



City of Huntington Beach Planning and Building Department

**STAFF REPORT**

**TO:** Planning Commission  
**FROM:** Scott Hess, AICP, Director of Planning and Building  
**BY:** Jennifer Villasenor, Senior Planner *JV*  
**DATE:** January 24, 2012

**SUBJECT: GENERAL PLAN AMENDMENT NO. 11-004/ CONDITIONAL USE PERMIT NO. 07-039(R) (HUNTINGTON BEACH SENIOR CENTER)**

**APPLICANT/  
PROPERTY**

**OWNER:** City of Huntington Beach, 2000 Main Street, Huntington Beach, CA 92648

**LOCATION:** 18041 Goldenwest Street, Huntington Beach, CA 92648 (5-acre site southwest of the intersection of Goldenwest Street and Talbert Avenue)

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**STATEMENT OF ISSUE:**

- ♦ General Plan Amendment (GPA) No. 11-004 involves incorporating the Central Park Master Plan into the Recreation and Community Services Element of the General Plan and updating the Central Park Master Plan of Uses to change the 5-acre senior center site from a low intensity to a high intensity recreation area and accommodate the senior center development.
- ♦ Conditional Use Permit (CUP) No. 07-039(R) is a request to construct and operate up to a 45,000 square foot one-story senior recreation facility on a site with a grade difference greater than 3 feet.
- ♦ Staff Recommends approval of General Plan Amendment No. 11-004 and Conditional Use Permit No. 07-039(R) based upon the following:
  - General Plan goals, objectives, and policies encourage the establishment of uses that support the needs of existing and future Huntington Beach residents when compatible with and sensitive to adjacent uses.
  - Provides a centrally located senior and human service recreation facility in the City of Huntington Beach.
  - Provides for a new senior center large enough to meet the current and future demand of an increasing senior population.
  - Enhances the community image of the City of Huntington Beach through the design and construction of a high quality development.
  - Complies with applicable zoning regulations of the OS-PR zoning designation.
  - Emphasizes and incorporates sustainable building practices and provides a project consistent with recognized green building programs.
  - Minimizes adverse environmental effects to the extent feasible.
  - Responds to and complies with the ruling of the California Court of Appeals (Attachment No. 7) based on a lawsuit that challenged the City's CEQA compliance and previous project approvals.

#B-2-b

**RECOMMENDATION:**

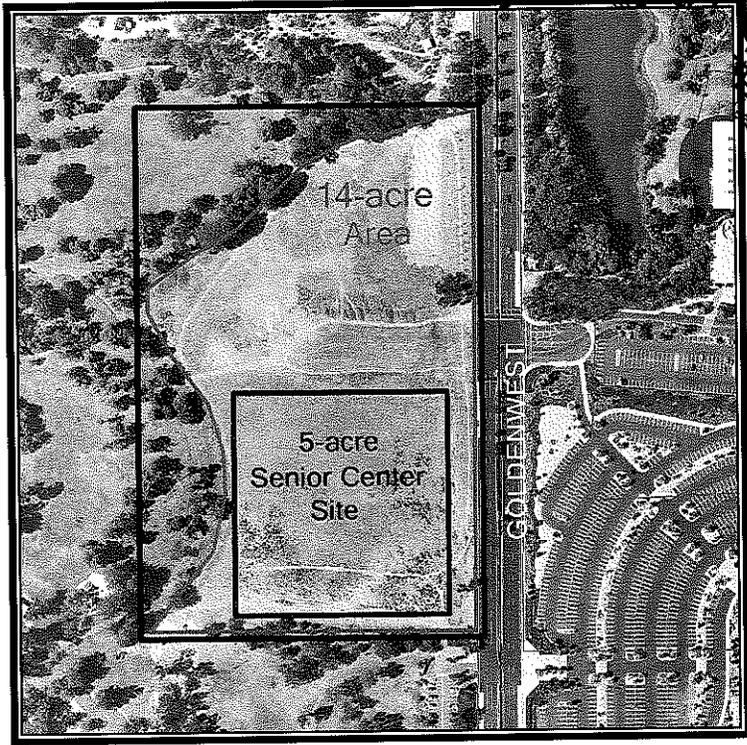
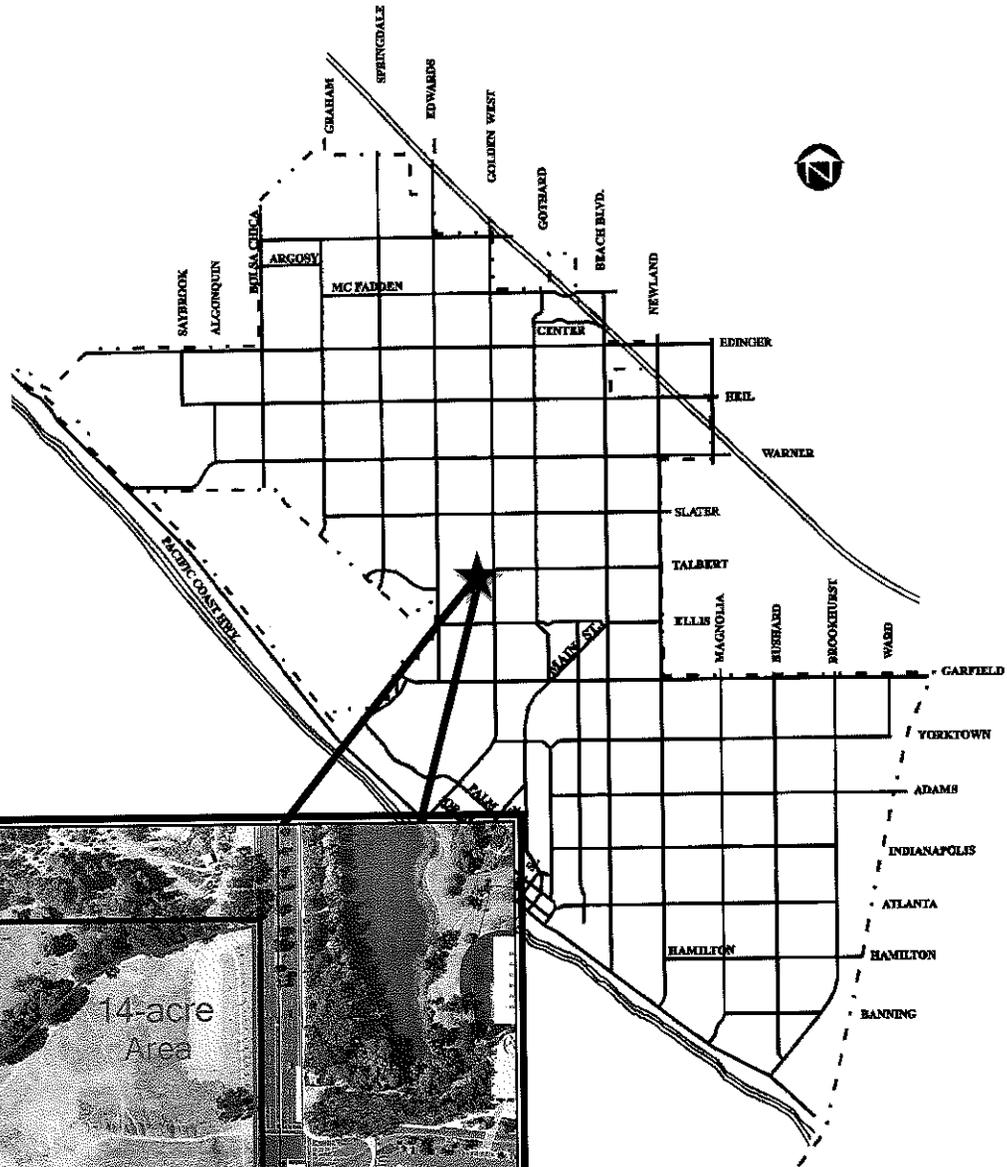
Motion to:

- A. “Approve General Plan Amendment No. 11-004 by approving the draft City Council Resolution No. \_\_\_\_ (Attachment No. 1) and forward to the City Council for adoption;”
- B. “Approve Conditional Use Permit No. 07-039(R) with findings and suggested conditions of approval (Attachment No. 2).”
- C. “Approve CEQA Statement of Findings of Fact with a Statement of Overriding Considerations (Attachment No. 3).”

**ALTERNATIVE ACTION(S):**

The Planning Commission may take alternative actions such as:

- A. “Continue General Plan Amendment No. 11-004 and Conditional Use Permit 07-039R and direct staff accordingly.”
- B. “Deny General Plan Amendment No. 11-004 and Conditional Use Permit 07-039R with findings for denial.”



## VICINITY MAP

SUBSEQUENT ENVIRONMENTAL IMPACT REPORT NO. 07-002/ GENERAL PLAN  
 AMENDMENT NO. 11-004/CONDITIONAL USE PERMIT NO. 07-039(R)  
 (SENIOR CENTER IN HUNTINGTON CENTRAL PARK)

## **PROJECT PROPOSAL:**

General Plan Amendment (GPA) No. 11-004 involves incorporating the Central Park Master Plan into the Recreation and Community Services Element of the General Plan and updating the Central Park Master Plan of Uses to change the 5-acre senior center site from a low intensity to a high intensity recreation area and accommodate the senior center development (Attachment No. 1). The General Plan Amendment is proposed in response to a court ruling from a lawsuit filed challenging the adequacy of the City's CEQA review and project approval (Attachment No. 7). The General Plan Amendment would ensure that the proposed senior center project is consistent with the Central Park Master Plan and General Plan Recreation and Community Services Element. The court ruling and General Plan Amendment are discussed further in the background section of this report.

Conditional Use Permit (CUP) No. 07-039(R) represents a request to construct and operate up to a 45,000 square foot senior recreation facility on a 5-acre site in Central Park pursuant to Chapter 213.06 of the Huntington Beach Zoning and Subdivision Ordinance (HBZSO). The conditional use permit is also necessary because the project is located on a site with a grade differential greater than three feet and includes a gated entrance to the site. No change to the previously approved CUP request is proposed.

The 5-acre project site is located within the 343-acre Huntington Central Park and generally located southwest of the intersection of Goldenwest Street and Talbert Avenue, between the disc golf course, which is at a higher elevation, and the Shipley Nature Center.

The 5-acre project site will comprise the senior center building, parking lot and open space area (Attachment No. 4). The approximately 45,000 square foot building consists of a community hall/dining room, group exercise, fitness and dance rooms, multi-use classrooms, a kitchen, a social lounge and administrative offices. The outdoor open area includes a patio with a decorative trellis, an expansive lawn, a garden, a fountain, benches and a natural meadow. The parking area would include a minimum of 227 parking spaces including spaces for shuttles and City vehicles. Landscaping is provided throughout the site and consists of a mix of California native and non-native drought tolerant vegetation.

Ingress and egress to and from the site is proposed via a planned access driveway with entry gate at the existing Goldenwest Street/ Talbert Avenue intersection. An existing traffic signal at this location will be modified for traffic to enter and exit the project site.

### **Programming & Hours of Operation**

The proposed senior center will operate much like the existing Rodgers Senior Center operates today. The new center will be used for a variety of recreational programs and activities serving the City's seniors, although the facility will be accessible to all residents of the City. Primary uses include: recreation and social services, Senior Outreach Program (transportation, meals, counseling/visitation), and public meetings or receptions when not occupied by primary functions.

Proposed hours of operation are:

<u>Day</u>	<u>Proposed Regular Hours of operation</u>	<u>Classes &amp; Activities</u>
Monday through Friday	8:00 a.m. – 4:30 p.m.	4:30 p.m. – 10:00 p.m.
Saturday & Sunday	None	8:00 a.m. – 10:00 p.m.
<u>Special Events in Multi-Purpose Room (w/ reservations)</u>		
Sunday through Thursday	Until 10:00 p.m.	
Friday & Saturday	Until 12:00 a.m.	

With reservations, special events such as wedding receptions or public meetings are proposed to be held in the community hall when it is not being used for recreation or social programs. The current senior center also allows reservations for special events and currently rents the center to a church on Sundays.

**Background:**

The senior center project (EIR No. 07-002 and CUP No. 07-039) was initially approved by the City Council in 2008, but subsequent legal challenges invalidated the approvals necessitating a new approval process. Specifically, the Court ruled that the City violated its General Plan by failing to modify the General Plan to accommodate the senior center project in the Central Park Master Plan. The Court also determined that the City violated CEQA by failing to consider a reasonable range of alternatives, including closed school sites that became available after the Draft EIR was prepared but before the Final EIR was certified. The Court required the City to set aside the project approvals (EIR and CUP) and process a General Plan Amendment and conduct further environmental analysis. In July 2011, the City Council voted to set-aside the previous approvals and directed staff to prepare a Subsequent EIR and process the General Plan Amendment and Conditional Use Permit entitlements.

**Central Park Master Plan**

The Central Park Master Plan was adopted by the City Council in December 1997. Originally proposed as a Specific Plan, but later changed to a Master Plan, the Central Park Master Plan identified existing developed park uses as well as a proposed Sports Complex and several concepts for long-term development of the remaining undeveloped areas of Central Park. In 1999, the Central Park Master Environmental Impact Report (MEIR) was certified by the City Council. The MEIR analyzed program-level and project-level elements of approximately 157 acres of undeveloped and developed areas of Central Park. The senior center site was analyzed at a program-level as part of a larger 16-acre area (current calculations have since refined this area to 14 acres) designated for low-intensity recreation uses envisioned to be developed with a tot lot, turf, a picnic shelter, restrooms, barbecue area and parking. However, none of these elements were implemented. The proposed General Plan Amendment would amend the current Central Park Master Plan as adopted by the City Council to accommodate the senior center development. The revised Central Park Master Plan (Attachment No. 1) also identifies the proposed permanent location of the Therapeutic Riding Center, which requires approval by the Community Services Commission and City Council. No other changes to the Central Park Master Plan are proposed.

**Study Session:**

The Planning Commission held a study session on the project on January 10, 2012. Most of the Planning Commission questions from the study session are addressed in the Staff Report for SEIR No. 07-002. There were two members of the public that spoke in support of the project. One member of the public provided a packet of information for the Planning Commission, which was provided under separate cover and made part of the project file. In addition, Vice Chair Bixby requested more detail regarding the aspects of the lawsuit for which the City prevailed. However, those items from the lawsuit that the court did not direct the City to address are not germane to the project and do not require further detail in the staff report. Vice Chair Bixby also requested a copy of the trial court decision as well as a copy of the CEQA guidelines related to evaluation of project alternatives. Those items were previously provided to the Planning Commission under separate cover.

