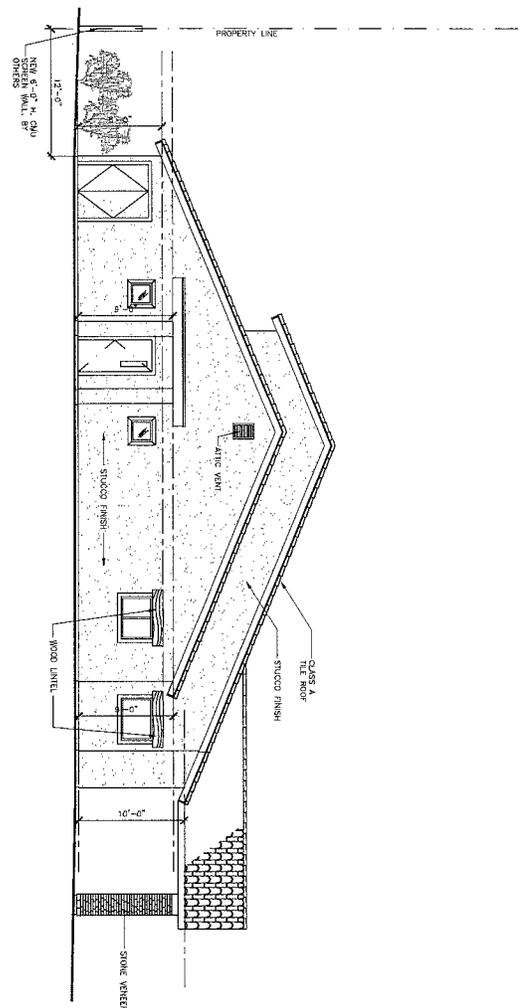
**SOUTH (SIDE) ELEVATION - MULTI-PURPOSE BLDG.**

APRIL 5, 2013

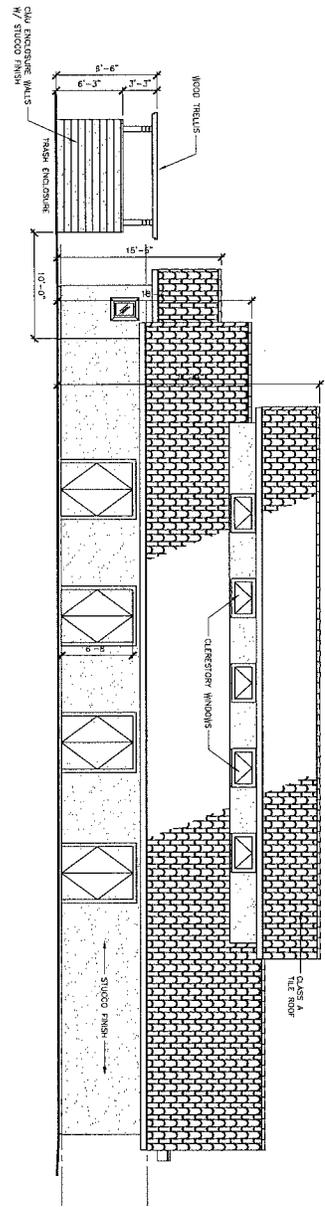
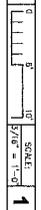
A-7



ARCHITECTS  
 1881 BEACH BLVD., SUITE 200  
 HUNTINGTON BEACH, CA 92648  
 (714) 803-8454



**NORTH (SIDE) ELEVATION - MULTI-PURPOSE BUILDING**



**EAST (REAR) ELEVATION - MULTI-PURPOSE BUILDING**



APRIL 5, 2013

Project No.	1	Checked By	
Scale	1/8" = 1'-0"	Date	2/11/11
Proj. Name	EV FREE		
Sheet	<b>A-8</b>		



**MS ARCHITECTS**  
 19891 BEACH BLVD., SUITE 236  
 HUNTINGTON BEACH, CA 92646  
 (714) 803-8454

**EVANGELICAL FREE CHURCH**  
 A CHURCH PROJECT  
 1912 FLORIDA AVE.  
 HUNTINGTON BEACH, CA 92646



OCT 12 2012

Dept. of Planning  
& Building

## Project Narrative

### History of the Use of the Property

The Evangelical Free Church of Huntington Beach was formed in 1963, initially meeting in homes and rented space. In 1964 it purchased from the Welsh family a parcel of property located at 1912 Florida Street, Huntington Beach, California 92648. It has occupied this property and used it continuously for religious purposes from 1964 to the present.

The existing main church building was constructed and legally occupied in 1964. In 1973 the building was expanded to incorporate the Joyful Noises Preschool. In 1975 the 11,500 square foot two-story C. E. Building was added, along with a four-unit modular building called the Quad, which housed a library, the preschool office, and two classrooms. In 1998 the 2,880 square foot Hut was added for high school ministries.

In 1999, anticipating significant growth in membership, the church purchased the adjacent property to the east, located at 19891 Beach Blvd., owned at that time by Wycliffe Bible Translator's, who had recently relocated their world headquarters to Orlando, Florida. The following year 2000 the church relocated its offices to the new property at 19891 Beach Blvd. and also began using space in that building for religious purposes such as meetings, conferences, assemblies, Bible studies, and fellowship activities.

Since the existing three-story building called the Cornerstone Building, located on the property at 19891 Beach Boulevard was preciously used as an office building, the church began leasing space to commercial entities in order to assist in making payments on the loans secured at the time of purchase. The church consistently paid all required fees and taxes, including property and income taxes, associated with this for-profit use of the property.

This scenario continued until 2011 when the declining economy caused the occupancy rate in the Cornerstone Building to decrease to the point that the church faced a potentially serious financial situation. The course of action chosen was to sell the property located at 19891 Beach Blvd. and use the proceeds from the sale to pay off all indebtedness and finance new construction on the remaining (original) property at 1912 Florida Street. It is this new proposed construction that has brought us to this point of submitting plans to the City of Huntington Beach.

### The Present Proposed Construction Project

This entire construction project has been made necessary by the sale of the property at 19891 Beach Blvd., especially the three-story Cornerstone Building. Because the Cornerstone Building had been used by the church primarily for office space and adult meetings and assemblies, the proposed new construction is designed to replace this lost space.

Additionally, this new construction will make it necessary to remove The Hut, the four-unit modular building of approximately 2,880 square feet which had been added in 1998 to accommodate ministries to youth, primarily high school aged students. This lost space will also be replaced with space in the proposed new buildings.

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The current needs for meeting space affect the manner in which this project will be carried out. Because we plan to continue all present ministries and activities during construction, we propose to maintain the use of The Hut during initial construction, even though it will not be a part of the proposed "new" campus. The project is expected to proceed along the following lines.

- On the north end of the property, to the east of the existing main building, we plan to construct a new two-story Office Building. This building will include space for all staff and administrative offices, two adult classrooms, two youth classrooms, a children's resource room, and a library for all ages. Upon completion of the first building, we anticipate taking occupancy prior to the start of construction of the second building.
- Because the Office Building is being constructed on space presently used for parking, we will need to remove The Hut prior to construction of the second building. This will also facilitate construction and ensure safety during this next phase of construction.
- Construction would then begin on the second building, the Multi-Purpose Building, and upon completion we would take occupancy.

### Significant Change to Preliminary Plans Previously Submitted

In January 2012 we submitted a preliminary conceptual plan for review by the Planning Department. That application was designated by the City as **Initial Plan Zoning & Review No. 2012-001 (Evangelical Free Church Addition)**. The review of the plan was assigned to Ms Tess Nguyen, and her findings were communicated in a letter dated February 22, 2012 to Mr. Michael, our architect. (See attachment)

This original conceptual plan proved to be unattainable for one significant reason. We had originally planned to build the so-called Office Building as an addition to our existing main structure. In Ms Nguyen's letter, on page 2, under the heading "Code Requirements," she noted in the first item that we had proposed an addition which would have increased the size of an existing nonconforming structure by 76%, a violation of HBZSO Section 236.06(E).

Our current proposal creates the Office Building as a completely new structure, separated from all existing structures by the required minimum 10 feet of separation. We have also addressed and corrected all the other issues and concerns brought to our attention by Ms Nguyen. We are grateful for her thorough work and the helpful manner in which she dealt with us throughout the initial submittal process. We commend her for her work and her kind and helpful spirit. We offer this revised submittal eager to proceed with our project but also desirous of the thorough review by the Planning Commission to assist us in providing a safe, useful, and attractive campus which will facilitate ministry to our community and enhance the overall appearance and appeal of our neighborhood.

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Dept. of Planning  
& Building

## Current and Proposed Utilization of Site

### A. Schedule to Remain Largely Unchanged

Our plan and expectation is that our schedule of activities in our enhanced campus will remain the same as our existing schedule. Only the locations of the activities will change.

The sale of the adjacent property at 19891 Beach Boulevard reduced the amount of meeting and office space available to the church, including offices for staff and administration, several adult classrooms, two conference rooms, and one larger room for receptions. Our two proposed new buildings are intended to replace this lost space. We also will lose the modular unit we call The Hut. This is currently utilized for office space, high school ministries, and an occasional gathering of adults, e.g. our Super Bowl party.

- The new Office Building will accommodate all our church offices, two classrooms for adults, two classrooms for youth (one high school, one junior high), a small library, and a resource room for children's ministries.
- The Multi-Purpose Building will replace the "larger room for receptions." On Sunday mornings this space is also used for an adult Sunday School class during the Sunday School hour, being presently attended by an average of 45 people. It is unoccupied during the worship assembly time.