**ISSUES:**

**Subject Property And Surrounding Land Use, Zoning And General Plan Designations:**

LOCATION	GENERAL PLAN	ZONING	LAND USE
Subject Site:	OS-P (Open Space – Parks)	OS-PR (Open Space – Parks & Recreation)	Undeveloped, vacant
North of Subject Site (across earthen berm)	OS-P	OS-PR	Undeveloped area; Shipley Nature center
East of Subject Site: (across Goldenwest St.)	OS-P	OS-PR	Sports Complex; Central Library
South of Subject Site:	OS-P	OS-PR	Disc golf course; equestrian center
West of Subject Site:	OS-P	OS-PR	Passive parkland

The project site was developed with a farm house as early as the 1930s. Sometime in the 1960s, the house was demolished and the land was excavated so that dirt from the site could be used for construction of the 405 freeway. In 1974, the City acquired the land for Central Park and it has remained in its current undeveloped state. Although there are no developed structures or programmed uses of the site, the site is used informally for recreation and for traversing to get to other areas of the park.

**General Plan Conformance:**

The current General Plan Land Use Map designation on the subject site is OS-P (Open Space – Parks). The proposed project is consistent with the Open Space – Parks designation and the goals and policies of the City’s General Plan as follows:

A. Air Quality Element

Policy AQ 1.8.3: Encourage developers to maintain the natural topography, to the maximum extent possible, and limit the amount of land clearing, blasting, grading, and ground excavation operations needed for development.

The proposed project anticipates a balanced site with minor cut and fill operations during construction.

Policy AQ 1.10.1: Continue to require the utilization and installation of energy conservation features in all new construction.

As with all new buildings, the proposed project will be required to comply with the energy conservation standards of Title 24, which would ensure that there would be no wasteful or unnecessary use of energy. In addition, the project is pursuing sustainable design elements similar to those utilized in the development of Leadership in Energy and Environmental Design (LEED) buildings.

B. Circulation Element

Goal CE 2: Provide a circulation system which supports existing, approved and planned land uses throughout the City while maintaining a desired level of service on all streets and at all intersections.

Objective CE 3.2: Encourage new development that promotes and expands the use of transit services.

Policy CE 6.1.6: Maintain existing pedestrian facilities and require new development to provide pedestrian walkways and bicycle routes between developments, schools, and public facilities.

Policy CE 6.1.7: Require new development to provide accessible facilities to the elderly and disabled.

Policy CE 7.1.7: Continue to construct landscaped medians in existing major and primary arterial streets and continue to require the construction of landscaped medians in new developments.

The proposed senior center project will be required to comply with the requirements of the ADA. The proposed project will also provide ADA access to the site via a pedestrian path north of the access driveway. The project includes parking spaces and a drop-off area for shuttle vehicles to provide senior transit services to and from the facility. The proposed project includes construction of a planned access driveway at the intersection of Goldenwest Street and Talbert Avenue. The new access driveway includes modifying the existing traffic signal at the intersection and a proposed landscaped median. Finally, the proposed project would not contribute to a reduction in the level of service of surrounding streets and intersections resulting in a deficient circulation system.

C. Environmental Hazards Element

Policy EH 4.1.1: During major redevelopment or initial construction, require specific measures to be taken by developers, builders, or property owners in flood prone areas, to prevent or reduce damage from flood hazards and the risks upon human safety.

Although the site is partially located in Flood Zone A, the project site is already a minimum of 4 feet higher than the base flood elevation at its lowest point. A flood elevation certificate will be required for the proposed project.

D. Growth Management Element

Goal GM 2: Ensure that adequate transportation and public facilities and public services are provided for existing and future residents of the City.

The proposed project would provide a public facility to serve the expanding senior population in the City and be large enough to accommodate future demand. The proposed project does not result in any significant traffic impacts and adequate public facilities and services are available to serve the development.

E. Hazardous Materials Element

Policy HM 1.2.3: Support land use or developments adjacent to or within close proximity of sensitive uses, which do not utilize, store, handle, or contain hazardous materials and/or waste, and which would create an unsafe, unhealthy, or hazardous condition for adjacent uses.

Construction and operation of the proposed senior center would not include the use of large quantities of hazardous materials, and any commonly used hazardous materials would be used and stored in accordance with applicable regulations. Implementation of the proposed project would not create an unsafe or hazardous condition for adjacent uses.

F. Land Use Element

Policy LU 4.2.1: Require that all structures be constructed in accordance with the requirements of the City's building and other pertinent codes and regulations; including new, adaptively re-used, and renovated buildings.

Policy LU 4.2.4: Require that all development be designed to provide adequate space for access, parking, supporting functions, open space and other pertinent elements.

Policy LU 4.2.5: Require that all commercial, industrial and public development incorporate appropriate design elements to facilitate access and use as required by State and Federal Laws such as the Americans with Disabilities Act (ADA).

The proposed project will be constructed in accordance with existing laws and regulations, including the California Building Code, the Huntington Beach Municipal Code and any applicable State and federal law requirements such as ADA. In addition, the project is proposed to be in conformance with the Huntington Beach Zoning and Subdivision Ordinance and is not seeking any variances to deviate from the code requirements. Adequate access to and from the project site will be provided through the entrance at the Goldenwest Street/Talbert Avenue intersection. Sufficient parking will be provided on site for the senior center use and a recommended condition of approval would ensure that ADA

parking spaces would exceed the minimum required. The site also maximizes open space through the provision of outdoor amenities such as a patio, a garden and a fountain courtyard area with over an acre of landscaped area.

#### G. Recreation and Community Services Element

Policy RCS 1.1.1: Provide leisure opportunities through programs and activities that serve the general population as well as the specialized needs of the disabled, children and elderly.

Policy RCS 2.1.1: Maintain the current park per capita ratio of 5.0 acres per 1,000 persons, which includes the beach in the calculation.

Policy RCS 3.1.2: Provide a variety of amenities within recreation areas in order to accommodate persons with different interests.

Policy RCS 3.1.7: Design recreational facilities to the accessibility requirements as specified in State and Federal laws such as the Americans with Disabilities Act (ADA) standards for accessibility.

The proposed project is a senior recreation facility proposed to be developed in accordance with ADA standards. In addition, the project would provide accessible parking spaces exceeding ADA requirements. The senior center and associated amenities will provide the City with expanded recreational resources for a diverse senior population large enough to meet existing and future demand. The senior center will be accessible to all residents of the City of Huntington Beach and provide a needed community facility for the entire City.

Although the proposed General Plan Amendment would re-designate the project site from a low intensity recreation area to a high intensity recreation area on the Central Park Master Plan, the project site would not result in a reduction in City parkland and the City's established "park per capita" ratio would be maintained in accordance with Policy RCS 2.1.1.

#### H. Urban Design Element

Goal UD 1: Enhance the visual image of the City of Huntington Beach.

The proposed project features an architectural design that will blend, to the extent possible, with the park setting of the surrounding area. Materials include an abundance of wood, glass, stone and stucco. The design also incorporates a variety of forms, wall planes, roof lines, offsets, exterior finish materials and decorative architectural elements such as a wood trellis patio and an outdoor fountain courtyard area. The proposed landscaping includes meadow grasses and native and non-native drought tolerant plants that are compatible with the landscaped areas of the passive park west of the project site, Shipley Nature Center to the north, and the Sports Complex to the east across Goldenwest Street.

## I. Utilities Element

Objective U 1.2: Ensure that existing and new development does not degrade the City's surface waters and groundwater basins.

Objective U 1.3: Minimize water consumption rates through site design, use of efficient systems, and other techniques.

Policy U 1.3.2: Continue to require the incorporation of water conservation features in the design of all new and existing uses such as the use of native plants, low flow toilets and water efficient appliances.

Policy U 3.3.2: Where feasible, utilize natural overland flows, open channels, and swale routings as preferred alignments for components of drainage systems.

Policy U 3.3.3: Require that new developments employ the most efficient drainage technology to control drainage and minimize damage to environmental sensitive areas.

The proposed project includes bioswales and vegetated buffer areas to treat runoff from the proposed project's impervious areas. Implementation of BMPs and the project's directing of stormwater flows through the park and Huntington Lake will ensure that project implementation would not adversely impact sensitive environments such as the Shipley Nature Center. Additionally, the project would comply with the City's Municipal Code to reduce water consumption and stormwater runoff. A final Water Quality Management Plan is required to be submitted for review and approval by the Department of Public Works prior to grading permit issuance. Finally, the project will incorporate sustainable site development strategies and utilize water savings features to ensure compliance with City policies to maximize water conservation efforts.

### Zoning Compliance:

The project site is located in the OS-PR (Open Space – Parks & Recreation) zone and complies with the requirements of that zone. The OS-PR zone permits park and recreation facilities with approval of a conditional use permit. The project site is a 5-acre site situated within a 54-acre parcel in Central Park. The proposed project exceeds all minimum standards for lot area, lot width, setbacks and site coverage. The building will be setback approximately 300 feet from Goldenwest Street and is approximately 30 feet in height with architectural projections reaching up to 46 feet in height. The maximum height permitted in the OS-PR zone is 45 feet. However, HBZSO Section 230.72 – *Exceptions to Height Limits*, allows architectural features to exceed the maximum height limit permitted in the base zoning district by no more than 10 feet. The proposed project complies with this provision of the code.

### Parking

The HBZSO does not specify a parking ratio for a park and recreation facility. Rather, the parking ratio is determined to be specific to the requested use. In this case, staff relied on consultation with LPA, Inc., a consulting firm that was commissioned to prepare a feasibility study for a new senior center prior to the Measure T election in November 2006. Based on LPA's experience in designing and constructing community buildings such as the proposed senior center, a recommendation of four to five parking spaces per 1,000 square feet of floor area was suggested. In addition, staff surveyed other senior centers and

found that parking ratios for those centers ranged from one parking space per 100 square feet to one parking space per 300 square feet. It should be noted that the majority of the senior centers surveyed also indicated that parking was sufficient. The proposed senior center project would provide a minimum of 227 parking spaces at a ratio of just over five parking spaces per 1,000 square feet (one per 198 square feet). This is consistent with both the LPA recommendation and the senior centers that were surveyed.

The number of ADA parking spaces required is seven. However, because the proposed senior center may have a higher ratio of disabled drivers, staff is recommending that the number of ADA parking spaces be increased to 20 with the possibility of further increasing the number of ADA spaces if determined necessary once the facility is operational. It should be noted that the current design phase plan accommodates 237 parking spaces with 20 accessible spaces.

### Landscaping

The project proposes substantial landscaping throughout the site. An approximately 20,000 square foot open space area including a 10,000 square foot lawn, is located to the rear of the building. In addition to the lawn, the open space area includes a trellis patio, an area designed for a demonstration or hummingbird garden, a walking path with benches, a courtyard fountain area, and planting areas featuring meadow grasses and native plants. Landscaping is also proposed throughout the parking area, as required by the HBZSO. This landscaping will incorporate bioswales and serve as a natural treatment system for stormwater runoff.

The proposed landscape plan shows a mix of native and non-native drought tolerant vegetation able to support a wide range of climate conditions and soils. As required by code, "smart irrigation controllers" or other technology to reduce runoff will be used for the project. Although the proposed landscape plans show species that occur at adjacent uses, staff is recommending that the final landscape plans show a variety of tree, shrub and grass species that occur at adjacent uses, such as the Shipley Nature Center and the Sports Complex. A natural meadow area is also proposed for the northwest corner of the project site. The proposed project site consists of approximately 28% landscaped area.

The proposed landscape plans were reviewed by the Design Review Board and approved by the Planning Commission and City Council in 2009. Pursuant to the recommended conditions of approval if the project design and landscape plans change substantially from the 2009 City Council approved plans at the time of plan check submittal, the plans would require further Design Review Board review and Planning Commission approval.

### Urban Design Guidelines Conformance:

The Huntington Beach Urban Design Guidelines do not include guidelines specific to park and recreation facilities in the OS-PR zoning district. Notwithstanding, the project generally conforms to the objectives and standards for non-residential projects contained in the Guidelines, including the following:

- Establish attractive, inviting, imaginative and functional site arrangement of buildings and parking areas and high quality architectural and landscape design which provides for proper access, visibility and identity.
- The designer is expected to employ variations in form, building details and siting in order to create visual interest. In all cases, the selected architectural style should be employed on all building elevations.

- Buildings should be divided in distinct massing elements. Building facades should be articulated with architectural elements and details. Vertical and horizontal offsets should be provided to minimize building bulk.
- Vertical architectural elements such as towers should be used as focal points.
- Developments should incorporate plazas and courtyards into their design. Courtyards should be buffered from the street, parking areas and drive aisles.

**Environmental Status:**

The project’s potential environmental impacts are analyzed and discussed in a separate staff report. Prior to any action on General Plan Amendment No. 11-004 and Conditional Use Permit No. 07-039(R), it is necessary for the Planning Commission to review and act on Subsequent Environmental Impact Report No. 07-002 (separate report). Staff, in its initial study of the project, is recommending that Subsequent Environmental Impact Report No. 07-002 be certified as adequate and complete with mitigation measures, Findings of Fact, a Statement of Overriding Considerations, and a Mitigation Monitoring and Reporting Program.

Although the project results in adverse cumulative impacts to the environment that cannot be mitigated or avoided, the Planning Commission may still approve the project if a Statement of Overriding Considerations is adopted. CEQA requires decision makers to balance the benefits of the proposed project against its unavoidable environmental risks in determining whether to approve the project. If the benefits of a proposed project outweigh the unavoidable adverse environmental effects, the City may consider the adverse environmental effects acceptable. In this particular case, staff believes the benefits of the proposed project outweigh the adverse impact to Aesthetics. The cumulative adverse Aesthetic impact is a result of the overall loss of undeveloped open space in Central Park. That being said, approval of the project will provide a new state-of-the-art senior center designed for innovative programming to meet the needs of a multi-generational senior population. The project also provides a centrally located senior center that will be large enough to meet current and future demand of an increasing senior population in the City of Huntington Beach. Development of the project also results in a temporary increase in employment opportunities due to project construction.

Following approval of the General Plan Amendment and Conditional Use Permit, the Planning Commission must approve a CEQA Statement of Findings of Fact with a Statement of Overriding Considerations (Attachment No. 3).

**Coastal Status:** Not applicable.

**Redevelopment Status:** Not applicable.

**Design Review Board:**

The project was preliminarily reviewed by the Design Review Board (DRB) on August 9, 2007 prior to the previous project approval. Subsequent to the previous project approval, the Design Review Board reviewed the final project design and landscape plans on June 11, 2009, which were subsequently approved by the Planning Commission and City Council. If changes to the project design and landscape

plans are made from the 2009 plans, the project would require additional review by the Design Review Board.

**Subdivision Committee:** Not applicable.

**Community Services Commission:**

The Community Services Commission approved the proposed senior center project at their meeting on November 14, 2007.

**Other Departments Concerns and Requirements:**

The planning, design and site layout of the proposed senior center project reflect the recommendations of the Planning and Building, Public Works, Community Services, Police and Fire Departments. The analysis and conclusions included in Subsequent EIR No. 07-002 reflect and are based in part on consultation with the Building Division in addition to the Departments of Community Services, Economic Development, Fire, Police, Public Works and the City Attorney's Office.