### B. Current Schedule of Activities

The following table shows our current schedule of activities. This differs slightly from the table submitted in our plans for Initial Review because at that time we were renting space from the new owners of the Cornerstone Building. We have since vacated that building and now occupy only the buildings on our property at 1912 Florida Street.

OCT 12 2012

Capital Planning  
& Building

# Current Schedule of Activities

Day of the week	Activity	Number of people	Location	Time of Day
<b>Sunday</b>	Band Practice	12	1	7:30-9:00 am
	Worship	230	1	9:00-10:15 am
	Sunday School	150	1,2,5	10:30 am
<b>Monday</b>	Church office	4	5	8:00 am-5:00 pm
	JNP Preschool	70	1, 2	9:00 am-1:30 pm
	AA Meetings	35	2	7:00-9:00 pm
	Men's Bible Study	12	5	7:00-8:30 pm
<b>Tuesday</b>	Church office	4	5	8:00 am-5:00 pm
	JNP Preschool	50	1,2	9:00 am-1:30 pm
<b>Wednesday</b>	Church office	4	5	8:00 am-5:00 pm
	JNP Preschool	70	1,2	9:00 am-1:30 pm
	Simple Suppers	85	1	5:30-6:30 pm
	Awana	90	1,2	6:20-8:20 pm
	Jr. High	35	2	6:30-8:30 pm
	High School	20	5	6:30-8:30 pm
	Men's Bible Study	10	1	6:45-8:20 pm
	Ladies' Bible Study	12	1	6:45-8:20 pm
<b>Thursday</b>	Church office	4	5	8:00 am-5:00 pm
	JNP Preschool	50	1,2	9:00 am-1:30 pm
	Ladies' Bible Study	60	1,2	9:15-11:15 am
	AA Meetings	35	2	7:00-9:00 pm
	Ladies' Bible Study	15	1	7:00-8:30 pm
<b>Friday</b>	JNP Preschool	70	1,2	9:00 am-1:30 pm
<b>Saturday</b>				

### Special Activities:

In addition to our regularly scheduled weekly activities we will occasionally have:

Weddings/bridal showers

Baby showers

Funerals

Work days

Church barbecues

Fab Fall Fest (community outreach)

Joyful Noises Preschool Programs

Christmas Eve Service

Youth activities

Committee meetings

### Legend:

1	<b>Worship Center</b>
2	<b>Ed. Building</b>
3	<b>Office Building (new)</b>
4	<b>Multipurpose Room (new)</b>
5	<b>Hut (to be demolished)</b>

RECEIVED

OCT 12 2012

City of Lansing  
City Building

### C. Proposed Schedule of Activities

The following table shows our proposed schedule of activities. It includes the use of the two proposed new buildings which replace the space lost from the Cornerstone Building and The Hut, which we be removed in our proposed project. Again, as stated above, the actual activities and number of people involved will not change. Only the column showing the locations is different in the two tables.

OCT 12 2012

Church Learning & Building

# Proposed Schedule of Activities

Day of the week	Activity	Number of people	Location	Time of Day
<b>Sunday</b>	Band Practice	12	1	7:30-9:00 am
	Worship	230	1	9:00-10:15 am
	Sunday School	150	1,2,3,4	10:30 am
<b>Monday</b>	Church office	4	3	8:00 am-5:00 pm
	JNP Preschool	70	1,2	9:00 am-1:30 pm
	AA Meetings	35	2	7:00-9:00 pm
	Men's Bible Study	12	3	7:00-8:30 pm
<b>Tuesday</b>	Church office	4	3	8:00 am-5:00 pm
	JNP Preschool	50	1,2	9:00 am-1:30 pm
<b>Wednesday</b>	Church office	4	3	8:00 am-5:00 pm
	JNP Preschool	70	1,2	9:00 am-1:30 pm
	Simple Suppers	85	4	5:30-6:30 pm
	Awana	90	2,3	6:20-8:20 pm
	Jr. High	35	3	6:30-8:30 pm
	High School	20	3	6:30-8:30 pm
	Men's Bible Study	10	3	6:45-8:20 pm
	Ladies' Bible Study	12	3	6:45-8:20 pm
<b>Thursday</b>	Church office	4	3	8:00 am-5:00 pm
	JNP Preschool	50	1,2	9:00 am-1:30 pm
	Ladies' Bible Study	60	2,3,4	9:15-11:15 am
	AA Meetings	35	2	7:00-9:00 pm
	Ladies' Bible Study	15	3	7:00-8:30 pm
<b>Friday</b>	JNP Preschool	70	1,2	9:00 am-1:30 pm
<b>Saturday</b>				

### Special Activities:

In addition to our regularly scheduled weekly activities we will occasionally have:

Weddings/bridal showers

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Funerals

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Church barbecues

Fab Fall Fest (Community Outreach)

Joyful Noises Preschool Programs

Christmas Eve Service

Youth activities

Committee Meetings

### Legend:

<b>1</b>	<b>Worship Center</b>
<b>2</b>	<b>Ed. Building</b>
<b>3</b>	<b>Office Building</b>
<b>4</b>	<b>Multipurpose Room</b>

OCT 12 2012

City of Tallahassee  
2 Building

#### D. Available Parking, Now and Then

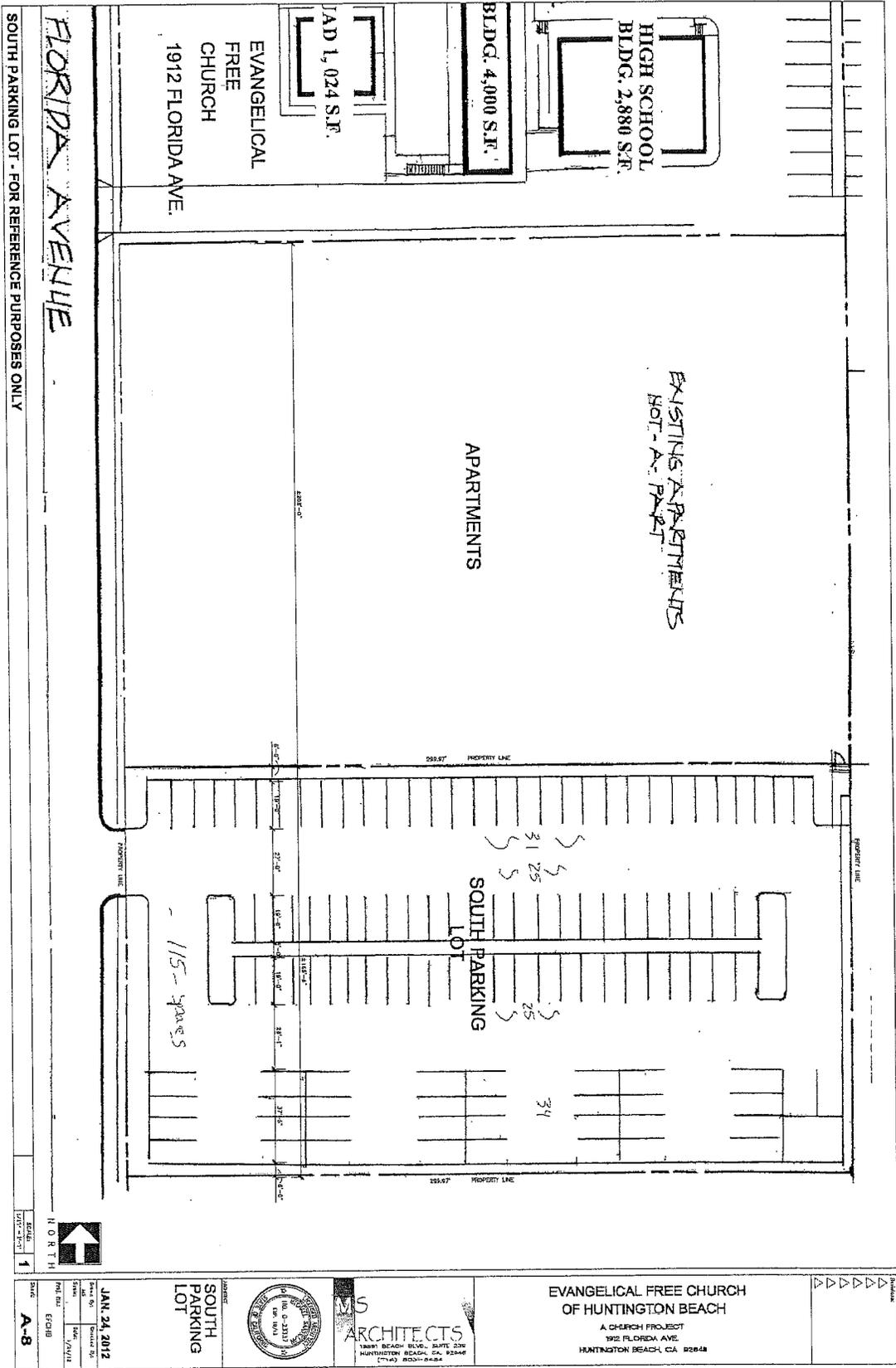
The church currently has available parking in two areas: (1) the main campus at 1912 Florida Street, and (2) a separate parcel to the south of our main property, owned by the church, at 1800 Florida Street. See drawing on next page.

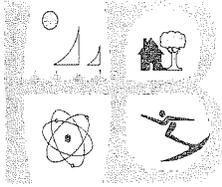
1. Parking Currently Available
  1. 1912 Florida Street – 72 spaces (including 4 HC)
  2. 1800 Florida Street – 115 spaces
  
2. Parking Available with New Campus
  - 1912 Florida Street – 40 spaces (including 4 HC)
  - 1800 Florida Street – 115 spaces
  
3. Proximity of 1800 Florida Street Parking to Main Campus

The distance from the parking lot at 1800 Florida Street to the main campus at 1912 Florida is 208 feet.

OCT 12 2012

Department of Planning & Building





# City of Huntington Beach

2000 MAIN STREET

CALIFORNIA 92648

## DEPARTMENT OF PLANNING AND BUILDING

[www.huntingtonbeachca.gov](http://www.huntingtonbeachca.gov)

Planning Division

714.536.5271

January 10, 2013

Wayne Derrick  
1912 Florida Street  
Huntington Beach, CA 92648

Building Division

714.536.5241

**SUBJECT: Entitlement Plan Amendment No. 12-012 (Evangelical Church Expansion)**

Dear Mr. Derrick,

In order to assist you with your development proposal, staff has reviewed the project and identified applicable city policies, standard plans, and development and use requirements, excerpted from the City of Huntington Beach Zoning & Subdivision Ordinance and Municipal Codes. This list is intended to help you through the permitting process and various stages of project implementation should the Planning Commission approve your project.

It should be noted that this requirement list is in addition to any "conditions of approval" adopted by the Planning Commission if the project is approved. Please note that if the design of your project or site conditions change, the list may also change.

The Director of Planning and Building has interpreted the relevant Sections of the Zoning and Subdivision Ordinance to require that your project satisfy the following development standards. If you would like a clarification of any of these requirements, an explanation of the Huntington Beach Zoning & Subdivision Ordinance and Municipal Codes, or believe some of the items listed do not apply to your project, and/or you would like to discuss them in further detail, please contact me at 714-536-5561 or at [ethan.edwards@surfcity-hb.org](mailto:ethan.edwards@surfcity-hb.org) and/or the respective source department (contact person below).

Sincerely,

Ethan Edwards, AICP  
Associate Planner

Enclosure

xc: Jason Kelley, Planning Department  
Bob Milani, Public Works  
Khoa Duong, P.E., Building & Safety  
Joe Morelli, Fire Department  
Project File



## CITY OF HUNTINGTON BEACH PLANNING DEPARTMENT

### PROJECT IMPLEMENTATION CODE REQUIREMENTS

**DATE:** JANUARY 10, 2013

**PROJECT NAME:** EVANGELICAL CHURCH EXPANSION

**PLANNING APPLICATION NO.:** PLANNING APPLICATION NO. 12-189

**ENTITLEMENTS:** EPA NO. 12-012

**DATE OF PLANS:** OCTOBER 12, 2012

**PROJECT LOCATION:** 1912 Florida Street, 92648 (east side of Florida Street, south of Utica Avenue)

**PLAN REVIEWER:** ETHAN EDWARDS

**TELEPHONE/E-MAIL:** (714) 536-5561, ETHAN.EDWARDS@SURFCITY-HB.ORG

**PROJECT DESCRIPTION:** To permit an amendment to EPA No. 01-005, CUP No. 97-106, and CUP No. 87-037 to permit the addition of a two-story, approximately 8,967 sq. ft. classroom/administrative office building and a single-story approximately 4,155 sq. ft. multi-purpose building to an existing church facility.

---

The following is a list of code requirements deemed applicable to the proposed project based on plans stated above. The list is intended to assist the applicant by identifying requirements which must be satisfied during the various stages of project permitting and implementation. A list of conditions of approval adopted by the Planning Commission in conjunction with the requested entitlement(s), if any, will also be provided upon final project approval. If you have any questions regarding these requirements, please contact the Plan Reviewer.

---

1. The site plan, floor plans, and elevations approved by the Planning Commission shall be the conceptually approved design with the following modifications:
  - a. Parking lot striping shall comply with Chapter 231 of the Zoning and Subdivision Ordinance and Title 24, California Administrative Code.
  - b. Depict all utility apparatus, such as but not limited to, back flow devices and Edison transformers on the site plan. Utility meters shall be screened from view from public right-of-ways. Electric transformers in a required front or street side yard shall be enclosed in subsurface vaults. Back-flow prevention devices shall be prohibited in the front yard setback and shall be screened from view.
  - c. All exterior mechanical equipment shall be screened from view on all sides. Rooftop mechanical equipment shall be setback a minimum of 15 feet from the exterior edges of the building. Equipment to be screened includes, but is not limited to, heating, air conditioning, refrigeration equipment, plumbing lines, ductwork and transformers. Said screening shall be architecturally compatible with the building in terms of materials and colors. If screening is not designed specifically into

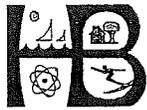
the building, a rooftop mechanical equipment plan showing proposed screening must be submitted for review and approval with the application for building permit(s).

- d. Depict the location of all gas meters, water meters, electrical panels, air conditioning units, mailboxes (as approved by the United States Postal Service), and similar items on the site plan and elevations. If located on a building, they shall be architecturally integrated with the design of the building, non-obtrusive, not interfere with sidewalk areas and comply with required setbacks.
  - e. All parking area lighting shall be energy efficient and designed so as not to produce glare on adjacent residential properties. Security lighting shall be provided in areas accessible to the public during nighttime hours, and such lighting shall be on a time-clock or photo-sensor system.  
(HBZSO 231.18(C))
  - f. Bicycle parking facilities shall be provided in accordance with the provisions of HBZSO Section 231.20 – *Bicycle Parking*.
2. Prior to issuance of demolition permits, the following shall be completed:
    - a. The applicant shall follow all procedural requirements and regulations of the South Coast Air Quality Management District (SCAQMD) and any other local, state, or federal law regarding the removal and disposal of any hazardous material including asbestos, lead, and PCB's. These requirements include but are not limited to: survey, identification of removal methods, containment measures, use and treatment of water, proper truck hauling, disposal procedures, and proper notification to any and all involved agencies.
    - b. Pursuant to the requirements of the SCAQMD, an asbestos survey shall be completed.
    - c. The City of Huntington Beach shall receive written verification from the SCAQMD that the Notification procedures have been completed.
    - d. All asbestos shall be removed from all buildings prior to demolition of any portion of any building.
  3. Prior to issuance of grading permits, the following shall be completed:
    - a. At least 14 days prior to any grading activity, the applicant/developer shall provide notice in writing to property owners of record and tenants of properties immediately adjacent to and across the street/alley from the project site. The notice shall include a general description of planned grading activities and an estimated timeline for commencement and completion of work and a contact person name with phone number. Prior to issuance of the grading permit, a copy of the notice and list of recipients shall be submitted to the Planning Department.
    - b. Blockwall/ fencing plans (including a site plan, section drawings and elevations, depicting the height and material of all retaining walls, freestanding walls and fences) consistent with the grading plan, shall be submitted to and approved by the Planning Department. Double walls shall be prohibited. Prior to construction of any new property line walls or fences, a plan, approved by the owners of adjacent properties, and identifying the removal of any existing walls, shall be submitted to the Planning Department for review and approval. The plans shall identify proposed wall and fence materials, seep holes and drainage.
  4. Prior to submittal for building permits Zoning entitlement conditions of approval, code requirements identified herein and code requirements identified in separately transmitted memorandum from the Departments of Fire and Public Works shall be printed verbatim on one of the first three pages of all the working drawing sets used for issuance of building permits (architectural, structural, electrical, mechanical and plumbing) and shall be referenced in the sheet index. The minimum font size utilized for printed text shall be 12 point.

5. Prior to issuance of building permits, the following shall be completed:
  - a. An interim parking and building materials storage plan shall be submitted to the Planning Department to assure adequate parking and restroom facilities are available for employees, customers and contractors during the project's construction phase and that adjacent properties will not be impacted by their location. The plan shall also be reviewed and approved by the Fire Department and Public Works Department. The applicant shall obtain any necessary encroachment permits from the Public Works Department.
  - b. All new commercial and industrial development and all new residential development not covered by Chapter 254 of the Huntington Beach Zoning and Subdivision Ordinance, except for mobile home parks, shall pay a park fee, pursuant to the provisions of HBZSO Section 230.20 – *Payment of Park Fee*. The fees shall be paid and calculated according to a schedule adopted by City Council resolution (*City of Huntington Beach Planning Department Fee Schedule*).
6. During demolition, grading, site development, and/or construction, the following shall be adhered to:
  - a. Construction equipment shall be maintained in peak operating condition to reduce emissions.
  - b. Use low sulfur (0.5%) fuel by weight for construction equipment.
  - c. Truck idling shall be prohibited for periods longer than 10 minutes.
  - d. Attempt to phase and schedule activities to avoid high ozone days first stage smog alerts.
  - e. Discontinue operation during second stage smog alerts.
  - f. Clearly visible signs shall be posted on the perimeter of the site identifying the name and phone number of a field supervisor to contact for information regarding the development and any construction/ grading activity.
  - g. All Huntington Beach Zoning and Subdivision Ordinance and Municipal Code requirements including the Noise Ordinance. All activities including truck deliveries associated with construction, grading, remodeling, or repair shall be limited to Monday - Saturday 7:00 AM to 8:00 PM. Such activities are prohibited Sundays and Federal holidays.
7. New structure(s) cannot be occupied, the final building permit(s) cannot be approved, and utilities cannot be released until the following has been completed:
  - a. All improvements shall be completed in accordance with approved plans, except as provided for by conditions of approval.
  - b. All building spoils, such as unusable lumber, wire, pipe, and other surplus or unusable material, shall be disposed of at an off-site facility equipped to handle them.
  - c. A Certificate of Occupancy must be approved by the Planning Department and issued by the Building and Safety Department.
8. Only the uses described in the project narrative shall be permitted, except as modified through an entitlement. Special/temporary/parking lot events shall be subject to approval of a Temporary Activity Permit or Temporary Use Permit.
9. The Development Services Departments (Building & Safety, Fire, Planning and Public Works) shall be responsible for ensuring compliance with all applicable code requirements and conditions of approval. The Director of Planning may approve minor amendments to plans and/or conditions of approval as appropriate based on changed circumstances, new information or other relevant factors. Any proposed plan/project revisions shall be called out on the plan sets submitted for building permits. Permits shall not be issued until the Development Services Departments have reviewed and

approved the proposed changes for conformance with the intent of the Planning Commission's action. If the proposed changes are of a substantial nature, an amendment to the original entitlement reviewed by the Planning Commission may be required pursuant to the provisions of HBZSO Section 241.18.