As the voice for senior residents in the City, the Council on Aging (COA), via the Community Services Department, provided input on the site plan and interior layout of the proposed senior center.

**Public Notification:**

Legal notice was published in the Huntington Beach/Fountain Valley Independent on January 12, 2012, and notices were sent to property owners of record and occupants within a 2,000 ft. radius of the subject property, individuals/organizations requesting notification (Planning and Building Department's Notification Matrix), and other interested parties. As of January 17, 2012, one comment letter on the project and SEIR has been received (Attachment No. 8). The comment letter raises questions and concerns about the project based on the previously approved Central Park Master Plan, which is summarized in the Background section of this report.

**Application Processing Dates:**

<u>DATE OF COMPLETE APPLICATION:</u>	<u>MANDATORY PROCESSING DATE(S):</u>
Draft SEIR: September 15, 2011	Within 1 year of complete application (September 15, 2012)
Conditional Use Permit: September 15, 2011	Within 180 days from EIR Certification (March 13, 2013)
General Plan Amendment: Not Applicable	Not Applicable

## **ANALYSIS:**

No changes from the previously approved CUP request are proposed. However, since the court ruling required the City to set-aside the project approval, the project must go through the CUP approval process again. In addition, the court ruling also determined that the City violated the General Plan by allowing the senior center on an area designated for low-intensity uses on the Central Park Master Plan. Therefore, a General Plan Amendment is proposed to respond to the court ruling and ensure that the project would be consistent with the Central Park Master Plan and thus, the General Plan.

### **General Plan Amendment**

The senior center site is part of a larger 14-acre area designated on the 1999 Central Park Master Plan for low intensity recreational uses. It was envisioned that the area would be developed with passive park uses and include such amenities as a tot lot, benches and tables, a picnic shelter, restrooms and parking. Vehicular access to the passive park area would be via a planned driveway at the intersection of Goldenwest Street and Talbert Avenue. Because the senior center facility would be considered an active recreation use and the intensity of development on the project site would be increasing over its current designation, the Central Park Master Plan must be amended for the 5-acre senior center site. The site would be re-designated from a low intensity area to a high intensity area. Furthermore, as the Central Park Master Plan is referenced in the Recreation and Community Services Element of the General Plan, a new Central Park Master Plan exhibit is proposed to be incorporated into the Recreation and Community Services Element.

The proposed change from a low intensity recreation area to a high intensity recreation area would not cause a significant reduction in the overall amount of passive/low intensity recreation area in Central Park. In fact, the change in intensity for the 5-acre site represents a 1.5% reduction in passive recreation area in Central Park and is negligible when considered Citywide. The change would not affect the ability of the City to meet the current "parkland per capita" ratio of five acres per 1,000 residents and would result in no difference in the current ratio of 5.25 acres per 1,000 residents. Furthermore, in the context of the undeveloped 14-acre low intensity area, the development footprint of the building is approximately one acre, which constitutes less than 10 percent of the total undeveloped area. As discussed under the General Plan Conformance section of this report, the project, including the proposed General Plan Amendment, would be consistent with other elements of the General Plan.

### **Land Use Compatibility**

The proposed project, as modified by suggested conditions of approval and the mitigation measures contained in SEIR No. 07-002, is consistent with the applicable General Plan Land Use and Zoning designations of Open Space – Park (OS-P) and Open Space – Park and Recreation (OS-PR), respectively. Although the proposed project would result in the development of a new senior center on existing open space, the project will be compatible with the established recreational land use pattern in the area, specifically existing community facilities such as the Central Library and Sports Complex adjacent to the proposed project site. Within this context, the proposed project is compatible with the surrounding parkland. The nearest adjacent residences are located approximately 800 feet west of the project site. Mitigation measures incorporated in SEIR No. 07-002 ensure that residences in the vicinity will not be detrimentally impacted. In addition, the proposed project will add a senior recreation facility on land

currently designated for recreational uses but at a greater intensity than what was previously intended for the site. However, the change in intensity represents a less than significant reduction in passive open space in Central Park. Additionally, there are other parks in the vicinity of the project site with passive recreation area such that the reduction is even less significant from a cumulative Citywide perspective.

To integrate the project with the natural setting of the Shipley Nature Center and existing passive parkland west of the project site, substantial landscaping is proposed throughout the site, including surrounding the entire perimeter of the project site. The proposed landscaping includes species that are currently found at Shipley Nature Center, the Sports Complex and the passive parkland to the west. As discussed in the SEIR for the project, the integrity of environmental resources on and surrounding the site will be maintained or mitigated.

### **Grade Differential**

The 5-acre project site is situated in a relatively low-lying area bordered by ascending slopes on the north, east and south sides. An earthen berm is located north of the project site and will be used for construction of the access driveway to the site from Goldenwest Street. The site is bordered on the east by a slope ascending up to Goldenwest Street and on the south by a slope ascending up to the disc golf course facility. These slopes are at an elevation of approximately 39 feet above mean sea level (MSL). Meanwhile, the project site gradually slopes to the west from an elevation of approximately 26 feet above MSL near the southeast corner of the site to approximately 14 feet above MSL near the southwest corner of the site. Therefore, the adjacent slopes are elevated anywhere from 13 to 25 feet above the project site. According to the conceptual grading plan, at finished grade, the facility will be at an elevation of approximately 22 ½ feet above MSL. The project is designed with minimal cut and fill such that the surrounding slopes and drainage patterns will not be negatively impacted and are generally maintained as they currently exist.

### **Green Building**

The proposed project emphasizes compatibility and sensitivity to the existing uses surrounding the site and will include a variety of sustainable features, such as bioswales, drought-tolerant landscaping, waterless urinals, roofing materials, and installation of low-flow water devices. The City is actively pursuing the feasibility of including additional features that would bring the building closer to LEED certification. As such, a standard condition of approval has been incorporated to ensure the consideration of green building elements into the design of the project.

### **Project Design and Architecture**

The proposed project features an architectural design that will blend, to the extent possible, with the park setting of the surrounding area. Materials include an abundance of wood, glass, stone and stucco. The design also incorporates a variety of forms, wall planes, roof lines, offsets, exterior finish materials and decorative architectural elements such as a wood trellis patio and an outdoor fountain courtyard area. The proposed standing seam metal roofing material reduces cooling requirements and is energy efficient. Overall, the proposed architectural design provides visual interest and minimizes massing.

The proposed building is a one-story building with an average height of 30 feet. Parapets, towers and other architectural features reach up to 46 feet in height. However, because the project site is in a low-lying area relative to the adjacent slopes, the average roofline of the proposed senior center will only project up to 13 ½ feet higher than the slopes to the south and east. Architectural features could extend an additional 16 feet above the average roofline. Being that the project site is situated at a lower elevation, the mass and bulk of the building, as viewed from Goldenwest Street, are further reduced and distant views of the park beyond the project site can still be captured to some degree.

#### **SUMMARY:**

Staff is recommending approval of the project based on the suggested findings and subject to the suggested conditions of approval. The proposed project furthers General Plan goals, objectives, and policies that encourage the establishment of uses that support the needs of existing and future Huntington Beach residents when compatible with and sensitive to adjacent uses. In addition, the project would provide a centrally located senior recreation facility large enough to meet current and future demand of an increasing senior population in the City of Huntington Beach. The project has been designed to comply with all applicable zoning regulations of the OS-PR zoning designation. Finally, the proposed project entitlements and SEIR comply with the court ruling as a result of the lawsuit challenging the project's approval and CEQA compliance as described in Attachment No. 7.

#### **ATTACHMENTS:**

1. Draft City Council Resolution No. \_\_\_\_\_, Approving General Plan Amendment No. 11-004
2. Suggested Findings and Conditions of Approval – Conditional Use Permit No. 07-039R
3. CEQA Statement of Findings of Fact with Statement of Overriding Considerations – SEIR No. 07-002
4. Project Plans, dated October 17, 2007
5. Mitigation Monitoring and Reporting Program – SEIR No. 07-002.
6. Subsequent Environmental Impact Report No. 07-002 – **Not Attached - See Staff Report No. B-2a.**
7. City Council RCA, dated July 5, 2011, Setting aside previous approvals for the Senior Center Project (CUP 07-039 and EIR 07-002) – **Not Attached – See Staff Report No. B-2a. Attachment No. 4**
8. Comment Letter from Robert Schwanz, dated and received January 17, 2012

RESOLUTION NO. \_\_\_\_\_

**A RESOLUTION OF THE CITY COUNCIL OF  
THE CITY OF HUNTINGTON BEACH APPROVING  
GENERAL PLAN AMENDMENT NO. 11-004  
(SENIOR CENTER PROJECT)**

**WHEREAS**, General Plan Amendment No. 11-004 proposes to amend the Recreation and Community Services Element of the City's General Plan to re-designate the 5-acre senior center site as a high intensity recreation area on the Central Park Master Plan of Uses and incorporate the Central Park Master Plan of Uses into the Recreation and Community Services Element as Figure RCS-2. The amendment also includes modifying text of the Recreation and Community Services Element to correct the acreage of Central Park and update the senior center language to reflect the 2006 Measure T vote and reference the senior center project in Central Park. One other change includes an update to Table RCS-1 to identify the senior center as a recreational amenity in Central Park.

Pursuant to California Government Code, the Planning Commission of the City of Huntington Beach, after notice duly given, held a public hearing to consider General Plan Amendment No. 11-004 and recommended approval of said entitlement to the City Council; and

Pursuant to California Government Code, the City Council of the City of Huntington Beach, after notice duly given, held a public hearing to consider General Plan Amendment No. 11-004 and;

The City Council finds that said General Plan Amendment No. 11-004 is necessary for the changing needs and orderly development of the community, is necessary to accomplish refinement of the General Plan, and is consistent with other elements of the General Plan.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Huntington Beach as follows:

**SECTION 1:** That the real property that is the subject of this Resolution (hereinafter referred to as the "Subject Property") consists of five acres and is general located southwest of the intersection of Talbert Avenue and Goldenwest Street between the disc golf course, which is at a higher elevation and the Shipley Nature Center, and is more particularly described in the legal description and map attached hereto as Exhibits "A" and "B", respectively, and incorporated by this reference as though fully set forth herein.

ATTACHMENT NO. 1.1

**SECTION 2:** That General Plan Amendment No. 11-004, which amends the General Plan Recreation and Community Services Element to reflect changes to and incorporate the Central Park Master Plan is hereby approved. The Director of Planning and Building is hereby directed to prepare and file an amended Recreation and Community Services Element. A copy of said Recreation and Community Services Element, as amended, shall be available for inspection in the Planning and Building Department.

**PASSED AND ADOPTED** by the City Council of the City of Huntington Beach at a regular meeting thereof held on the \_\_\_\_\_ day of \_\_\_\_\_, 2012.

\_\_\_\_\_  
Mayor

ATTEST:

APPROVED AS TO FORM:

\_\_\_\_\_  
City Clerk

\_\_\_\_\_  
City Attorney

REVIEWED AND APPROVED:

INITIATED AND APPROVED:

\_\_\_\_\_  
City Manager

\_\_\_\_\_  
Planning and Building Director

ATTACHMENTS

- Exhibit A: Legal Description
- Exhibit B: Map
- Exhibit C: General Plan Changes

# EXHIBIT A

ATTACHMENT NO. 1.3

## EXHIBIT A

### LEGAL DESCRIPTION

That portion of Section 34 of Township 5 South, Range II West, in the Rancho Las Bolsa Chica, in the City of Huntington Beach, County of Orange, State of California, as shown on a map recorded in Book 51, Page 13 of Miscellaneous Maps, records of said County, described as follows:

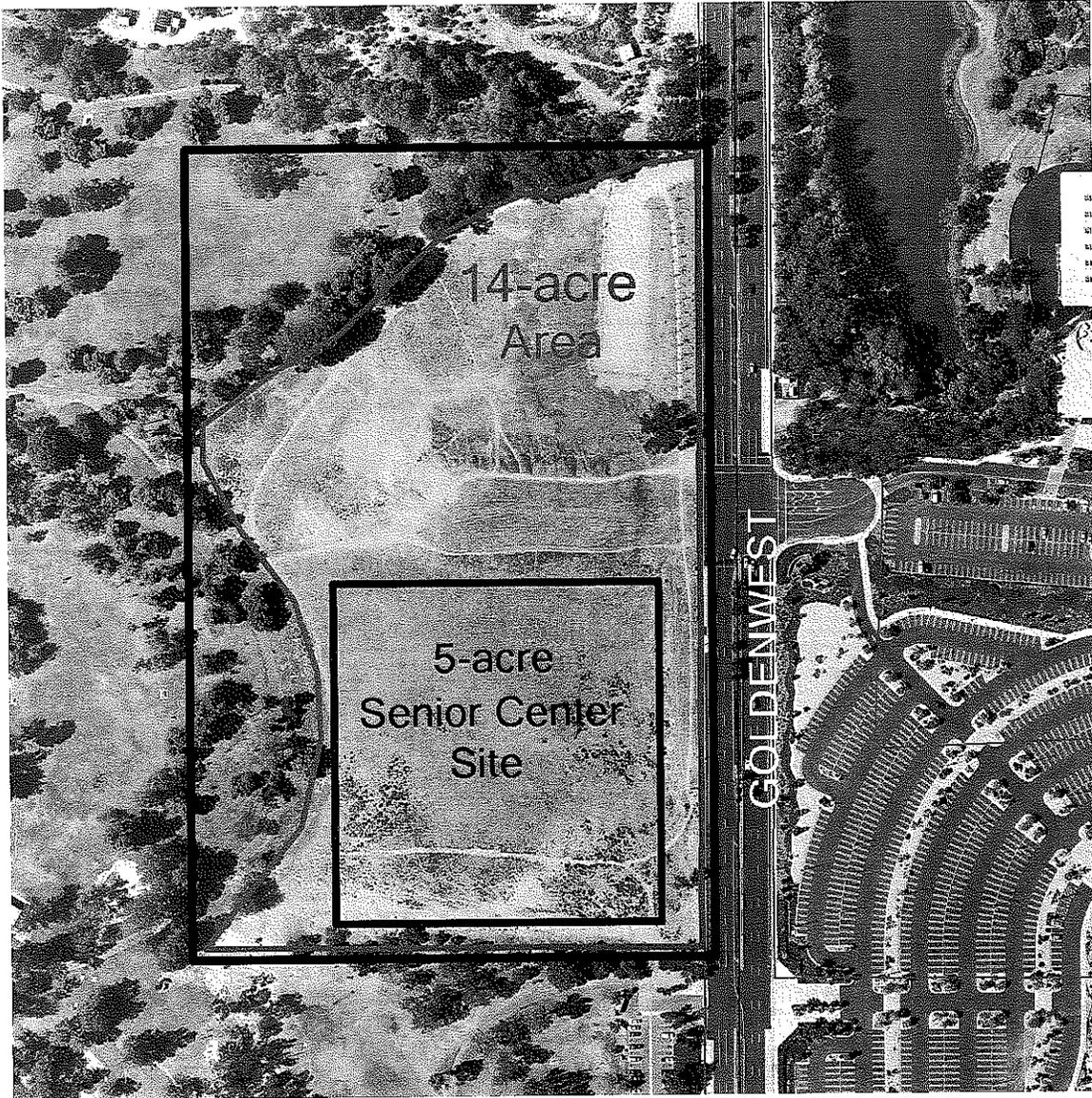
COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 34, THENCE ALONG THE EAST LINE OF SAID SECTION, SAID EAST LINE ALSO BEING THE CENTERLINE OF GOLDENWEST STREET AS SHOWN ON RECORD OF SURVEY 92-1084, RECORDED IN RECORD OF SURVEY BOOK 138, PAGE 9, RECORDS OF SAID COUNTY, SOUTH 00°16'29" WEST 91.94 FEET; THENCE NORTH 90°00'00" WEST 142.07 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 00°16'36" WEST 465.76 FEET; THENCE NORTH 90°00'00" WEST 465.36 FEET; THENCE NORTH 00°00'00" EAST 97.38 FEET; THENCE NORTH 90°00'00" EAST .96 FEET; THENCE NORTH 00°00'00" EAST 368.37 FEET; THENCE NORTH 90°00'00" EAST 466.40 FEET; BEGINNING.