10. The applicant and/or applicant's representative shall be responsible for ensuring the accuracy of all plans and information submitted to the City for review and approval.
11. Entitlement Plan Amendment 12-012 shall not become effective until the ten calendar day appeal period from the final approval of the entitlements has elapsed.
12. Entitlement Plan Amendment 12-012 shall become null and void unless exercised (by commencement of construction) within one year of the date of final approval, or as modified by condition of approval, or such extension of time as may be granted by the Director pursuant to a written request submitted to the Planning Department a minimum 30 days prior to the expiration date.
13. The Planning Commission reserves the right to revoke Entitlement Plan Amendment 12-012 pursuant to a public hearing for revocation, if any violation of the conditions of approval, Huntington Beach Zoning and Subdivision Ordinance or Municipal Code occurs.
14. The project shall comply with all applicable requirements of the Municipal Code, Building & Safety Department and Fire Department, as well as applicable local, State and Federal Fire Codes, Ordinances, and standards, except as noted herein.
15. Construction shall be limited to Monday – Saturday 7:00 AM to 8:00 PM. Construction shall be prohibited Sundays and Federal holidays.
16. The applicant shall submit a check in the amount of \$50.00 for the posting of the Notice of Determination at the County of Orange Clerk's Office. The check shall be made out to the County of Orange and submitted to the Department of Planning within two (2) days of the Planning Commission's approval of entitlement(s).
17. All landscaping shall be maintained in a neat and clean manner, and in conformance with the HBZSO and approved plans. Prior to removing or replacing any landscaped areas, check with the Departments of Planning and Public Works for applicable Code requirements. Substantial changes may require approval by the Planning Commission.
18. All permanent, temporary, or promotional signs shall conform to Chapter 233 of the HBZSO. Prior to installing any new signs, changing sign faces, or installing promotional signs, applicable permit(s) shall be obtained from the Planning Department. Violations of this ordinance requirement may result in permit revocation, recovery of code enforcement costs, and removal of installed signs.



## CITY OF HUNTINGTON BEACH

### PUBLIC WORKS INTERDEPARTMENTAL COMMUNICATION

#### PROJECT IMPLEMENTATION CODE REQUIREMENTS

**DATE:** NOVEMBER 27, 2012

**PROJECT NAME:** EVANGELICAL CHURCH EXPANSION

**ENTITLEMENTS:** EPA 12-12

**PLNG APPLICATION NO:** 2012-0189

**DATE OF PLANS:** OCTOBER 12, 2012

**PROJECT LOCATION:** 1912 FLORIDA STREET

**PROJECT PLANNER:** ETHAN EDWARDS, ASSOCIATE PLANNER

**TELEPHONE/E-MAIL:** 714-536-5561 / [ETHAN.EDWARDS@SURFCITY-HB.ORG](mailto:ETHAN.EDWARDS@SURFCITY-HB.ORG)

**PLAN REVIEWER:** BOB MILANI, SENIOR CIVIL ENGINEER 

**TELEPHONE/E-MAIL:** 714-375-1735 / [BOB.MILANI@SURFCITY-HB.ORG](mailto:BOB.MILANI@SURFCITY-HB.ORG)

**PROJECT DESCRIPTION:** TO PERMIT AN AMENDMENT TO EPA NO. 01-005, CUP NO. 97-106, AND CUP NO. 87-037 TO PERMIT THE ADDITION OF A TWO-STORY, APPROXIMATELY 8,967 SQ. FT. CLASSROOM/ADMINISTRATIVE OFFICE BUILDING AND A SINGLE-STORY APPROXIMATELY 4,155 SQ. FT. MULTI-PURPOSE BUILDING TO AN EXISTING CHURCH FACILITY.

**ATTACHED:** SITE PLAN & NARRATIVE

The following is a list of code requirements deemed applicable to the proposed project based on plans as stated above. The items below are to meet the City of Huntington Beach's Municipal Code (HBMC), Zoning and Subdivision Ordinance (ZSO), Department of Public Works Standard Plans (Civil, Water and Landscaping) and the American Public Works Association (APWA) Standards Specifications for Public Works Construction (Green Book), the Orange County Drainage Area management Plan (DAMP), and the City Arboricultural and Landscape Standards and Specifications. The list is intended to assist the applicant by identifying requirements which shall be satisfied during the various stages of project permitting, implementation and construction. If you have any questions regarding these requirements, please contact the Plan Reviewer or Project Planner.

#### **THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A GRADING PERMIT:**

1. A Precise Grading Plan (Street Improvement Plan), prepared by a Licensed Civil Engineer, shall be submitted to the Public Works Department for review and approval. (MC 17.05/ZSO 230.84) The plans shall comply with Public Works plan preparation guidelines and include the following improvements on the plan:
  - a. Damaged curb, gutter and sidewalk along the Florida Street frontage shall be removed and replaced per Public Works Standard Plan Nos. 202 and 207. (ZSO 230.84)

- b. A new sewer lateral shall be installed connecting to the main in the street. If the new sewer lateral is not constructed at the same location as the existing lateral, then the existing lateral shall be severed and capped at the main or chimney. (ZSO 230.84)
  - c. The existing domestic water service currently serving the existing development may potentially be utilized if it is of adequate size, conforms to current standards, and is in working condition as determined by the Water Inspector. If the property owner elects to utilize the existing water service, any non-conforming water service, meter, and backflow protection device shall be upgraded to conform to the current Water Division Standards. Alternatively, a new separate domestic water service and meter and backflow protection device may be installed per Water Division Standards and shall be sized to meet the minimum requirements set by the California Plumbing Code (CPC) (ZSO 254.04)
  - d. A separate irrigation water service and meter shall be installed per Water Division Standards. (ZSO 232)
  - e. Separate backflow protection devices shall be installed per Water Division Standards for domestic, irrigation and fire water services, and shall be screened from view. (Resolution 5921 and State of California Administrative Code, Title 17)
  - f. The existing domestic water service and meter, if not being used shall be abandoned per Water Division Standards. (ZSO 255.04)
  - g. The fire sprinkler system that is required by the Fire Department for the proposed development shall have a separate dedicated fire service line installed per Water Division Standards. (ZSO 230.84)
  - h. The on-site fire hydrant that is required by the Fire Department to serve the proposed development shall become a private fire hydrant that is served by a 6-inch min. size private fire water service line. This private fire water service line shall be separated from the public water main in Florida Avenue by construction of a double check detector assembly. The double check detector assembly shall be constructed per the City of Huntington Beach Standard Plan No. 618, and shall be sized to provide adequate fire flow protection for the private on-site fire hydrant. The double check detector assembly shall be located within landscape planter area or other area and screened from view by landscaping or other method as approved by the Department of Public Works. The on-going maintenance of this private fire water service and private fire hydrants shall be the responsibility of the development owner. (Resolution 5921, State of California Administrative Code, Title 17)
2. Hydrology and Hydraulic Report shall be submitted for Public Works review and approval (10, 25, and 100-year storms and back to back storms shall be analyzed). The drainage improvements shall be designed and constructed as required by the Department of Public Works to mitigate impact of increased runoff due to development, or deficient, downstream systems. Design of all necessary drainage improvements shall provide mitigation for all rainfall event frequencies up to a 100-year frequency. The Hydrology and Hydraulic Report shall include, but not be limited to facilities sizing, limits of attenuation, downstream impacts and other related design features. Runoff shall be limited to existing 100-year flows, which must be established in the hydrology study. Since the City's downstream drainage system is deficient and cannot meet the volume needs of the project runoff, the developer shall be required to attenuate site runoff to an amount not to exceed the existing 100-year storm as determined by the hydrology study. As an option, the developer may choose to explore low-flow design alternatives, onsite attenuation or detention, or upgrade the City's storm water system to accommodate the impacts of the new development, at no cost to the City. (ZSO 230.84)
  3. Prior to the issuance of any grading or building permits for projects that will result in soil disturbance of one or more acres of land, the applicant shall demonstrate that coverage has been obtained under the Waste Discharge Requirements for Discharges of Storm Water Runoff Associated with

Construction and Land Disturbance Activities (Order No. 2009-0009-DWQ) [General Construction Permit] by providing a copy of the Notice of Intent (NOI) submitted to the State of California Water Resources Control Board and a copy of the subsequent notification of the issuance of a Waste Discharge Identification (WDID) Number. Projects subject to this requirement shall prepare and implement a Stormwater Pollution Prevention Plan (SWPPP) conforming to the current National Pollution Discharge Elimination System (NPDES) requirements shall be submitted to the Department of Public Works for review and acceptance. A copy of the current SWPPP shall be kept at the project site and another copy to be submitted to the City. (DAMP)