# EXHIBIT B

ATTACHMENT NO. 1.5

# EXHIBIT B

## Senior Center in Huntington Central Park



# EXHIBIT C

ATTACHMENT NO. 1.7

## TECHNICAL SYNOPSIS

The City of Huntington Beach's recreational opportunities consist of parks, golf courses, and coastal amenities, including approximately 9.5 miles of coastal parks and beaches.<sup>1</sup> This first section summarizes the Technical Background Report's existing conditions discussion. The existing condition summary is followed by the Recreation and Community Services Goals, Objectives, Policies, Implementation Programs, and Implementation Matrix.

### A. NON-COASTAL PARKS AND RECREATION

#### 1. Existing Parks and Recreation Facilities

Huntington Beach contains 75 parks which encompass 758.61 acres. These include 10 mini parks totaling 4.58 acres, 52 neighborhood parks totaling 177.54 acres, 10 community parks totaling 168.33 acres, and three regional parks (Huntington Central Park, Blufftop Park and OC Regional Weider Park) encompassing 407.90 acres. Regional facilities adjacent to Huntington Beach include Sunset Aquatic Park in Seal Beach (95 acres/260 boat slips), Mile Square Park in Fountain Valley (632 acres), and Bolsa Chica Ecological Preserve in Orange County (300 acres).<sup>1</sup>

The future parks to be developed are as follows:

- a. Four neighborhood parks will be developed with the Holly-Seacliff Specific Plan.
- b. The proposed Harriet M. Weider Regional Park will link the Central Park with the Bolsa Chica State Beach. The 106 (approximate) acre passive park will provide tot lots, bicycle and pedestrian trails, equestrian trails, and a wetlands interpretive center.
- c. The five (5) acre Gibbs Park has a natural eucalyptus grove. This grove, which covers approximately 60 percent to 70 percent of the site, is a passive park with interpretive elements. The remainder of the park will provide traditional neighborhood park amenities.
- d. The 30 acre Bartlett Park with the historic Newland House, will be further developed, although the City has not determined what facilities will be established. Irby Park, an 11-acre site, has three developed acres and the City intends to develop two additional acres. The remaining six acres will be sold and the funds will be used for other park development. Although City Council has authorized surplusage of the additional acreage, it has not been sold due to the extreme peat condition of the soil.
- e. Huntington Central Park is ~~370~~ **343** acres of which ~~220~~ **266** acres are developed with uses such as the Central Library, Shipley Nature Center and the 45-acre Sports Complex. ~~The remaining 150 acres are included in the 1994 Master Plan of Uses in Central Park.~~ The remaining 77 acres are planned for various passive and active recreation uses as depicted in the Central Park Master Plan of Uses (refer to Figure RCS-2). The Central Park Master Plan of Uses is periodically reviewed and updated as projects and improvements are implemented and new projects are proposed to be incorporated.

#### 2. Community Centers

Edison Community Center (21377 Magnolia Street) and Murdy Community Center (7000 Norma Drive) located in community parks, are the focal points for the majority of the recreation programs offered by the City of Huntington Beach. Instructional classes, tennis classes, youth sports, and adult softball are among the programs conducted at the centers. Inside the facilities are meeting halls, and game rooms with pool,

<sup>1</sup>The information in this paragraph reflects General Plan Amendment No. 10-002 (Sunset Beach Annexation) adopted by the City Council on October 18, 2010. The Annexation is pending approval OF A Local Coastal Program Amendment by the California Coastal Commission.

table tennis, foosball, video games, and other table games. Outside areas include tennis, basketball, and volleyball courts, softball/athletic fields, racquetball/handball, tot play areas, horseshoe pits, and picnic areas. The centers also host extracurricular activities for many of the local schools and civic organizations.

### **3. Seniors' Center**

The Rodgers Seniors' Center, located at 1706 Orange Avenue, provides a variety of free services to the City's elderly population including: employment information, housing assistance, Golden State Senior Discount Program, utility tax exemption credit, paramedic assistance and Vial of Life Program, postal alert, voter registration, surplus commodities distribution, Handy Crafters Club, Singing Goodtimers, and other special activities.

Aging of the general population resulting in an increase of the senior population will increase demand for senior services. ~~The City should assess possibilities for building a new facility in the future to meet increased demand.~~ **In 2006, the City's voters approved a new senior center in Central Park subject to entitlement and environmental clearances. The new senior center would be larger and more centrally-located than the current senior center and able to accommodate the existing and future demands of the City's growing senior population. The new senior center is included in the Central Park Master Plan of Uses (Figure RCS-2) in an area designated for high intensity recreation uses.**

Huntington Beach operates an Outreach Center (1718 Orange Avenue) adjacent to the Rodgers Seniors' Center. The Outreach facility contains approximately 2,624 square feet. This Center houses offices and workrooms for ten employees and numerous volunteers. Outreach services for the elderly population are coordinated from this facility. These support services are:

Home delivered meals	Telecare
Case management	CHERISH (Community Helpers engaged in Restoring and Improving Senior's Home)
Transportation	Bright Outlook Newsletter
Information and Referral	Counseling/support groups

On a daily basis, staff members leave the Center and engage in fieldwork which comprises making visits to older adults' homes and linking them to other senior service providers in the community. Outreach serves 400 older adults on a monthly basis.

### **4. Golf Courses**

The two publicly owned golf courses are 1) Driftwood Course an 11-acre, 9-hole pitch 'n' putt course, located on Pacific Coast Highway, and 2) Meadowlark Golf Course, a 96 acre, 18-hole course, located on Graham Street. In addition, the Seaciff Country Club golf course is an 18-hole, 140-acre private course located on Palm Avenue.

Driftwood Golf Course is operated by a concessionaire who contracts with Mayer Corporation. The City of Huntington Beach Redevelopment Agency is the owner of the property, but has leased the land to the Mayer Corporation. Meadowlark Golf Course is on City-owned land and is also run by a concessionaire who reports to the City of Huntington Beach. Both Golf Courses are open to the general public.

### **5. Huntington Beach City Gym and Pool**

The City Gym and Pool, located at 16th Street and Palm Avenue, offers indoor swimming, showers, volleyball and basketball courts, a recreation room, and meeting room. The 0.8 acre gym site is owned by the City of Huntington Beach.

ATTACHMENT NO. 1.9

	Map Location (see Figure RCS-1)	Acres	Barbeque or Fire Rings	Basketball	Beach	Bicycle Path	Camping	Child Play Area (Tot Lot)	Community Bldg./ Recreation Ctr.	Equestrian Trails	Fishing	Frisbee Golf Course	Gymnasium	Horseshoes	Lake	Nature Center	Open Play Area (Grass)	Picnic Tables	Racquet Ball / Handball	Rental Facility	Skateboard Park	Soccer	Softball/ Baseball	Swimming Pool	Tennis	Undeveloped	Viewpoint	Volleyball
Arealos Park	1	2.58						●									●											
Baca Park	2	14.35		●				●									●	●										●
Bailey Park (formerly Seacliff #1)	3	0.59															●	●										
Banning/Magnolia Park	4	1.18																							●			
Bartlett Park	5	27.73							●												●							
Bauer Park	6	2.04		●				●									●	●										
Bluff Top Park	7	19.66				●											●	●									●	
Bolsa View Park	8	2.70		●				●									●	●										●
Booster Park	9	0.85						●									●	●										
Burke Park	10	2.50						●									●	●										●
Bushard Park	11	2.38						●									●	●										
Carr Park	12	10.72						●			●				●		●	●										
Circle View Park	13	2.31						●									●	●										
Clegg-Stacey Park	14	2.80						●									●	●										
College View Park	15	2.70						●									●	●										
Conrad Park	16	2.71		●				●									●	●										●
Davenport Beach Park	17	0.46			●												●	●										
Discovery Well Park	18	6.60		●				●									●	●										
Drew Park	19	2.28		●				●									●	●										●
Eader Park	20	2.68						●	●								●	●										
Edison Park	21	39.69	●	●				●	●			●					●	●	●				●		●			●
Farquhar Park	22	3.52						●									●	●										
Finley Park (formerly Seacliff #2)	23	0.56						●									●	●										
Franklin Park	24	1.52						●									●	●										
French Park	25	0.33									●						●	●										
Gibbs Park	26	6.83						●								●	●	●										
Gisler Park	27	11.67						●									●	●										
Glen View Park	28	3.02						●									●	●										
Golden View Park	29	2.81						●									●	●										●
Green Park	30	4.04		●				●									●	●							●			●
Greer Park	31	10.44		●				●							●		●	●					●					
Harbour View Park	32	4.02						●	●								●	●			●							●
Haven View Park	33	2.95						●									●	●										
Hawes Park	34	2.68						●									●	●										
Helme Park	35	2.02		●				●									●	●										
Hope View Park	36	3.61						●									●	●										
Humboldt Beach Park	37	0.48			●			●									●	●										

CITY PARKS AND RECREATIONAL FACILITIES (page 1 of 2)

CITY OF HUNTINGTON BEACH GENERAL PLAN

TABLE RCS-1

ATTACHMENT NO. 1.10

	Map Location (see Figure RCS-1)		Barbeque or Fire Rings	Basketball	Beach	Bicycle Path	Camping	Child Play Area (Tot Lot)	Community Bldg./ Recreation Ctr.	Equestrian Trails	Fishing	Frisbee Golf Course	Gymnasium	Horseshoes	Lake	Nature Center	Open Play Area (Grass)	Picnic Tables	Racquet Ball / Handball	Rental Facility	Skateboard Park	Soccer	Softball/ Baseball	Swimming Pool	Tennis	Undeveloped	Viewpoint	Volleyball	
Huntington Central Park	38	343.24	●			●	●	●	●	●	●			●	●	●	●	●				●	●			●	●	●	
Irby Park	39	10.91					●	●	●								●	●		●									
Lake Park	40	4.75					●	●	●					●			●	●		●									
Lake View Park	41	2.16					●	●	●								●	●		●									
Lamb Park	42	2.60					●	●	●								●	●								●			
Lambert Park	43	3.50					●	●	●								●	●											
Langenbeck Park	44	17.02	●				●	●	●								●	●										●	
Lark View Park	45	3.65					●	●	●								●	●							●				
LeBard Park	46	4.99					●	●	●								●	●										●	
Manning Park	47	2.46					●	●	●								●	●							●				
Marina Park	48	9.34	●	●			●	●	●								●	●		●									
Marine View Park	49	2.96					●	●	●								●	●											
McCallen Park	50	5.84		●			●	●	●				●				●	●											
Moffett Park	51	2.38					●	●	●								●	●										●	
Murdy Park	52	16.04	●	●			●	●	●					●			●	●			●				●				●
Newland Park	53	2.94					●	●	●								●	●											
Oak View Park	54	1.31		●			●	●	●				●				●	●			●						●		
Orange County Regional Park (Weider)	55	45.01					●	●	●								●	●										●	
Pattinson Park	56	3.51		●			●	●	●								●	●											
Perry Park	57	1.88					●	●	●								●	●											
Pleasant View Park	58	2.17					●	●	●								●	●											
Prince Park	59	0.22					●	●	●		●						●	●											
Robinwood Park	60	1.41					●	●	●								●	●											
Schroeder Park	61	2.37					●	●	●								●	●											
Seabridge Park	62	3.91			●		●	●	●								●	●											●
Seeley Park	63	3.37		●			●	●	●								●	●											
Sowers Park	64	2.65					●	●	●								●	●											
Sunset Beach Greenbelt Park	65	6.41					●	●	●								●	●											
Sun View Park	66	2.45					●	●	●								●	●											
Talbert Park	67	5.44					●	●	●								●	●											
Tarbox Park	68	0.44					●	●	●								●	●											
Terry Park	69	4.81		●			●	●	●								●	●											
Triangle Park	70	1.11					●	●	●								●	●											
Trinidad Park	71	0.75			●		●	●	●								●	●											
Wardlow Park	72	8.36					●	●	●								●	●											
Wieder Park	73	4.80		●			●	●	●								●	●											
Worthy Park	74	11.33		●			●	●	●								●	●					●						
11th Street Beach Park	75	0.17					●	●	●								●	●											

Add ●

CITY PARKS AND RECREATIONAL FACILITIES (page 2 of 2)

CITY OF HUNTINGTON BEACH GENERAL PLAN

TABLE RCS-1

ATTACHMENT NO. 1.11



## ATTACHMENT NO. 2

### SUGGESTED FINDINGS AND CONDITIONS OF APPROVAL

#### CONDITIONAL USE PERMIT NO. 07-039R

#### SUGGESTED FINDINGS FOR APPROVAL - CONDITIONAL USE PERMIT NO. 07-039R:

1. Conditional Use Permit No. 07-039R to permit the construction and operation of up to a 45,000 square foot senior recreation facility will not be detrimental to the general welfare of persons working or residing in the vicinity or detrimental to the value of the property and improvements in the neighborhood. A SEIR that analyzed the project's potential to generate detrimental impacts on people and surrounding properties was prepared and concluded that, with mitigation, there are no significant project specific impacts. In addition, being that the project is located in Central Park, the closest adjacent residences are located approximately 800 feet west of the project site. One significant cumulative impact to aesthetics was identified in the SEIR and as such, a Statement of Overriding Considerations, which discusses the benefits of the project in relation to the cumulative impact, is required for approval of the project.
2. Conditional Use Permit No. 07-039R will be compatible with surrounding uses because it is consistent with the applicable General Plan Land Use and Zoning land use designations for the site. Although the proposed project will result in the development of a new senior center on existing open space, the project will be compatible with the established recreational land use pattern in the area, specifically existing community facilities such as the Central Library and Sports Complex adjacent to the proposed project site. Within this context, the proposed project is compatible with the surrounding parkland and is a permitted use within the General Plan and Zoning land use designations. The proposed project would add a senior recreation facility on land currently designated for recreational uses consistent with the revised Central Park Master Plan adopted as part of General Plan Amendment No. 11-004. The project will not result in a loss of parkland resulting in a deficiency Citywide.

The proposed building features a design with architectural features that minimize the visual bulk and mass of the buildings and provides for compatibility with the surrounding parkland. The project complies with all of the requirements for development in the OS-PR zoning district and provides an adequate number of parking spaces. To integrate the project with the natural setting of the Shipley Nature Center and existing passive parkland west of the project site, substantial landscaping is proposed throughout the site, including surrounding the entire perimeter of the project site.

3. Conditional Use Permit No. 07-039R will comply with the provisions of the base district and other applicable provisions in Titles 20-25 of the Huntington Beach Zoning and Subdivision Ordinance, including the Open Space – Parks & Recreation zone permitted uses and minimum setbacks. Parking requirements are determined by the conditional use permit and are specific to the requested use. A sufficient number of parking spaces is provided for the project based on surveys of similar projects.
4. The granting of Conditional Use Permit No. 07-039R will not adversely affect the General Plan. It is consistent with the Land Use Element designation of OS-P (Open Space - Parks) on the subject property. In addition, it is consistent with the following goals and policies of the General Plan:

### Air Quality Element

Policy AQ 1.8.3: Encourage developers to maintain the natural topography, to the maximum extent possible, and limit the amount of land clearing, blasting, grading, and ground excavation operations needed for development.

The proposed project anticipates a balanced site with minor cut and fill operations during construction.

Policy AQ 1.10.1: Continue to require the utilization and installation of energy conservation features in all new construction.

As with all new buildings, the proposed project will be required to comply with the energy conservation standards of Title 24, which would ensure that there would be no wasteful or unnecessary use of energy. In addition, the project is pursuing sustainable design elements similar to those utilized in the development of Leadership in Energy and Environmental Design (LEED) buildings.

### Circulation Element

Goal CE 2: Provide a circulation system which supports existing, approved and planned land uses throughout the City while maintaining a desired level of service on all streets and at all intersections.

Objective CE 3.2: Encourage new development that promotes and expands the use of transit services.

Policy CE 6.1.6: Maintain existing pedestrian facilities and require new development to provide pedestrian walkways and bicycle routes between developments, schools, and public facilities.

Policy CE 6.1.7: Require new development to provide accessible facilities to the elderly and disabled.

Policy CE 7.1.7: Continue to construct landscaped medians in existing major and primary arterial streets and continue to require the construction of landscaped medians in new developments.

The proposed senior center project will be required to comply with the requirements of the ADA. The proposed project will also provide ADA access to the site via a pedestrian path north of the access driveway. The project includes parking spaces and a drop-off area for shuttle vehicles to provide senior transit services to and from the facility. The proposed project includes construction of a planned access driveway at the intersection of Goldenwest Street and Talbert Avenue. The new access driveway includes modifying the existing traffic signal at the intersection and a proposed landscaped median. Finally, the proposed project would not contribute to a reduction in the level of service of surrounding streets and intersections resulting in a deficient circulation system.

### Environmental Hazards Element

Policy EH 4.1.1: During major redevelopment or initial construction, require specific measures to be taken by developers, builders, or property owners in flood prone areas, to prevent or reduce damage from flood hazards and the risks upon human safety.

Although the site is partially located in Flood Zone A, the project site is already a minimum of 4 feet higher than the base flood elevation at its lowest point. A flood elevation certificate will be required for the proposed project.

Growth Management Element

Goal GM 2: Ensure that adequate transportation and public facilities and public services are provided for existing and future residents of the City.

The proposed project would provide a public facility to serve the expanding senior population in the City and be large enough to accommodate future demand. The proposed project does not result in any significant traffic impacts and adequate public facilities and services are available to serve the development.

Hazardous Materials Element

Policy HM 1.2.3: Support land use or developments adjacent to or within close proximity of sensitive uses, which do not utilize, store, handle, or contain hazardous materials and/or waste, and which would create an unsafe, unhealthy, or hazardous condition for adjacent uses.

Construction and operation of the proposed senior center would not include the use of large quantities of hazardous materials, and any commonly used hazardous materials would be used and stored in accordance with applicable regulations. Implementation of the proposed project would not create an unsafe or hazardous condition for adjacent uses.

Land Use Element

Policy LU 4.2.1: Require that all structures be constructed in accordance with the requirements of the City's building and other pertinent codes and regulations; including new, adaptively re-used, and renovated buildings.

Policy LU 4.2.4: Require that all development be designed to provide adequate space for access, parking, supporting functions, open space and other pertinent elements.

Policy LU 4.2.5: Require that all commercial, industrial and public development incorporate appropriate design elements to facilitate access and use as required by State and Federal Laws such as the Americans with Disabilities Act (ADA).

The proposed project will be constructed in accordance with existing laws and regulations, including the California Building Code, the Huntington Beach Municipal Code and any applicable State and federal law requirements such as ADA. In addition, the project is proposed to be in conformance with the Huntington Beach Zoning and Subdivision Ordinance and is not seeking any variances to deviate from the code requirements. Adequate access to and from the project site will be provided through the entrance at the Goldenwest Street/Talbert Avenue intersection. Sufficient parking will be provided on site for the senior center use and a recommended condition of approval would ensure that ADA parking spaces would exceed the minimum required. The site also maximizes open space through the

provision of outdoor amenities such as a patio, a garden and a fountain courtyard area with over an acre of landscaped area.

### Recreation and Community Services Element

Policy RCS 1.1.1: Provide leisure opportunities through programs and activities that serve the general population as well as the specialized needs of the disabled, children and elderly.

Policy RCS 2.1.1: Maintain the current park per capita ratio of 5.0 acres per 1,000 persons, which includes the beach in the calculation.

Policy RCS 3.1.2: Provide a variety of amenities within recreation areas in order to accommodate persons with different interests.

Policy RCS 3.1.7: Design recreational facilities to the accessibility requirements as specified in State and Federal laws such as the Americans with Disabilities Act (ADA) standards for accessibility.

The proposed project is a senior recreation facility proposed to be developed in accordance with ADA standards. In addition, the project would provide accessible parking spaces exceeding ADA requirements. The senior center and associated amenities will provide the City with expanded recreational resources for a diverse senior population large enough to meet existing and future demand. The senior center will be accessible to all residents of the City of Huntington Beach and provide a needed community facility for the entire City.

Although the proposed General Plan Amendment would re-designate the project site from a low intensity recreation area to a high intensity recreation area on the Central Park Master Plan, the project site would not result in a reduction in City parkland and the City's established "park per capita" ratio would be maintained in accordance with Policy RCS 2.1.1.

### Urban Design Element

Goal UD 1: Enhance the visual image of the City of Huntington Beach.

The proposed project features an architectural design that will blend, to the extent possible, with the park setting of the surrounding area. Materials include an abundance of wood, glass, stone and stucco. The design also incorporates a variety of forms, wall planes, roof lines, offsets, exterior finish materials and decorative architectural elements such as a wood trellis patio and an outdoor fountain courtyard area. The proposed landscaping includes meadow grasses and native and non-native drought tolerant plants that are compatible with the landscaped areas of the passive park west of the project site, Shipley Nature Center to the north, and the Sports Complex to the east across Goldenwest Street.

### Utilities Element

Objective U 1.2: Ensure that existing and new development does not degrade the City's surface waters and groundwater basins.

Objective U 1.3: Minimize water consumption rates through site design, use of efficient systems, and other techniques.

Policy U 1.3.2: Continue to require the incorporation of water conservation features in the design of all new and existing uses such as the use of native plants, low flow toilets and water efficient appliances.

Policy U 3.3.2: Where feasible, utilize natural overland flows, open channels, and swale routings as preferred alignments for components of drainage systems.

Policy U 3.3.3: Require that new developments employ the most efficient drainage technology to control drainage and minimize damage to environmental sensitive areas.

The proposed project includes bioswales and vegetated buffer areas to treat runoff from the proposed project's impervious areas. Implementation of BMPs and the project's directing of stormwater flows through the park and Huntington Lake will ensure that project implementation would not adversely impact sensitive environments such as the Shipley Nature Center. Additionally, the project would comply with the City's Municipal Code to reduce water consumption and stormwater runoff. A final Water Quality Management Plan is required to be submitted for review and approval by the Department of Public Works prior to grading permit issuance. Finally, the project will incorporate sustainable site development strategies and utilize water savings features to ensure compliance with City policies to maximize water conservation efforts.

#### **SUGGESTED CONDITIONS OF APPROVAL - CONDITIONAL USE PERMIT 07-039R:**

1. The project plans received and dated October 17, 2007 shall be the conceptually approved design with the following modifications.
  - a. The gate located at the terminus of the access driveway shall be relocated to the south edge of the reconfigured "T" intersection.
  - b. The number of ADA parking spaces shall be increased to 20. Once the facility is operational, the number of ADA spaces may be revised as determined necessary by the Community Services Department.
2. The project shall strive to achieve LEED certification. A variety of sustainable features shall be used and may include (but are not limited to) those recommended by the U.S. Green Building Council's Leadership in Energy and Environmental Design (LEED) Program certification (<http://www.usgbc.org/DisplayPage.aspx?CategoryID=19>) or Build It Green's Green Building Guidelines and Rating Systems (<http://www.builditgreen.org/index.cfm?fuseaction=guidelines>).
3. Prior to submittal for plan check, the final project design and landscape plans shall be consistent with those approved by the City Council on August 17, 2009. The final landscape plans shall incorporate a variety of tree, shrub and grass species that are currently planted at adjacent uses, including the Sports Complex, Shipley Nature Center and the passive park west of the project site. Meadow grasses shall be planted in the northwest corner of the project site and include species that occur at Shipley Nature Center consistent with the August 17, 2009 City Council approved plan. If the final plans substantially change from the August 17, 2009 Council approved plans, as determined by the Director of Planning and Building, the final project design and landscape plans shall require further

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review by the Design Review Board and approval by the Planning Commission at a non-public hearing.

4. At least 14 days prior to any grading activity, the applicant/developer shall provide notice in writing to property owners of record and tenants of properties within a 500-foot radius of the project site as noticed for the public hearing. The notice shall include a general description of planned grading activities and an estimated timeline for commencement and completion of work and a contact person name with phone number. Prior to issuance of the grading permit, a copy of the notice and list of recipients shall be submitted to the Planning Department.
5. A public art element, approved by the Design Review Board, Director of Planning, and Director of Huntington Beach Art Center, shall be depicted on the plans. Public Art shall be innovative, original, and of artistic excellence; appropriate to the design of the project; and reflective of the community's cultural identity (ecology, history, or society).
6. The project shall comply with all mitigation measures adopted in conjunction with Subsequent Environmental Impact Report No. 07-002.

**INDEMNIFICATION AND HOLD HARMLESS CONDITION:**

The owner of the property which is the subject of this project and the project applicant if different from the property owner, and each of their heirs, successors and assigns, shall defend, indemnify and hold harmless the City of Huntington Beach and its agents, officers, and employees from any claim, action or proceedings, liability cost, including attorney's fees and costs against the City or its agents, officers or employees, to attack, set aside, void or annul any approval of the City, including but not limited to any approval granted by the City Council, Planning Commission, or Design Review Board concerning this project. The City shall promptly notify the applicant of any claim, action or proceeding and should cooperate fully in the defense thereof.

# HUNTINGTON BEACH SENIOR CENTER

## Findings of Fact/ Statement of Overriding Considerations

*Prepared for*  
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January 2012

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# CHAPTER 1 Introduction

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This document presents the Findings of Fact and Statement of Overriding Considerations that must be adopted by the City of Huntington Beach (City) pursuant to the requirements of Sections 15091 and 15093, respectively, of the California Environmental Quality Act Guidelines (CEQA Guidelines) prior to the approval of the Huntington Beach Senior Center (proposed project).

This document is organized as follows:

- Chapter 1** Introduction to the Findings of Fact and Statement of Overriding Considerations.
- Chapter 2** Presents the CEQA Findings of the Subsequent Environmental Impact Report (SEIR), including the identified significant cumulative impact.
- Chapter 3** Presents the alternatives to the proposed project and evaluates them in relation to the findings contained in CEQA Guidelines Section 15091(a)(3). The City must consider and make findings regarding alternatives when a project would involve environmental impacts that cannot be reduced to a less-than-significant level, or cannot be substantially reduced, by proposed mitigation measures.
- Chapter 4** Presents a Statement of Overriding Considerations that is required in accordance with CEQA Guidelines Section 15093 for significant impacts of the proposed project that cannot be mitigated to a less-than-significant level.

The proposed project involves development of a new one-story multi-purpose senior center on undeveloped land in Central Park. The 5 acre development would comprise the senior center, parking areas, vehicular storage, outdoor common areas, and a service area. Open space areas would consist of courtyards, gardens, and landscaping/planting pocket areas. Landscaping around the building and parking lot would be drought-tolerant, low water usage-type vegetation.

A new access driveway planned at Goldenwest Street and Talbert Avenue for ingress/egress to the project site would be constructed with the proposed project. An existing traffic signal at this location would be modified for traffic to enter the project site. As Goldenwest Street is elevated above the site, an ADA ramp from the site to the intersection as well as from the OCTA bus stop located near the Goldenwest Street/Talbert Avenue intersection would be provided for pedestrian access. A total of 227 parking spaces would be provided including spaces for ADA parking and shuttle buses.

Under the proposed project, no significant unavoidable impacts would occur on a project level. However, a significant cumulative impact would occur to aesthetics. In comparison to the alternatives analyzed against the proposed development, the City finds that the Alternative Central Park Site Alternative is the environmentally superior alternative.

The following discretionary approvals by the City of Huntington Beach are required to implement the proposed project:

- **Conditional Use Permit Request**—To permit construction of a senior recreation facility in Huntington Beach Central Park with a 3-foot grade differential.
- **Design Review approval** (only required if substantial changes are made to existing design)

- **Central Park Master Plan Amendment**—Amendment to the Central Park Master Plan land use designation for the 5-acre project site from the current low-intensity designation to the proposed high-intensity designation.
- **General Plan Amendment: Recreation and Community Services Element**—Amendment to the Recreation and Community Services Element of the City's General Plan to (1) identify the proposed project as the intended location of the proposed senior center; (2) increase the use intensity on this site from low-intensity to high-intensity; and (3) incorporate the Central Park Master Plan into the Recreation and Community Services Element of the General Plan.