4. A Project Water Quality Management Plan (WQMP) conforming to the current Waste Discharge Requirements Permit for the County of Orange (Order No. R8-2009-0030) [MS4 Permit] prepared by a Licensed Civil Engineer, shall be submitted to the Department of Public Works for review and acceptance. The WQMP shall address Section XII of the MS4 Permit and all current surface water quality issues.
5. The project WQMP shall include the following:
  - a. Low Impact Development.
  - b. Discusses regional or watershed programs (if applicable).
  - c. Addresses Site Design BMPs (as applicable) such as minimizing impervious areas, maximizing permeability, minimizing directly connected impervious areas, creating reduced or "zero discharge" areas, and conserving natural areas.
  - d. Incorporates the applicable Routine Source Control BMPs as defined in the Drainage Area Management Plan. (DAMP)
  - e. Incorporates Treatment Control BMPs as defined in the DAMP.
  - f. Generally describes the long-term operation and maintenance requirements for the Treatment Control BMPs.
  - g. Identifies the entity that will be responsible for long-term operation and maintenance of the Treatment Control BMPs.
  - h. Describes the mechanism for funding the long-term operation and maintenance of the Treatment Control BMPs.
  - i. Includes an Operations and Maintenance (O&M) Plan for all structural BMPs.
  - j. After incorporating plan check comments of Public Works, three final WQMPs (signed by the owner and the Registered Civil Engineer of record) shall be submitted to Public Works for acceptance. After acceptance, two copies of the final report shall be returned to applicant for the production of a single complete electronic copy of the accepted version of the WQMP on CD media that includes:
    - i. The 11" by 17" Site Plan in .TIFF format (400 by 400 dpi minimum).
    - ii. The remainder of the complete WQMP in .PDF format including the signed and stamped title sheet, owner's certification sheet, Inspection/Maintenance Responsibility sheet, appendices, attachments and all educational material.
  - k. The applicant shall return one CD media to Public Works for the project record file.
6. Indicate the type and location of Water Quality Treatment Control Best Management Practices (BMPs) on the Grading Plan consistent with the Project WQMP. The WQMP shall follow the City of Huntington Beach; Project Water Quality Management Plan Preparation Guidance Manual dated June 2006. The WQMP shall be submitted with the first submittal of the Grading Plan.

7. A suitable location, as approved by the City, shall be depicted on the grading plan for the necessary trash enclosure(s). The area shall be paved with an impervious surface, designed not to allow run-on from adjoining areas, designed to divert drainage from adjoining roofs and pavements diverted around the area, and screened or walled to prevent off-site transport of trash. The trash enclosure area shall be covered or roofed with a solid, impervious material. Connection of trash area drains into the storm drain system is prohibited. If feasible, the trash enclosure area shall be connected into the sanitary sewer. (DAMP)
8. A soils report, prepared by a Licensed Engineer shall be submitted for reference only. (MC 17.05.150)
9. The applicant's grading/erosion control plan shall abide by the provisions of AQMD's Rule 403 as related to fugitive dust control. (AQMD Rule 403)
10. The name and phone number of an on-site field supervisor hired by the developer shall be submitted to the Planning and Public Works Departments. In addition, clearly visible signs shall be posted on the perimeter of the site every 250 feet indicating who shall be contacted for information regarding this development and any construction/grading-related concerns. This contact person shall be available immediately to address any concerns or issues raised by adjacent property owners during the construction activity. He/She will be responsible for ensuring compliance with the conditions herein, specifically, grading activities, truck routes, construction hours, noise, etc. Signs shall include the applicant's contact number, regarding grading and construction activities, and "1-800-CUTSMOG" in the event there are concerns regarding fugitive dust and compliance with AQMD Rule No. 403.
11. The applicant shall notify all property owners and tenants within 300 feet of the perimeter of the property of a tentative grading schedule at least 30 days prior to such grading.

**THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLIED WITH DURING GRADING OPERATIONS:**

12. An Encroachment Permit is required for all work within the City's right-of-way. (MC 12.38.010/MC 14.36.030)
13. The developer shall coordinate the development of a truck haul route with the Department of Public Works if the import or export of material in excess of 5000 cubic yards is required. This plan shall include the approximate number of truck trips and the proposed truck haul routes. It shall specify the hours in which transport activities can occur and methods to mitigate construction-related impacts to adjacent residents. These plans must be submitted for approval to the Department of Public Works. (MC 17.05.210)
14. Water trucks will be utilized on the site and shall be available to be used throughout the day during site grading to keep the soil damp enough to prevent dust being raised by the operations. (California Stormwater BMP Handbook, Construction Wind Erosion WE-1)
15. All haul trucks shall arrive at the site no earlier than 8:00 a.m. or leave the site no later than 5:00 p.m., and shall be limited to Monday through Friday only. (MC 17.05)
16. Wet down the areas that are to be graded or that is being graded, in the late morning and after work is completed for the day. (WE-1/MC 17.05)
17. The construction disturbance area shall be kept as small as possible. (California Stormwater BMP Handbook, Construction Erosion Control EC-1) (DAMP)
18. All haul trucks shall be covered or have water applied to the exposed surface prior to leaving the site to prevent dust from impacting the surrounding areas. (DAMP)

19. Prior to leaving the site, all haul trucks shall be washed off on-site on a gravel surface to prevent dirt and dust from leaving the site and impacting public streets. (DAMP)
20. Comply with appropriate sections of AQMD Rule 403, particularly to minimize fugitive dust and noise to surrounding areas. (AQMD Rule 403)
21. Wind barriers shall be installed along the perimeter of the site. (DAMP)
22. All construction materials, wastes, grading or demolition debris and stockpiles of soils, aggregates, soil amendments, etc. shall be properly covered, stored and secured to prevent transport into surface or ground waters by wind, rain, tracking, tidal erosion or dispersion. (DAMP)

**THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO  
ISSUANCE OF A BUILDING PERMIT:**

23. A Precise Grading Permit shall be issued. (MC 17.05)
24. Traffic Impact Fees for the development shall be based on the estimated new vehicle trip-miles the project is estimated to generate from the building additions. (MC 17.65)
25. A drainage fee for the subject development shall be paid at the rate applicable at the time of Building Permit issuance. The current rate of \$13,880 per gross acre is subject to periodic adjustments. This project consists of 2.16 gross acres (including its tributary area portions along the half street frontages) for a total required drainage fee of \$29,980. City records indicate the previous use on this property never paid this required fee. Per provisions of the City Municipal Code, this one-time fee shall be paid for all subdivisions or development of land. (MC 14.48)
26. The applicable Orange County Sanitation District Capital Facility Capacity Charge shall be paid to the City Department of Public Works. (Ordinance OCSD-40)

**THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO FINAL  
INSPECTION OR OCCUPANCY:**

27. Complete all improvements as shown on the approved grading, and improvement plans. (MC 17.05)
28. All new utilities shall be undergrounded. (MC 17.64)
29. All applicable Public Works fees shall be paid at the current rate unless otherwise stated, per the Public Works Fee Schedule adopted by the City Council and available on the city web site at [http://www.surfcity-hb.org/files/users/public\\_works/fee\\_schedule.pdf](http://www.surfcity-hb.org/files/users/public_works/fee_schedule.pdf). (ZSO 240.06/ZSO 250.16)
30. Prior to grading or building permit close-out and/or the issuance of a certificate of use or a certificate of occupancy, the applicant shall:
  - a. Demonstrate that all structural Best Management Practices (BMPs) described in the Project WQMP have been constructed and installed in conformance with approved plans and specifications.
  - b. Demonstrate all drainage courses, pipes, gutters, basins, etc. are clean and properly constructed.
  - c. Demonstrate that applicant is prepared to implement all non-structural BMPs described in the Project WQMP.
  - d. Demonstrate that an adequate number of copies of the approved Project WQMP are available for the future occupiers.



## HUNTINGTON BEACH BUILDING DEPARTMENT

### PROJECT IMPLEMENTATION CODE REQUIREMENTS

**DATE:** NOVEMBER 21, 2012

**PROJECT NAME:** EVANGELICAL CHURCH EXPANSION

**PLANNING APPLICATION NO.:** PLANNING APPLICATION NO. 12-189

**ENTITLEMENTS:** EPA NO. 12-012

**DATE OF PLANS:** OCTOBER 12, 2012

**PROJECT LOCATION:** 1912 Florida Street, 92648 (east side of Florida Street, south of Utica Avenue)

**PLAN REVIEWER:** KHOA DUONG, P.E

**TELEPHONE/E-MAIL:** (714) 872-6123/KHOA@CSGENGR.COM

**PROJECT DESCRIPTION:** To permit an amendment to EPA No. 01-005, CUP No. 97-106, and CUP No. 87-037 to permit the addition of a two-story, approximately 8,967 sq. ft. classroom/administrative office building and a single-story approximately 4,155 sq. ft. multi-purpose building to an existing church facility.

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The following is a list of code requirements deemed applicable to the proposed project based on plans stated above. The list is intended to assist the applicant by identifying requirements which must be satisfied during the various stages of project permitting and implementation. A list of conditions of approval adopted by the Planning Commission in conjunction with the requested entitlement(s), if any, will also be provided upon final project approval. If you have any questions regarding these requirements, please contact the Plan Reviewer.

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**I. SPECIAL CONDITIONS:**

1. None

**II. CODE ISSUES BASED ON PLANS & DRAWINGS SUBMITTED:**

1. Project shall comply with the current state building codes adopted by the City at the time of permit application submittal. Currently they are 2010 California Building Code (CBC), 2010 California Residential Code, 2010 California Mechanical Code (CMC), 2010 California Plumbing Code (CPC), 2010 California Electrical Code (CEC), 2010 California Energy Code, 2010 California Green Building Standards and The Huntington Beach Municipal Code (HBMC). Compliance to all applicable state and local codes is required prior to issuance of building permit.
2. Provide building code analysis including type of construction, allowable area and height, occupancy group requirements per the CBC.