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## CHAPTER 2 CEQA Findings

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### 2.1 INTRODUCTION

This chapter presents the potential impacts that were identified in the SEIR and the findings that are required in accordance with CEQA Guidelines Section 15091. The possible findings for each significant and/or potentially significant adverse impact are as follows:

- (a) Changes or alterations have been required in, or incorporated into the project which avoid, substantially lessen, or reduce the magnitude of the significant environmental effect as identified in the SEIR (“Finding 1”).
- (b) Such changes or alterations are within the responsibility and jurisdiction of another public agency and not the agency making the findings. Such changes have been adopted by such other agency or can and should be adopted by such other agency (“Finding 2”).
- (c) Specific economic, social, or other considerations make infeasible the mitigation measures or project alternatives in the SEIR (“Finding 3”).

CEQA requires that the lead agency adopt mitigation measures or alternatives, where feasible, to avoid or substantially reduce significant environmental impacts that would otherwise occur as a result of a project. Project modification or alternatives are not required, however, where they are infeasible or where the responsibility for modifying the project lies with some other agency (CEQA Guidelines Section 15091, subd. (a), [3]). Public Resources Code Section 21061.1 defines “feasible” to mean “capable of being accomplished in a successful manner within a reasonable period of time, taking into account economic, environmental, social, and technological factors.” CEQA Guidelines Section 15364 adds another factor: “legal” considerations (see also *Citizens of Goleta Valley v. Board of Supervisors* [Goleta II] [1990] 52 Cal.3d 553, 565 [276 Cal. Rptr. 410]).

Only after fully complying with the findings requirement can an agency adopt a Statement of Overriding Considerations (*Citizens for Quality Growth v. City of Mount Shasta* [1988] 198 Cal.App.3d 433, 442, 445 [243 Cal. Rptr. 727]). CEQA requires the Lead Agency to state in writing the specific rationale to support its actions based on the Final SEIR and/or information in the record. This written statement is known as the Statement of Overriding Considerations. The Statement of Overriding Considerations provides the information that demonstrates the decision making body of the Lead Agency has weighed the benefits of the project against its unavoidable adverse effects in determining whether to approve the project. If the benefits of the project outweigh the unavoidable adverse environmental effects, the adverse effects may be considered “acceptable.”

The California Supreme Court has stated that, “the wisdom of approving any development project, a delicate task which requires a balancing of interests, is necessarily left to the sound discretion of the local officials and their constituents who are responsible for such decisions. The law as we interpret and apply it simply requires that those decisions be informed, and therefore balanced” (*Goleta II*, 52 Cal.3d 553, 576 [276 Cal. Rptr. 401]).

This document presents the City of Huntington Beach findings as required by CEQA, cites substantial evidence in the record in support of each of the findings, and presents an explanation to supply the logical step between the finding and the facts in the record (CEQA Guidelines Section 15091). Additional facts that support the findings are set forth in the Draft SEIR, the Final SEIR, staff reports to the Planning Commission, and the record of proceedings.

Table 2-1 (CEQA Findings for the Huntington Beach Senior Center) summarize the potentially significant impacts of the SEIR that were reduced to less-than-significant levels with mitigation as well as the significant cumulative impact identified, as currently proposed for certification and adoption of the proposed project.

**Table 2-1 CEQA Findings for the Huntington Beach Senior Center**

Impact Statement	Impact Summary	Findings
<p><b>Aesthetics</b></p> <p><b>Impact 4.1-3.</b> Implementation of the proposed project would introduce new sources of light and glare into the project vicinity</p>	<p>The micro-ecology of the site and adjacent open space areas could result in potentially significant impacts on sensitive species from project lighting and activities. However, implementation of mitigation measures MM4.1-3(a) through (c) would reduce impacts associated with onsite lighting as the lowest levels of illumination would be required, and lighting on site would not remain on at all times during the nighttime hours.</p> <p>Glare from headlights entering and exiting the site from Goldenwest Street would be momentarily visible to uses across Goldenwest (upon exiting the site) and perhaps, distantly, the residential uses to the west and north on entering the project. With implementation of mitigation measures MM4.1-3(d) and (e), non-reflective façade treatments would be used to the extent feasible and substantial landscaping would be provided throughout the site to soften building appearance and glare.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.1-3 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of Mitigation Measures MM4.1-3 (a) through (e).</p>
<p><b>Cumulative Aesthetics Impact</b></p>	<p>Given that the project would modify land that is currently undeveloped and the character of Central Park would be altered, the proposed project would result in a cumulatively considerable impact. Landscaping and open space would be provided, which would enhance the site's visual contribution to the surrounding park lands, and the project would not appear out of character when compared with surrounding land uses. However, the increase in development intensity of the project site, when compared with current uses, contributes incrementally to the visual degradation of the area in terms of reducing the amount of undeveloped open space within Central Park. This would be considered a significant cumulative impact.</p>	<p>Finding No. 3. The City finds that the cumulative impact is a result of incremental development which reduces the amount of open space within the park. No feasible mitigation is available.</p>

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Table 2-1

CEQA Findings for the Huntington Beach Senior Center

Impact Statement	Impact Summary	Findings
<p><b>Air Quality and Greenhouse Gas Emissions</b></p> <p><b>Impact 4.2-2.</b> Peak construction activities associated with the proposed project could generate emissions that exceed SCAQMD thresholds.</p>	<p>Construction related daily emissions would not exceed SCAQMD significance thresholds. However, these calculations assume that appropriate dust control measures would be implemented during each phase of development as required by SCAQMD Rule 403—Fugitive Dust, and that all other appropriate mitigation (mitigation measures MM4.2-2(a) through MM4.2-2(e)) as well as appropriate Code requirements CR4.2-2(a) through (f) have been implemented. Thus, all identified city code requirements and mitigation measures are required.</p>	<p>Finding 1. The City finds that changes or alterations have been required in, or incorporated into, the project, which would reduce Impact 4.2-2 to less-than-significant levels. No additional mitigation measures are necessary with the implementation of CR4.2-2(a) through (f) and mitigation measures MM4.2-2(a) through (e).</p>
<p><b>Biological Resources</b></p> <p><b>Impact 4.3-1.</b> The proposed project could have a substantial adverse impact either directly (e.g., habitat loss) or indirectly (e.g., noise effects on wildlife) through habitat modifications, on any species identified or published as an endangered, threatened, rare, candidate, sensitive, or special-status species by CDFG or USFWS, and meets the definition of Section 15380 (b), (c), or (d) of the CEQA guidelines.</p>	<p>Potential direct or indirect impacts to burrowing owls are considered a potentially significant impact. In addition, project implementation and construction-related activities may result in the disturbance of nesting species protected by the MBTA. Prior to the onset of ground disturbance activities, the City shall implement mitigation measures MM4.3 1(a) through 4.3-1(b) and Project Requirement PR4.3-1, which entail focused surveys and avoidance measures for the burrowing owl and sensitive nesting and MBTA species, and appropriate agency consultation.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.3-1 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of mitigation measures MM4.3-1(a) and 4.3-1(b) and project requirement PR4.3-1</p>
<p><b>Impact 4.3-2.</b> Development of the proposed project would have a substantial adverse impact to raptor foraging habitat.</p>	<p>As a result of project implementation, approximately 5 acres of ruderal vegetation that is suitable for use as raptor foraging habitat would be removed. Although implementation of the proposed project would remove approximately 5 acres of existing foraging habitat within the currently-designated Low Intensity Recreation Area, implementation of mitigation measure MM4.3-2 would ensure impacts to raptor foraging habitat would be mitigated at a ratio of 1:1.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.3-2 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of mitigation measure MM4.3-2.</p>

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**Table 2-1 CEQA Findings for the Huntington Beach Senior Center**

Impact Statement	Impact Summary	Findings
<p><b>Cultural Resources</b></p>		
<p><b>Impact 4.4-1.</b> Construction of the proposed project could cause a substantial adverse change in the significance of previously unknown archaeological resources that could be present on the project site.</p>	<p>While not expected, in the event that an intact portion of CA-ORA-142 is identified, the potential for damage to or destruction of these cultural resources would be a potentially significant impact. Implementation of mitigation measures MM4.4-1(a) through (c) would require monitoring of construction activities by a qualified professional archaeologist and would require the scientific recovery and evaluation of any archaeological resources that could be encountered, which would ensure that important scientific information that could be provided by these resources regarding history or prehistory is not lost.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.4-1 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of mitigation measures MM4.4-1(a) through (c).</p>
<p><b>Impact 4.4-2.</b> Paleontological resources could be present within rock units on the project site, and could be damaged or destroyed by earth-moving activities resulting from implementation of the proposed project.</p>	<p>Even though previous activities may have involved excavation or other earth-disturbing activities, some paleontologically sensitive rock units underlying the project site may not have been disturbed, despite the possible destruction of surface evidence of their presence. Therefore, the impact resulting from damage to, or destruction of, these resources would be potentially significant, as it makes biological records of ancient life permanently unavailable for study by scientists. Mitigation measure MM4.4-1(a) requires monitoring of construction activities by a qualified paleontologist, and mitigation measure MM4.4-1(b) requires implementation of additional provisional measures in the event that paleontological resources are identified.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.4-2 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of mitigation measures MM4.4-1(a) and 4.4-1(b).</p>
<p><b>Impact 4.4-3.</b> Construction activities associated with implementation of the proposed project could result in the disturbance of human remains, including those interred outside of formal cemeteries.</p>	<p>Although not likely, the potential exists for archaeological resources to be present and for excavation during construction activities to disturb these resources, and it is possible that human burials could be associated with potential finds. To reduce this impact, and as required by law, mitigation measure MM4.4-3 reflects provisional measures if human remains are discovered on the project site.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.4-3 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of mitigation measure MM4.4-3.</p>

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Table 2-1

CEQA Findings for the Huntington Beach Senior Center

Impact Statement

Impact Summary

Findings

**Geology/Soils**

**Impact 4.5-1.** The proposed project would not significantly expose people or structures to effects of seismic ground shaking or liquefaction.

The proposed project site is situated in a seismically active area. During the design life of the development, strong ground shaking may occur. Accordingly, the proposed structures and improvements could be adversely impacted by the seismic ground shaking if proper mitigation measures are not implemented. Implementation of mitigation measure MM4.5-1 would ensure that design recommendations identified within the Geotechnical Evaluation prepared for the project site are implemented.

Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.5-1 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of mitigation measure MM4.5-1.

**Impact 4.5-2.** The proposed project could expose people or structures to effects of landslides.

There will be some grading along the north side adjacent to the proposed access driveway off Goldenwest Street. Therefore, surficial sliding and erosion along this slope face could result in damage to the proposed project do to landslide and erosion. Implementation of mitigation measure MM4.5-2 would address these impacts.

Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.5-2 to a less-than-significant level, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of mitigation measure MM4.5-2.

**Impact 4.5-4.** Development of the proposed project would be located on potentially unstable (compressible and corrosive) soils, which could result in on site settlement.

Trash and other debris were not observed in the old fill materials on site but may be encountered during grading. These materials are unsuitable for reuse. If left in the soil, these materials could affect the integrity of the proposed project. Implementation of mitigation measures MM4.5-4(a) and (b) would address potential impacts  
Data pertaining to the corrosivity of the on-site soils were not available for review. The corrosion potential of soils will influence the type of construction materials that may be used for structures and pipelines on the project site. Implementation of mitigation measure MM4.5-4(c) would address potential impacts.

Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.5-4 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of mitigation measures MM4.5-4 (a) through (c).

**Impact 4.5-5.** The proposed project could be located on expansive soil.

Due to the potential for volume changes with fluctuations in moisture, expansive soils present a risk of distress to pavement, foundation elements, and other structures where present. Expansive soils generated from excavations are undesirable for use as fill within three feet of slab-on-grade areas. Implementation of mitigation measure MM4.5-5 would ensure that development on expansive soil would not occur in a manner that would adversely affect development.

Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.5-5 to a less-than-significant level, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of mitigation measure MM4.5-5.

**Table 2-1 CEQA Findings for the Huntington Beach Senior Center**

Impact Statement	Impact Summary	Findings
<p><b>Hazards/Hazardous Materials</b></p> <p><b>Impact 4.6-1.</b> Implementation of the proposed project could create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment.</p>	<p>No known hazardous materials or wastes are present within the proposed project site. Although not expected, grading and excavation activities for the proposed project could result in the exposure of construction personnel and the public to previously unidentified hazardous substances in the soil. Implementation of mitigation measures MM4.6-1(a) through (c) would ensure remediation of contaminated soils containing hazardous materials prior to development of the proposed project and provide supplemental procedures in the event of unanticipated discoveries of contaminants.</p> <p>The project site is located within a designated methane gas overlay district. The City has set minimum requirements for new building construction within the methane overlay districts in order to reduce the hazards presented from accumulations of methane gas by requiring the appropriate testing and mitigation measures for all new buildings within the methane districts. Implementation of mitigation measure MM4.6-1(d) would ensure appropriate testing and methods of gas reduction, as required by the HBFD.</p>	<p><b>Finding 1.</b> The City finds that the identified changes or alterations in the project, which would reduce Impact 4.6-1 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of mitigation measures MM4.6-1(a) through 4.6-1(d).</p>
<p><b>Hydrology/Water Quality</b></p> <p><b>Impact 4.7-1.</b> Construction and operation of the proposed project could increase stormwater pollutant loads or concentrations, which could result in a violation of water quality standards or a substantial degradation of water quality.</p>	<p>During the operational phase of the proposed project, the major source of pollution in stormwater runoff would be contaminants that have accumulated on rooftops and other impervious surfaces, such as parking lots, pedestrian walkways, and the off-site road improvement prior to connecting to the storm drain system. Implementation of the existing regulations including the MS4 Permit (adopted May 2009), the City's Municipal Code (Chapter 14.25), and the City's Local Implementation Plan (LIP), as well as mitigation measure MM4.7-1, the proposed project is required to develop and implement a project-specific WQMP that addresses appropriate stormwater quality best management practices (BMPs) and water quality management practices. As such, any post-construction violation of WDRs or water quality standards would be less than significant. In accordance</p>	<p><b>Finding 1.</b> The City finds that the identified changes or alterations in the project, which would reduce Impact 4.7-1 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of mitigation measure MM4.7-1.</p>

ATTACHMENT NO. 3.11

Table 2-1

CEQA Findings for the Huntington Beach Senior Center

Impact Statement	Impact Summary	Findings
<p><b>Impact 4.7-2.</b> Implementation of the proposed project would alter the project site runoff characteristics that could result in more on-site and off-site erosion.</p>	<p>Operation of the proposed project would result in a significant change in land use and the potential for increased site runoff, both peak runoff rates and total storm flow volumes. The proposed project would be required to develop and implement a WQMP including post-construction structural and non-structural BMPs for erosion and sediment controls. Implementation of mitigation measures MM4.7-1 and MM4.7-2 would reduce the potential storm flow rates to non-erosive conditions, reduce peak runoff rates to existing conditions levels to the maximum extent practicable, assure slope stabilization, and implementation of post-construction erosion and sediment control BMPs, thereby reducing potential impacts associated with on-site or off-site erosion to less-than-significant levels.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce impact 4.7-2 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of mitigation measures MM4.7-1 and 4.7-2.</p>
<p><b>Impact 4.7-3.</b> Implementation of the proposed project would alter the project site runoff characteristics that could result in more flooding off-site.</p>	<p>Operation of the proposed project would result in a significant change in land use and the potential for increased site runoff for both peak runoff rates and total storm flow volumes. Higher peak storm flow rates and overall volume could result in off-site flooding in the areas down-gradient from the project site. Implementation of mitigation measure MM4.7-2 would assure that on-site drainage is adequate to prevent on-site flooding and that peak stormwater runoff rates are reduced to the maximum extent practicable to prevent contributions to off-site flooding. As required by mitigation measure MM4.7-2, the Drainage Plan will include measures to reduce post-construction peak runoff rates and timing to existing levels, as ensured by the City's Public Works Department. As a result, the proposed project would not contribute to future runoff rates on site or to off-site areas (including the Shipley Nature Center) above those that currently exist.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce impact 4.7-3 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of mitigation measure MM4.7-2.</p>
<p><b>Impact 4.7-4</b> Implementation of the proposed project may contribute runoff that would exceed the capacity of existing stormwater drainage systems.</p>	<p>Operation of the proposed project would result in a significant change in land use and may contribute runoff that would exceed the capacity of existing stormwater drainage systems. Implementation of mitigation measure MM4.7-2 would reduce runoff rates to existing conditions levels to the maximum extent practicable, thereby, reducing potential impacts on the storm drainage system capacity. As a result, the existing system would have adequate conveyance capacity for the 100-year storm event.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce impact 4.7-4 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of mitigation measure MM4.7-2.</p>

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**Table 2-1 CEQA Findings for the Huntington Beach Senior Center**

Impact Statement	Impact Summary	Findings
<p><b>Impact 4.7-5.</b> Implementation of the proposed project may provide substantial additional sources of polluted runoff during both construction and post-construction phases.</p>	<p>The amount, timing of application, and form of many landscape chemicals can affect subsequent transport in stormwater. These activities could also result in additional sources of pollutants in runoff water from the proposed project. Implementation of mitigation measure MM4.7-5 would maximize efficiency of landscape chemical applications and minimize the potential for chemicals in runoff water.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.7-5 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of mitigation measures MM4.7-1, 4.7-2, and 4.7-5.</p>
<p><b>Impact 4.7-6.</b> Implementation of the proposed project may otherwise substantially degrade groundwater quality by allowing infiltration of polluted stormwater.</p>	<p>Infiltration structures that are not correctly designed and sited could result in contaminated stormwater leaching into groundwater systems and destabilization of fill material. Mitigation measure MM4.7-2 would prevent implementation of stormwater quality BMPs that could contribute to degradation of groundwater resources.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.7-6 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of mitigation measure MM4.7-2.</p>
<p><b>Noise</b>  <b>Impact 4.9-1.</b> Construction activities associated with the proposed project would not exceed the standards established in the Huntington Beach Municipal Code.</p>	<p>The residences closest to the project site are located immediately west of the site, along Lakeview Drive, approximately 800 feet from the site boundary. At this distance, typical daily construction activities (excavation and grading) could reach 62 dBA. Additionally, patrons utilizing the passive use park adjacent to the proposed project site could experience noise levels of up to 86 dBA during construction activities. Implementation of mitigation measures MM4.9-1(a) and MM4.9-1(b) as well as Code requirements CR4.9-1(a) and CR4.9 1(b) would help minimize noise generated by construction activities associated with the proposed project to the surrounding sensitive receptors.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.9-1 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of mitigation measures MM 4.9-1 (a) and (b) and Code requirements CR4.9-1 (a) and (b).</p>
<p><b>Recreation</b>  <b>Impact 4.11-1.</b> Construction activities associated with the proposed project may result in significant impacts to the existing disc golf course.</p>	<p>Construction of the proposed project could disrupt one hole of the existing disc golf course. Implementation of mitigation measure MM4.11-1 would ensure that the disc golf course hole is permanently relocated back to the official disc golf course.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.11-1 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of mitigation measure MM4.11-1.</p>

ATTACHMENT NO. 3.13

Table 2-1

CEQA Findings for the Huntington Beach Senior Center

Impact Statement	Impact Summary	Findings
<p><b>Transportation/Traffic</b>  <b>Impact 4.12-5.</b> The project would not substantially increase roadway hazards.</p>	<p>In order to address safety concerns related to exiting the project site, mitigation measures have been identified that would eliminate potentially unsafe movements. These measures would also address the potential sight distance issue related to the uphill grade for southbound traffic on Goldenwest Street in this location. Implementation of mitigation measure MM4.12-4 and Code requirements CR4.12-4(a) and CR4.12-4(b) would reduce potential impacts associated with roadway hazards to a less-than-significant level.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.12-5 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of Code requirements CR4.12-4(a) and (b) and mitigation measure MM4.12-4.</p>
<p><b>Utilities/Service Systems</b>  <b>Impact 4.13-2.</b> Implementation of the proposed project is anticipated to be sufficiently served by existing water supply.</p>	<p>Although the proposed project is not anticipated to exceed the existing water supply and is anticipated to be sufficiently served by existing water supplies, implementation of mitigation measure MM4.13-1 would further ensure the availability of water supplies.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.13-2 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of mitigation measure MM4.13-1.</p>
<p><b>Impact 4.13-5.</b> Implementation of the proposed project would include new stormwater treatment control BMPs, the operation of which would not result in significant environmental effects.</p>	<p>The proposed project would involve the construction and operation of stormwater treatment control Best Management Practices (BMPs) that would be identified in a Stormwater Pollution Prevention Plan (SWPPP), which would be a part of the project's Water Quality Management Plan (WQMP). The City has general/standard conditions of approval to protect receiving water quality from short- and long-term impacts of new development and significant redevelopment, which include Code requirements CR4.13-1(a) and (b). Since stormwater treatment control BMPs must be in conformance with approved plans and specifications of appropriate agencies, operations would not be anticipated to result in significant environmental effects including, but not limited to, vectors or odors.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.13-5 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of Code requirement CR4.13-1(a) and (b).</p>

**Table 2-1 CEQA Findings for the Huntington Beach Senior Center**

<i>Impact Statement</i>	<i>Impact Summary</i>	<i>Findings</i>
<p><b>Impact 4.13-8.</b> Implementation of the proposed project could increase the demand for electricity, and could require or result in the construction of new energy production or transmission facilities not require or result in the construction of new gas production or transmission facilities.</p>	<p>New electrical facilities would have to be constructed on site. Implementation of mitigation measure MM4.13-3 would reduce potentially significant impacts associated with the anticipated electrical demands of the proposed project to a less than-significant level by ensuring availability of electrical facilities.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.13-8 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of mitigation measure MM4.13-3.</p>

ATTACHMENT NO. 3.15

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## CHAPTER 3 Findings Regarding Project Alternatives

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### 3.1 INTRODUCTION

The SEIR prepared for the Huntington Beach Senior Center considered seven separate alternatives to the proposed project. Pursuant to CEQA Guidelines Section 15126.6(a), the primary intent of an alternatives evaluation is to “describe a range of reasonable alternatives to the project, or to the location of the project, which would feasibly attain most of the basic objectives of the project but would avoid or substantially lessen any of the significant effects of the project, and evaluate the comparative merits of the alternatives.”

This chapter describes the project objectives and design criteria used to develop and evaluate project alternatives presented in the Draft SEIR. A description of the alternatives compared to the proposed project and the findings regarding the feasibility of adopting the described alternatives is presented for use by the City in the decision-making process.

### 3.2 PROJECT OBJECTIVES

Implementation of the Huntington Beach Senior Center is intended to fulfill the following major objectives:

- Implement the policies and development standards of the City’s General Plan and Zoning and Subdivision Ordinance (ZSO).
- Create a development that is compatible with and sensitive to the existing land uses in the project area.
- Enhance the community image of Huntington Beach through the design and construction of high quality development consistent with the Urban Design Element of the City’s General Plan.
- Ensure adequate utility infrastructure and public services for new development.
- Provide a centrally located senior recreation and human service facility within the City.
- Build a new facility large enough to meet current and future demand as a result of an increasing senior population.
- Provide a state-of-the art senior center designed for innovative programming to meet the needs of a culturally diverse and multi-generational senior population with levels of service comparable to other cities in the area.
- Mitigate environmental impacts to the greatest extent possible.
- Provide an attractively designed building that maximizes safety and security of seniors, employees, and other users of the facility.
- Utilize sound green-building practices during construction and operation of the facility by incorporating those standards found in the Cal Green Building Code, and, as feasible, Leadership in Energy and Environmental Design (LEED) Green Building Rating System to maximize

efficiencies and demonstrate the City's commitment to responsible leadership in the area of sustainable development.

### 3.3 SELECTION OF ALTERNATIVES

The range of feasible alternatives was selected and discussed in a manner to foster meaningful public participation and informed decision-making. Among the factors that were taken into account when considering the feasibility of alternatives (as described in CEQA Guidelines Section 15126.6[f][1]) were environmental impacts, economic viability, availability of infrastructure, regulatory limitations, jurisdictional boundaries, and attainment of project objectives. As stated in CEQA Guidelines Section 15126.6(a), the SEIR need not consider an alternative whose effects could not be reasonably identified, whose implementation is remote or speculative, or one that would not achieve the basic project objectives. The analysis includes sufficient information about each alternative to provide meaningful evaluation, analysis and comparison with the proposed project.

### 3.4 PROJECT ALTERNATIVE FINDINGS

The following is a description of the alternatives evaluated in comparison to the proposed project, as well as a description of the specific economic, social, or other considerations that make them infeasible for avoiding or lessening the impacts. The City finds that the adoption of any of the alternatives to the project is infeasible. The reasons for each finding are provided following the description of the alternative, and are further described in the Draft SEIR.

#### 3.4.1 Huntington Beach Senior Center Alternatives

As shown below and in Chapter 6 (Alternatives to the Proposed Project) of the Draft SEIR, seven alternatives were evaluated in comparison to the proposed project. The environmental advantages and disadvantages of each of these alternatives are described. The alternatives that were selected for analysis include:

- **Alternative 1: (No Project/Continuation of Uses Allowed by Existing General Plan and Central Park Master Plan)**—Consistent with CEQA Guidelines Section 15126.6(e)(3)(C), this alternative assumes the development level articulated in the City's Master Plan of Recreation Uses for Central Park (Central Park Master Plan) (1999), which envisioned development of a portion of a "low intensity recreation area," which would include family picnic shelters, barbeques, a tot lot, a restroom building, an access road from Goldenwest Street, and a parking lot. Because the Central Park Master Plan proposed the recreation area as a program on a total of 16 acres, not all of these elements are likely to be present on the 5-acre project site, and the specific locations of the proposed uses are interchangeable; therefore, this analysis assumes development of the most intensive of these uses, namely, the access road, parking lot, restrooms, tot lot, and some open space.
- **Alternative 2: Reduced Project/Alternative Configuration**—This alternative assumes a reduced intensity and revised configuration of the project elements on the same 5-acre project site. Under this alternative, the proposed senior center would be reduced by about one third (15,000 square feet [sf]), and would include a 30,000 sf structure, reoriented north/south and located at the southeastern corner of the project site.

- **Alternative 3: Central Park Alternative Site (Northwest Corner of Ellis Avenue and Goldenwest Street)**—This alternative assumes development of a 45,000 sf senior center on another site within Central Park. The general configuration of the site would be maintained. Direct access to the parking lot would be provided by curb cuts on Goldenwest Street and Ellis Avenue as identified in the 2006 Huntington Beach Senior Center Feasibility Study (LPA 2006). Nevertheless, this alternative would maintain a similar flow of traffic to the proposed project.
- **Alternative 4: Kettler School Alternative Site**—This alternative assumes that the 38,412 sf of existing development on the vacant 9.5 acre Kettler School site would be reused and modified to accommodate the Huntington Beach Senior Center. The Kettler School site is located at 8750 Dorsett Drive, in the southeast portion of Huntington Beach. The southern 5-acre turf portion of this site, south of the extension of Stillwell Drive, is subject to a deed restriction that a portion of the site be used for school or parks and recreation purposes. Under this Alternative, the 5-acre area would continue to be developed with the existing softball fields. Circulation on the site would remain consistent with existing conditions, with vehicular access and parking provided from Dorsett Drive. Acquisition of the site would have to be negotiated with the school district for purchase or lease.
- **Alternative 5: Park View School Alternative Site**—This alternative assumes that 45,000 sf of an existing 56,837 sf building on the 12-acre site Park View school site would be reused and modified to accommodate the Huntington Beach Senior Center. The Park View school site located at 16666 Tunstall Lane in Huntington Beach is owned by the Ocean View School District. The District has historically retained ownership of their properties, electing to lease the land for alternate purposes. As such, under this Alternative, it is assumed that the site would be leased from the District by the City. Existing athletic fields located on the site would remain with implementation of this alternative. Existing access to the site from Goldenwest Street, identified as a major arterial street and Heil Avenue, identified as a primary arterial street in the City's General Plan would remain with implementation of this alternative.
- **Alternative 6: Magnolia Tank Farm Alternative Site**—Under this alternative, the 45,000 sf senior center would be located on a portion of the 27-interior acres of the 40-acre Magnolia Tank Farm site. This site is located on the west side of Magnolia Street, between Bermuda Avenue on the north and the Huntington Beach Channel on the south. The site was formerly used for oil storage, but is no longer operational.
- **Alternative 7: The Cove Alternative Site**—Under this alternative, the 45,000 sf senior center would be located on a portion of the 9.9-acre, undeveloped site located at 7301 Garfield Avenue at the northeast corner of Garfield Avenue and Gothard Street. Access to the site is currently provided from Gothard Street but could be provided from either, or both, Gothard Street or Garfield Avenue. The existing zoning (Specific Plan No. 9, Holly-Seacliff Specific Plan) and General Plan designation (Residential Medium Density) would need to be changed to allow for the proposed use. The Cove site would require remediation on a portion of the site and further study and investigation would be required to determine the level of contamination and proper remediation actions.