- a. Please submit building analyses to ascertain building sizes, construction types, set back, and frontage issues to be used in justifying building areas. All submittals to date do not have this information which is critical for project of this magnitude.
3. The occupancy group E for school and B for offices must be shown on "Proposed Occupancy". Please revise Project information.
4. Site Development –
  - a. All entrances and exterior ground floor exits must be accessible to disable persons. Please identify on Site plan the accessible paths of travel from exits doors to public way.
  - b. Please identify on Site plan the accessible paths of travel between building; and from public way to the building entrances along with maximum slope of 5% and cross slope of 2%.
5. For buildings on the same lot, please comply with Section 705.3 of 2010 CBC.
6. Exterior walls for all buildings (both new and existing) must comply with Section 705.
7. Openings in exterior walls must comply with Section 705.8 of 2010 CBC.
8. Accessible parking stalls must comply with Section 1129B of 2010 CBC.
9. Provide egress plans to comply with Chapter 10 of 2010 CBC.
10. All new restrooms must be accessible to disabled persons. Please provide restroom layout plans with full dimensioned.
11. Restrooms serving the second floor – Doors leading to restrooms cannot encroach into the required clear space in front of lavatory.
12. All stairways must comply with Section 1133B.4 of 2010 CBC.
13. All elevators must comply with 1116B of 2010 CBC and Chapter 30 of 2010 CBC.
14. New building must comply with 2010 California Green Building Standards.
15. Provide safeguards during construction to comply with Chapter 33 of 2010 CBC.
16. Please contact me or our office for a preliminary review of code analysis to examine any possible building code issues that may arise.

**III. COMMENTS:**

1. Planning and Building Department encourage the use of pre submittal zoning applications and building plan check meetings.
2. In addition to all of the code requirements of the 2010 California Green Building Standards Code, specifically provide a Construction Waste Management Plan per Sections 4.408.2 and 5.408.1.1.



# HUNTINGTON BEACH FIRE DEPARTMENT

## PROJECT IMPLEMENTATION CODE REQUIREMENTS

### PROJECT IMPLEMENTATION CODE REQUIREMENTS

DATE: NOVEMBER 26, 2012

PROJECT NAME: EVANGELICAL CHURCH EXPANSION

PLANNING APPLICATION NO. PLANNING APPLICATION NO. 12-189

ENTITLEMENTS: EPA NO. 12-012

DATE OF PLANS: OCTOBER 12, 2012

PROJECT LOCATION: 1912 Florida Street, 92648 (east side of Florida Street, south of Utica Avenue)

PLAN REVIEWER: JOE MORELLI; FIRE PROTECTION ANALYST

TELEPHONE/E-MAIL: (714) 536-5531, [Joe.Morelli@surfcity-hb.org](mailto:Joe.Morelli@surfcity-hb.org)

PROJECT DESCRIPTION: To permit an amendment to EPA No. 01-005, CUP No. 97-106, and CUP No. 87-037 to permit the addition of a two-story, approximately 8,967 sq. ft. classroom/administrative office building and a single-story approximately 4,155 sq. ft. multi-purpose building to an existing church facility.

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The following is a list of code requirements deemed applicable to the proposed project based on plans stated above. The list is intended to assist the applicant by identifying requirements which must be satisfied during the various stages of project permitting and implementation. A list of conditions of approval adopted by the Planning Commission in conjunction with the requested entitlement(s), if any, will also be provided upon final project approval. If you have any questions regarding these requirements, please contact the Plan Reviewer.

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#### CODE REQUIREMENTS:

**PRIOR TO DEMOLITION, GRADING, SITE DEVELOPMENT, ISSUANCE OF GRADING PERMITS, BUILDING PERMITS, AND/OR CONSTRUCTION, THE FOLLOWING SHALL BE REQUIRED:**

#### **Environmental**

- a. **Methane Mitigation District Requirements.** The proposed construction is within the City of Huntington Beach Methane Mitigation District. A Methane Testing work plan shall

be submitted to the H.B.F.D. for review and approval (per City Specification #429), and subsequent lab results provided to the H.B.F.D. for review. Compliance with City Specification #429 is required.

- b. **City Specification # 431-92 Soil Clean-Up Standards testing is required.** Based on site characteristics, suspected soil contamination, proximity to a producing/abandoned oil well, or Phase I, II, or III Site Audit, soil testing conforming to City Specification # 431-92 Soil Clean-Up Standards is required.

All soils shall conform to City Specification # 431-92 Soil Clean-Up Standards prior to the issuance of demolition, grading, or building permits. Building plans shall reference that "All soils shall conform to City Specification # 431-92 Soil Clean-Up Standards" in the plan notes.

Soil testing results must be submitted, and approved by the Fire Department prior to issuance of a building permit.

**Imported Soil Plan. All imported soil shall meet City Specification #431-92, Soil Cleanup Standards.**

- c. **"Remediation Action Plan"** If contamination is identified, provide a Fire Department approved Remediation Action Plan (RAP) based on requirements found in Huntington Beach *City Specification #431-92, Soil Cleanup Standard*. Upon remediation action plan approval, a rough grading permit may be issued.
- d. **Discovery of soil contamination/pipelines**, etc., must be reported to the Fire Department immediately and an approved remedial work plan submitted.

## SITE DEVELOPMENT

Plans must comply with all applicable Huntington Beach Fire Code (HBFC), Huntington Beach Municipal Code (HBMC), and the California Fire and Buildings Codes.

## Fire Apparatus Access

**Fire Access Roads** shall be provided and maintained in compliance with City Specification # 401, *Minimum Standards for Fire Apparatus Access*. **The currently proposed Fire Access Road does not comply with City Specification #401. The fire apparatus access road shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.** Driving area shall be capable of supporting a fire apparatus (75,000 lbs and 12,000 lb point load). Minimum fire access road width is twenty-four feet (24') wide, with thirteen feet six inches (13' 6") vertical clearance. For Fire Department approval, reference and

demonstrate compliance with City Specification # 401 *Minimum Standards for Fire Apparatus Access* on the plans.

**Fire Access Road Turns and Corners** shall be designed with a minimum inner radius of seventeen feet (17') and a minimum outer radius of forty five feet (45') per City Specification # 401 *Minimum Standards for Fire Apparatus Access*. For Fire Department approval, reference and demonstrate compliance with City Specification # 401 *Minimum Standards for Fire Apparatus Access* on the plans.

**No Parking** shall be allowed in the designated 24 foot wide fire apparatus access road or supplemental fire access per City Specification # 415. For Fire Department approval, reference and demonstrate compliance with City Specification # 415 *Minimum Standards for Fire Apparatus Access* on the plans.

**Fire Lanes (Fire Access Roads)**, as determined by the Fire Department, shall be posted, marked, and maintained per City Specification #415, *Fire Lanes Signage and Markings on Private, Residential, Commercial and Industrial Properties*. Plans shall clearly identify all red fire lane curbs, both in location and length of run. The location of fire lane signs shall be depicted. No parking shall be allowed in the designated 24 foot wide fire apparatus access road or supplemental fire access per City Specification # 415. For Fire Department approval, reference and demonstrate compliance with City Specification # 401 *Minimum Standards for Fire Apparatus Access* on the plans.

**Secured Vehicle Entries** shall utilize KNOX<sup>®</sup> activated access switches (Knox switches for automated gates, Knox padlocks for manual gates), and comply with City Specification #403, *Fire Access for Pedestrian or Vehicular Security Gates & Buildings*. Reference compliance in the plan notes.

## Fire Hydrants and Water Systems

**Fire Hydrants** are required. Hydrants must be portrayed on the site plan. Hydrants shall be installed and in service **before** combustible construction begins. Installation of hydrants and service mains shall meet NFPA 13 and 24, Huntington Beach Fire Code Appendix B and C, and City Specification # 407 Fire Hydrant Installation Standards requirements. Maximum allowed velocity of fire flow in supply piping is 12 fps. Plans shall be submitted to Public Works and approved by the Public Works and Fire Departments. For Fire Department approval, portray the fire hydrants and reference compliance with NFPA 13 and 24, 2002 Edition, Huntington Beach Fire Code Appendix B and C, and City Specification #407 Fire Hydrant Installation Standards in the plan notes.

**Private Fire Hydrants** are required. Hydrants must be portrayed on the site plan. Hydrants shall be installed and in service **before** combustible construction begins. Installation of hydrants and service mains shall meet NFPA 13 and 24, Huntington Beach Fire Code Appendix B and C, and City Specification # 407 Fire Hydrant Installation Standards requirements. Private fire hydrants shall not be pressurized by Fire Department Connections to the sprinkler system. The system

design shall ensure that recirculation of pressurized water from the hydrant, thru the FDC and back through the sprinkler system supply to the hydrant does not occur. Installation of the private fire service main, including fire department connections, shall meet NFPA 13 and 24 requirements. Maximum allowed velocity of fire flow in supply piping is 12 fps. The maintenance of private fire hydrants is the responsibility of the owner or facility association. Shop drawings shall be submitted to and approved by the Fire Department. For Fire Department approval, portray the fire hydrants and reference compliance with City Specification #407 Fire Hydrant Installation Standards in the plan notes.

**Private Fire Service Piping (FSP)** Application for permit shall be made for private on-site Fire Service Piping (FSP), including but not limited to, private fire service mains and underground sprinkler laterals. Maximum allowed velocity of fire flow in supply piping is 12 fps. Additionally, application for permit shall be made for fire protections systems (sprinklers, alarms, chemical, fire pumps, etc.) as applicable.

Permits may be obtained at the City of Huntington Beach Department Fire Department by completing a Fire Permit Form (available at Fire Administration) and submitting such plans and specifications as required by the bureau of fire prevention. A permit constitutes permission to begin work in accordance with approved plans and specifications. The permit fee includes plan checking and inspections by an authorized fire prevention inspector. Development reviews/approvals by the bureau of fire prevention during planning do not constitute approval to perform FSP or fire protection system work, unless otherwise noted.

**Private Fire Service Connection to the Public Water Supply** - Separate plans shall be submitted to the Public Works Department detailing the connection, piping, valves and back-flow prevention assembly (DDCA) for approval and permits. Approval by Public Works and the Fire Department must be completed prior to issuance of a grading permit. The dedicated private fire water service off-site improvements shall be shown on a precise grading plan, prepared by a Licensed Civil Engineer.

## Fire Suppression Systems

### Fire Alarms

**Fire Alarm System** is required. For Fire Department approval, shop drawings shall be submitted to the Fire Department as separate plans for permits and approval. A C-10 electrical contractor, certified in fire alarm systems, must certify the system is operational annually.

### Fire Sprinklers

**Automatic Fire Sprinklers** are required (See Huntington Beach Municipal Code Section 17.56.310). NFPA13 Automatic fire sprinkler systems are required per Huntington Beach Fire

Code for new buildings with "fire areas" 5000 square feet or more or for buildings 10,000 square feet or more. An addition of square footage to an existing building also triggers this requirement.

Separate plans (two sets) shall be submitted to the Fire Department for permits and approval. The system shall provide water flow, tamper and trouble alarms, manual pull stations, interior and exterior horns and strobes, and 24-hour central station monitoring.

Automatic fire sprinkler systems must be maintained operational at all times, with maintenance inspections performed quarterly and the system serviced every five years by a state licensed C-16 Fire Protection Contractor.

For Fire Department approval, reference that a fire sprinkler system will be installed in compliance with the Huntington Beach Fire Code, NFPA 13, and City Specification # 420 - *Automatic Fire Sprinkler Systems* in the plan notes.

**NOTE:** When buildings under construction are more than one (1) story in height and required to have automatic fire sprinklers, the fire sprinkler system shall be installed and operational to protect all floors lower than the floor currently under construction. Fire sprinkler systems for the current floor under construction shall be installed, in-service, inspected and approved prior to beginning construction on the next floor above.

### Fire Sprinkler Supply

**Fire Department Connections (FDC)** to the automatic fire sprinkler systems shall be located to the front of the building, at least 25 feet from and no farther than 150 feet of a properly rated fire hydrant. (FD)

**NPFA 13 Commercial Fire Sprinkler Systems Supply** shall be from a dedicated fire water service installed per Fire Department, Public Works, and Water Division Standards. The dedicated fire water service connection shall be a minimum of four inches (4") in size. Depending on fire sprinkler system demands, larger water service may be required. Separate plans shall be submitted to the Public Works Department for approval and permits, and must be completed prior to issuance of a grading permit. The dedicated fire water service off-site improvements shall be shown on a precise grading plan, prepared by a Licensed Civil Engineer. Contact Huntington Beach Public Works Department (714-536-5431) for offsite water improvement requirements.

### Fire Sprinkler Underground

**On-Site Fire Service Piping (FSP)** Application to the H.B.F.D. for a permit shall be made for on-site Fire Service Piping (FSP), including but not limited to, private fire service mains and underground sprinkler laterals. Maximum allowed velocity of fire flow in supply piping is 12 fps.

**Connection to the Public Water Supply** - Separate plans shall be submitted to the Public Works Department detailing the connection, piping, valves and back-flow prevention assembly (DDCA) for approval and permits. Approval by Public Works and the Fire Department must be completed prior to issuance of a grading permit. The dedicated private fire water service off-site improvements shall be shown on a precise grading plan, prepared by a Licensed Civil Engineer.

### Fire Protection Systems

**Fire Extinguishers** shall be installed and located in all areas to comply with Huntington Beach Fire Code standards found in *City Specification #424*. The minimum required dry chemical fire extinguisher size is 2A 10BC and shall be installed within 75 feet travel distance to all portions of the building. Extinguishers are required to be serviced or replaced annually.

**Commercial Hood and Duct Systems shall be protected with an approved (U.L. 300 compliant) automatic fire-extinguishing system in accordance with CFC Section 904.2.1, 904.3.5, and City Specification 412.** Reference compliance with *City Specification # 412 Protection Of Commercial Cooking Operations* in the plan notes.

### Fire Personnel Access

**Main Secured Building Entries** shall utilize a KNOX<sup>®</sup> Fire Department Access Key Box, installed and in compliance with *City Specification #403, Fire Access for Pedestrian or Vehicular Security Gates & Buildings*. Please contact the Huntington Beach Fire Department Administrative Office at (714) 536-5411 for information. Reference compliance with *City Specification #403 - KNOX<sup>®</sup> Fire Department Access* in the building plan notes.

**Fire Sprinkler System Controls** access shall be provided, utilizing a KNOX<sup>®</sup> Fire Department Access Key Box, installed and in compliance with *City Specification #403, Fire Access for Pedestrian or Vehicular Security Gates & Buildings*. The approximate location of the system controls shall be noted on the plans. Reference compliance in the plan notes. (FD)

**Gates and Barriers** shall be openable without the use of a key or any special knowledge or effort. Gates and barriers in a means of egress shall not be locked, chained, bolted, barred, latched or otherwise rendered unopenable at times when the building or area served by the means of egress is occupied, and shall swing in the direction of travel when required by the Building Code for exit doors.

**Elevators** shall be sized to accommodate an ambulance gurney. Compliance with CBC Chapter 30 and CFC Section 607 is required. For Fire Department approval, demonstrate compliance on the plans.

### Addressing and Street Names

**Structure or Building Address Assignments.** The Planning Department shall review and make address assignments. The individual dwelling units shall be identified with numbers per City Specification # 409 Street Naming and Address Assignment Process. For Fire Department approval, reference compliance with City Specification #409 Street Naming and Address Assignment Process in the plan notes.

**Commercial Building Address Numbers** shall be installed to comply with City Specification #428, Premise Identification. Building address number sets are required on front and rear of the structure and shall be a minimum of six inches (6") high with one and one half inch (1 ½") brush stroke. Note: Units shall be identified with numbers per City Specification # 409 Street Naming and Address Assignment Process. Unit address numbers shall be a minimum of four inches (4") affixed to the units front and rear door. All address numbers are to be in a contrasting color. For Fire Department approval, reference compliance with City Specification #428 Premise Identification in the plan notes and portray the address location on the building.

### GIS Mapping Information

- a. **GIS Mapping Information** shall be provided to the Fire Department in compliance with GIS Department CAD Submittal Guideline requirements. Minimum submittals shall include the following:
- Site plot plan showing the building footprint.
  - Specify the type of use for the building
  - Location of electrical, gas, water, sprinkler system shut-offs.
  - Fire Sprinkler Connections (FDC) if any.
  - Knox Access locations for doors, gates, and vehicle access.
  - Street name and address.

Final site plot plan shall be submitted in the following digital format and shall include the following:

- Submittal media shall be via CD rom to the Fire Department.
- Shall be in accordance with County of Orange Ordinance 3809.
- File format shall be in .shp, AutoCAD, AUTOCAD MAP (latest possible release ) drawing file - .DWG (preferred) or Drawing Interchange File - .DXF.
- Data should be in NAD83 State Plane, Zone 6, Feet Lambert Conformal Conic Projection.
- Separate drawing file for each individual sheet.  
In compliance with Huntington Beach Standard Sheets, drawing names, pen colors, and layering convention. and conform to *City of Huntington Beach Specification # 409 – Street Naming and Addressing*.

For specific GIS technical requirements, contact the Huntington Beach GIS Department at (714) 536-5574.

For Fire Department approval, reference compliance with *GIS Mapping Information* in the building plan notes.

### Building Construction

***Applicable Codes. Compliance with the California Fire Code and Building Code and the Huntington Beach Municipal Code is required.***

***Exits*** shall be provided in accordance with the California Fire and Building Codes (Chapter 10).

***Gates and Barriers*** shall be openable without the use of a key or any special knowledge or effort. Gates and barriers in a means of egress shall not be locked, chained, bolted, barred, latched or otherwise rendered unopenable at times when the building or area served by the means of egress is occupied, and shall swing in the direction of travel when required by the Building Code for exit doors.

### THE FOLLOWING CONDITIONS SHALL BE MAINTAINED DURING CONSTRUCTION:

- a. Fire/Emergency Access And Site Safety shall be maintained during project construction phases in compliance with HBFC Chapter 14, Fire Safety During Construction And Demolition.

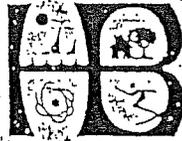
### OTHER:

- a. Discovery of additional soil contamination or underground pipelines, etc., must be reported to the Fire Department immediately and the approved work plan modified accordingly in compliance with City Specification #431-92 Soil Clean-Up Standards.
- b. Outside City Consultants The Fire Department review of this project and subsequent plans may require the use of City consultants. The Huntington Beach City Council approved fee schedule allows the Fire Department to recover consultant fees from the applicant, developer or other responsible party.

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Fire Department City Specifications may be obtained at:  
Huntington Beach Fire Department Administrative Office  
City Hall 2000 Main Street, 5<sup>th</sup> floor  
Huntington Beach, CA 92648  
or through the City's website at [www.surfcity-hb.org](http://www.surfcity-hb.org)

If you have any questions, please contact the Fire Prevention Division at (714) 536-5411.



## Huntington Beach Planning Commission

P.O. BOX 190 HUNTINGTON BEACH, CALIFORNIA 92648

Date: February 3, 1988

### NOTICE OF ACTION

Applicant: Evangelical Free Church - 1912 Florida Street - Huntington Beach, CA 92648

Subject: Conditional Use Permit No. 87-37/Conditional Exception (Variance) No. 87-77/  
Negative Declaration No. 87-43

Your application was acted upon by the Huntington Beach Planning Commission on February 2, 1988 and your request was:

Withdrawn \_\_\_\_\_

Approved \_\_\_\_\_

Approved with Conditions xx (See Attached)

Disapproved \_\_\_\_\_

Tabled \_\_\_\_\_

Continued until \_\_\_\_\_

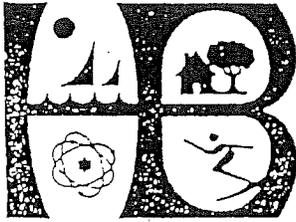
Under the provisions of the Huntington Beach Ordinance Code, the action taken by the Planning Commission is final unless an appeal is filed to the City Council by you or an interested party. Said appeal must be in writing and must set forth in detail the actions and grounds by and upon which the applicant or interested party deems himself aggrieved. Said appeal must be accompanied by a filing fee of one hundred and sixty-five (\$165) dollars and be submitted to the City Clerk's office within ten (10) days of the date of the Commission's action.

In your case, the last day for filing an appeal and paying the filing fee is February 12, 1988.

Provisions of the Huntington Beach Ordinance Code are such that any application becomes null and void one (1) year after final approval, unless actual construction has started.

A-PC-LT-IA

ATTACHMENT NO. 51



## Huntington Beach Planning Commission

P.O. BOX 190

CALIFORNIA 92648

February 3, 1988

Evangelical Free Church  
1912 Florida Street  
Huntington Beach, California 92648

SUBJECT: CONDITIONAL USE PERMIT NO. 87-37/CONDITIONAL EXCEPTION  
(VARIANCE) NO. 87-77/NEGATIVE DECLARATION NO. 87-43

REQUEST: To remodel and expand existing church facility and to  
develop off-site parking lot with bus garage.

LOCATION: Church facility: 1912 Florida Avenue  
Auxiliary lot: 250 feet south of church facility

DATE OF  
APPROVAL: February 2, 1988

### FINDINGS FOR APPROVAL - CONDITIONAL USE PERMIT NO. 87-37:

1. The maintenance and operation of the church expansion will not be detrimental to the general welfare of persons residing or working in the vicinity or property and improvements in the vicinity of the church use.
2. The granting of Conditional Use Permit No. 87-37 to expand the existing church facility from 500 seats to 762 seats, will not adversely affect the General Plan of the City of Huntington Beach.
3. The church expansion proposal is consistent with the goals and objectives of the City's General Plan and Land Use Map.
4. It is understood that the auxiliary parking lot will provide additional off-street parking primarily for the church and may be used by the adjacent Wycliffe office and residential complex. Further, the auxiliary lot will serve to provide 31 required parking spaces for the Evangelical Free Church.

### FINDINGS FOR APPROVAL - CONDITIONAL EXCEPTION (VARIANCE) NO. 87-77:

1. Because of special circumstances applicable to the subject property, including location and surroundings, the strict application of the Zoning Ordinance is found to deprive the subject property of privileges enjoyed by other properties in the vicinity and under identical zone classifications.

ATTACHMENT NO. 5.2

2. The granting of Conditional Exception (Variance) No. 87-77 for the front yard setback for the church facility and for the side and rear yard setbacks for the proposed bus garage is necessary in order to preserve the enjoyment of one or more substantial property rights.
3. The granting of Conditional Exception (Variance) No. 87-77 will not be materially detrimental to the public welfare, or injurious to property in the surrounding residential area.
4. The granting of Conditional Exception (Variance) No. 87-77 will not adversely affect the General Plan of the City of Huntington Beach.

CONDITIONS OF APPROVAL:

Planning Department Requirements

1. The site plans shall be amended in the following manner:
  - a. The site plan, floor plans and elevations for the church facility shall be amended to show no walkway from the auxiliary lot to Wycliffe and to show the maximum height of the church as 30 feet.
  - b. The site plan for the auxiliary parking lot dated August 8, 1987, shall be amended to reflect a 15 foot landscape planter along Florida Avenue.
  - c. The elevations dated October 8, 1987, for the bus garage located in the auxiliary lot shall be the approved layout.

The amended site plans shall be re-submitted to the Planning Director for review and approval.
2. Prior to issuance of building permits, the applicant shall submit the following:
  - a. Landscape and irrigation plan to the Department of Community Development and Public Works for review and approval. Landscaping shall comply with Article 960 and Title 15 of the Huntington Beach Ordinance Code.

3. Prior to the issuance of a grading permit, a detailed soils analysis shall be prepared by a registered Soils Engineer for the auxilliary lot. This analysis shall include on-site soil sampling and laboratory testing of materials to provide detailed recommendations regarding grading, chemical and fill properties, foundations, retaining walls, streets, and utilities.
4. Prior to issuance of the Certificate of Occupancy, the applicant shall restripe the on-site parking lot for the church facility so that it conforms to provisions of Article 960 of the Huntington Beach Ordinance Code.
5. Aside from the 31 spaces noted, the auxiliary parking lot shall not be permitted to be utilized for additional required on-site parking for either the Evangelical Free Church or Wycliffe.
6. The auxilliary parking lot shall only be utilized by the church and Wycliffe office and residential complex. Parking for other uses and/or storage is prohibited.
7. The main entrance to the church sanctuary shall be accessed on the east side of the building from the parking lot. Entrances and exits located along Florida Avenue shall be for emergency purposes only.
8. Church-related buses shall not park in the street; they shall be parked either on-site or in the auxiliary lot.
9. The church facility and use shall comply with Article 8.40 of the City's Municipal Code - Noise Ordinance.
10. Special architectural treatment shall be provided on the bus garage's building walls so as to ensure compatibility with adjacent residential uses. Such treatment is subject to approval by the Community Development Director.
11. Proposed structures shall be architecturally compatible with existing structures.
12. Natural gas shall be stubbed in at the locations of cooking facilities, water heaters, and central heating units.
13. Low-volume heads shall be used on all spigots and water faucets.

14. If lighting is included in the parking lot, high-pressure sodium vapor lamps shall be used for energy savings. All outside lighting shall be directed to prevent "spillage" onto adjacent properties.
15. There shall be no outside storage of vehicles, vehicle parts, equipment or trailers.
16. All building spoils, such as unusable lumber, wire, pipe, and other surplus or unusable material, shall be disposed of at an appropriate off-site facility.
17. The applicant shall meet all applicable local, State, and Federal Fire Codes, Ordinances, and standards.
18. The Planning Commission reserves the right to revoke Conditional Use Permit No. 87-37, if any violation of these conditions or the Huntington Beach Ordinance Code occurs.

Fire Department Requirements

19. On-site fire hydrants shall be provided in number and at locations specified by the Fire Department.
20. An automatic fire sprinkler system shall be approved and installed pursuant to Fire Department regulations.
21. Service roads and fire lanes, as determined by the Fire Department, shall be posted and marked.
22. Fire access lanes shall be maintained. If fire lane violations occur and the services of the Fire Department are required, the applicant will be liable for expenses incurred.
23. The existing oil facilities on the auxilliary lot shall be abandoned in accordance with City of Huntington Beach Fire Department standards and State Department of Natural Resources, Division of Oil and Gas current standards.

Public Works Requirements

24. Prior to issuance of building permits, the subject property shall enter into a reciprocal parking agreement between the auxilliary parking lot and Wycliffe Bible Translator's Inc. A copy of the legal instrument shall be approved by the City Attorney as to form and content and, when approved, shall be recorded in the

CONDITIONAL USE PERMIT NO. 87-37/CONDITIONAL EXCEPTION (VARIANCE) NO.  
87-77/NEGATIVE DECLARATION NO. 87-43  
Page Five

Office of the County Recorder. A copy shall be filed with the Department of Community Development prior to occupancy. (The reciprocal parking agreement attached to this staff report may be adequate but will require City Attorney approval.)

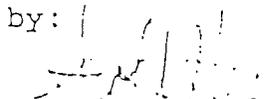
25. Installation of required landscaping and irrigation systems shall be completed prior to final inspection.
26. All applicable Public Works fees shall be paid prior to issuance of building permits.
27. Prior to issuance of building permits, a restrictive covenant approved by the Community Development Department and the City Attorney as to form and recorded with the County Assessor's Office shall be submitted to assure that either: both properties will remain under common ownership since the auxiliary lot contains parking spaces necessary for the church expansion; or an equivalent need for meeting the parking requirement has been identified.

I hereby certify that Conditional Use Permit No. 87-37, Conditional Exception (Variance) No. 87-77, and Negative Declaration No. 87-43 were approved by the Planning Commission of the City of Huntington Beach on February 2, 1988, upon the foregoing findings and conditions. This approval represents conceptual approval only; detailed plans must be submitted for review and the aforementioned conditions completed prior to final approval.

Sincerely,

Mike Adams, Secretary  
Planning Commission

by:

  
Scott Hess  
Associate Planner

MA:SH:kla  
(0004d-3-7)