### ■ Alternatives Considered but Eliminated from Further Evaluation

Three additional alternatives were initially considered but were found to be infeasible. These included: No Project/No Development Alternative, Rodgers Senior Center, and Satellite Senior Centers. The No Project/No Development Alternative represents the status quo, or maintenance of the project site in its

current state. The site would remain as an underused parcel of land adjacent to the Central Library and would provide no state-of-the-art improvements, in a central location, to meet current and projected needs for recreation and community services for senior citizens in the City. Implementation of the No Project/No Development Alternative would not meet any of the project objectives, as no new uses would be developed.

The second alternative that was rejected as infeasible would provide a new state-of-the-art senior center on the site of the existing Rodgers Senior Center. However, due to the known site constraints, lack of available funding to accommodate a new development on this site (costs would be much greater because a subterranean parking facility would be needed), and because this would not provide a centrally-located senior center within the City, this alternative was rejected from further analysis. Further, this alternative may not be in compliance with the City Zoning Code, in terms of site coverage, building height and setbacks, and may require a variance.

The Satellite Senior Center alternative suggests development of multiple, smaller-scale senior centers throughout the City. Construction of small-scale centers could accommodate a limited number of facilities, available activities, and patrons at each site, and would also preclude a central focal point for seniors to meet within the City. Instead, most patrons would utilize the nearest facility; thereby reducing the important opportunities for larger social gatherings and networking. Each site location would have differing environmental constraints. Compared to the proposed project, multiple centers would not have the flexibility to provide for a wide variety of uses simply due to size constraints at each location. In addition, the construction and operation of multiple centers would have a greater potential for cumulative environmental impacts. Further, the City does not own all of the nine sites evaluated in the Feasibility Study, which could lead to acquisition costs that the City would not be able to fund. Therefore, this alternative was rejected from further analysis.

Lastly, Alternative Sites such as vacant school sites, the former Orange County Transfer Station, and vacant commercial buildings were investigated but determined to be infeasible. The City identified and reviewed twelve closed school sites within the Huntington Beach, Ocean View, and Westminster School Districts that could potentially be used for a proposed senior center. Of the twelve school sites, three sites were available for use; Kettler School (Huntington Beach School District), LeBard School (Huntington Beach City School District) and Park View School (Ocean View School District). All three sites have zoning and land use designations that would allow for a senior center facility. As described above under Alternatives to the Project, the Kettler School (#4) and Park View (#5) sites are being analyzed as Alternatives to the proposed project. However, based on a qualitative analysis by Urban Crossroads (the EIR traffic consultants), use of the LeBard School site for the proposed senior center has been determined to be infeasible as a result of the site's location in a single-family residential neighborhood where access from an arterial roadway is not readily available and access could not be constructed from an arterial. The remaining nine closed school sites identified are not available and therefore, could not be accomplished in a reasonable amount of time. In addition, the remaining school sites may not help reduce project impacts. Therefore, ten of the alternative school sites were rejected from further analysis.

The former Orange County Transfer Station is currently zoned and has a General Plan land use designation of Industrial requiring an amendment to the City's Zoning Map and General Plan. Soil

contamination and biological impacts are likely on this site, unlike for the proposed project. As such, the site was rejected from further analysis.

As a result of the economic recession, a number of large vacant, commercial buildings (primarily grocery stores) have become available for use. The feasibility of using the vacant grocery store building(s) for a new senior center facility is low due to the incompatibility of a park or recreational use in a commercial zone, as well as a potential incompatibility of the use with other existing tenants of the shopping centers. Additionally, reuse of existing, readily available, revenue-generating commercial properties for a park and recreational use does not make great financial sense, especially in light of the economic recession that has made these buildings available. Further on the financial front, the acquisition of such a commercial space may not economically be feasible for the City. As such, this alternative has been rejected from further analysis.

### ■ Alternative 1: No Project/ Continuation of Uses Allowed By Existing General Plan and Central Park Master Plan Alternative

The No Project/Continuation of Uses Allowed By Existing General Plan and Central Park Master Plan Alternative assumes the development level articulated in the City's Central Park Master Plan (1999), which envisioned development of a portion of a "low intensity recreation area," which would include family picnic shelters, barbeques, a tot lot, a restroom building, an access road from Goldenwest Street, and a parking lot. Because the Central Park Master Plan proposed the recreation area as a program on a total of 16 acres, not all of these elements are likely to be present on the 5-acre project site, and the specific locations of the proposed uses are interchangeable; therefore, this analysis assumes development of the most intensive of these uses, namely, the access road, parking lot, restrooms, tot lot, and some open space.

The No Project/Continuation of Uses Allowed By Existing General Plan and Central Park Master Plan Alternative would result in substantially less development compared to the proposed project, as no habitable structures other than the restrooms are proposed under this alternative. Implementation of this alternative would not achieve any of the project objectives listed for the City of Huntington Beach, since the development of a senior center facility would not occur.

This No Project/Continuation of Uses Allowed By Existing General Plan and Central Park Master Plan Alternative would result in fewer impacts to aesthetics, air quality, hydrology and water quality, land use, noise, recreation, transportation and utilities. This alternative would result in similar impacts on biological resources, cultural resources, geology and soils, hazards and hazardous materials, and public services and would not result in impacts that would be greater than the proposed project. While this alternative may result in a reduction of most environmental impacts, it would not necessarily reduce the significance of the impacts below those of the proposed project.

### **Findings**

The City hereby finds that the No Project/ Continuation of Uses Allowed By Existing General Plan and Master Plan Alternative is infeasible for the following environmental, economic, social, and other considerations:

- Would not provide a centrally located senior recreation and human service facility within the City
- Would not build a new facility large enough to meet current and future demand as a result of an increasing senior population
- Would not provide a state-of-the art senior center designed for innovative programming to meet the needs of a culturally diverse and multi-generational senior population with levels of service comparable to other cities in the area
- Would not provide an attractively designed building that maximizes safety and security of seniors, employees, and other users of the facility.
- Would not utilize sound green-building practices during construction and operation of the facility by incorporating those standards found in the Cal Green Building Code and, as feasible, Leadership in Energy and Environmental Design (LEED) Green Building Rating System to maximize efficiencies and demonstrate the City's commitment to responsible leadership in the area of sustainable development.

### ■ Alternative 2: Reduced Project /Alternative Configuration Alternative

The Reduced Project/Alternative Configuration Alternative assumes a reduced intensity and revised configuration of the project elements on the same project site. Under this alternative, the proposed senior center would be reduced by about one third (15,000 sf), and would comprise a 30,000 sf structure, reoriented north-south and located at the southeastern corner of the project site. Screening vegetation separating the senior center from Goldenwest Street and from the disc golf course would be provided. Wide, paved walkways and patios would follow the northern and western perimeters of the center.

Under the Reduced Project/Alternative Configuration Alternative, although the structure would be smaller than the proposed project, the senior center would be more than double the size of the existing Rodgers Senior Center. However, this alternative would be constructed on a smaller scale within the same project area than the proposed project. This alternative would not achieve the proposed project objectives of building a new facility large enough to meet current and future demands of a growing senior population, or provide a state-of-the art senior center designed for innovative programming to meet the needs of a culturally diverse and multi-generational senior population with levels of service comparable to other cities in the area, to the extent of the proposed project.

The Reduced Project/Alternative Configuration Alternative would result in reduced impacts to air quality, hydrology and water quality, noise, transportation and utilities than the proposed project due to its reduced density. This alternative would result in similar impacts on aesthetics, biological resources, cultural resources, geology and soils, hazards and hazardous materials, land use, public services and recreation, and would not result in impacts that would be greater than the proposed project. While this alternative may result in a reduction of most environmental impacts, it would not necessarily reduce the significance of the impacts below those of the proposed project.

### **Findings**

The City hereby finds that the Reduced Project/Alternative Configuration Alternative is infeasible for the following environmental, economic, social, and other considerations:

- Would not build a new facility large enough to meet current and future demand as a result of an increasing senior population
- Would not provide a state-of-the art senior center designed for innovative programming to meet the needs of a culturally diverse and multi-generational senior population with levels of service comparable to other cities in the area

### ■ **Alternative 3: Central Park Alternative Site (Northwest Corner of Ellis Avenue and Goldenwest Street)**

The Central Park Alternative Site assumes development of the proposed senior center at an alternate site located at the northwest corner of Goldenwest Street and Ellis Avenue, approximately 1,200 feet south of the proposed project site. The general configuration of the site would be maintained. Direct access to the parking lot would be provided by curb cuts on Goldenwest Street and Ellis Avenue as identified in the 2006 Huntington Beach Senior Center Feasibility Study. Nevertheless, this alternative would maintain a similar flow of traffic as the proposed project. The setback from Goldenwest Street would be the same as under the proposed project, and additionally, a setback from Ellis Avenue would be provided and would be identical to the setback from Goldenwest Street. In all other physical and operational respects, this alternative would remain the same as under the proposed project. The alternative site is occasionally used by the equestrian center for larger shows and storage throughout the year. Therefore, although the site is presently undeveloped, development of this alternative would reduce the existing recreational opportunities that are present.

The Central Park Alternative would reduce many of the impacts, either equal to or less than the proposed project, with the exception of noise, which would result in a greater less than significant impact than the proposed project. This alternative would eliminate the significant and unavoidable cumulative impact identified for the proposed project relating to the visual degradation of undeveloped open space, while achieving all of the project objectives. Since no other alternative analyzed would achieve all of the stated project objectives, while reducing impacts and eliminating the identified cumulative impact, of its reduced intensity, the City finds that Central Park Alternative Site is considered to be the environmentally superior alternative. However, implementation of this alternative would not achieve any the project objectives goal to mitigate environmental impacts to the greatest extent possible.

The Central Park Alternative Site would result in fewer impacts to aesthetics and land use. This alternative would result in similar impacts on air quality, biological resources, cultural resources, geology and soils, hazards and hazardous materials, hydrology and water quality, public services, recreation, transportation and utilities. This alternative would result in greater noise impacts than the proposed project.

### **Findings**

The City hereby finds that the Alternative Site is infeasible for the following environmental, economic, social, and other considerations:

- Would not mitigate environmental impacts to the greatest extent possible

## ■ Alternative 4: Kettler School Alternative Site

The Kettler School Alternative Site is located at 8750 Dorsett Drive in the southeast portion of Huntington Beach. The site was the former Kettler Elementary School which closed in 2005. The site is currently developed with 38,418 sf of building area, an approximately 28-space surface parking lot, and paved areas, with the development located on the northern approximately 4.5 acres of the 9-acre site. The southern approximately 5 acres of the site is developed with grass athletic fields, including three softball diamonds. This alternative assumes that the existing vacant 38,412 sf building would be reused and modified to accommodate the senior center facility and the existing surface parking lot and portions of the existing paved areas would be modified to provide approximately 192 parking spaces. This site is located in a single family neighborhood, and is bound to the west and east by single family homes, to the north by Dorsett Drive and single family homes, and to the south by the Edison Community Center and Park. The athletic field portion of the site, located south of Stillwell Drive, is subject to a deed restriction that requires the site to be used for school or parks and recreation purposes. As such, the existing use of the grass athletic field area for softball fields would remain with implementation of this alternative.

As the Kettler School Alternative Site would not require building construction and would be located on a previously developed site, this alternative would reduce construction related impacts associated with the proposed project. Additionally, use of this site as a senior center is permitted under the site's current zoning (Public/Semi Public) and general plan land use designation (Public) and is compatible with the adjacent Edison Community Center and Park, and would therefore not require amendments to the City's zoning code or General Plan. Additionally, the site is a closed school site with no current use leasing the building. The Kettler School site was specifically identified in the Parks suit filed against the City. While this alternative may result in a reduction of environmental impacts, it would not necessarily reduce the significance of the impacts below those of the proposed project.

Kettler School Alternative Site would result in reduced impacts to aesthetics, biological resources, cultural resources, geology and soils, hazards and hazardous materials, hydrology and water quality, recreation, and utilities when compared to the proposed project. This alternative would result in similar impacts on land use and public services. While this alternative would result in impacts that are reduced when compared to the proposed project, it would result in greater impacts than the proposed project on air quality, noise and transportation.

### **Findings**

The City hereby finds that the Kettler School Alternative Site is infeasible for the following environmental, economic, social, and other considerations:

- Would not provide a centrally located senior recreation and human service facility within the City.
- Would not utilize sound green-building practices during construction and operation of the facility by incorporating those standards found in the Cal Green Building Code and, as feasible, Leadership in Energy and Environmental Design (LEED) Green Building Rating System to maximize efficiencies and demonstrate the City's commitment to responsible leadership in the area of sustainable development.
- Would not mitigate environmental impacts to the greatest extent possible.

## ■ Alternative 5: Park View School Alternative Site

The Park View School Alternative assumes that 45,000 sf of an existing 56,837 sf building on the 12-acre site would be reused and modified to accommodate a senior center facility. The existing Park View School is located at 16666 Tunstall Lane, bound to the west and north by single- and multi-family residential uses; to the east by industrial uses; and to the south by the Murdy Community Center. The site, formerly the home of Park View School is developed with 56,837 sf of building area, surface parking lots, paved areas, and grass athletic fields that include four baseball diamonds utilized by Ocean View Little League and two activity fields. The athletic field portion of the site would remain with implementation of this alternative.

The Park View School site would reduce construction related impacts associated with the proposed project, as this alternative would not require building construction and would be located on a previously developed site. Additionally, use of this site as a senior center is permitted under the site's current zoning (Public/Semi Public) and general plan land use designation (Public) and is compatible with the adjacent Murdy Community Center and would not require a zone change or General Plan amendment (GPA). Additionally, the site is a closed school site with no current use leasing the building. Further, this site is easily accessible from Goldenwest Street and Heil Avenue. While this alternative may result in a reduction of environmental impacts, it would not necessarily reduce the significance of the impacts below those of the proposed project.

Park View School Alternative Site would result in reduced impacts to aesthetics, biological resources, cultural resources, hazards and hazardous materials, hydrology and water quality, and recreation when compared to the proposed project. This alternative would result in similar impacts to geology and soils, land use, public services and utilities when compared to the proposed project. While this alternative would result in impacts that are less than or similar to the proposed project, it would result in greater impacts than the proposed project on air quality, noise and transportation.

### Findings

The City hereby finds that the Park View School Alternative Site is infeasible for the following environmental, economic, social, and other considerations:

- Would not utilize sound green-building practices during construction and operation of the facility by incorporating those standards found in the Cal Green Building Code and, as feasible, Leadership in Energy and Environmental Design (LEED) Green Building Rating System to maximize efficiencies and demonstrate the City's commitment to responsible leadership in the area of sustainable development.
- Would not mitigate environmental impacts to the greatest extent possible.

## ■ Alternative 6: Magnolia Tank Farm Alternative Site.

The Magnolia Tank Farm Alternative Site assumes the 45,000 sf senior center would be located on a portion of the 27-acre former Magnolia Tank Farm. The Magnolia Tank Farm site is located on the west side of Magnolia Street between Bermuda Avenue and Banning Avenue, bound to the north by a former landfill; to the east by Magnolia Avenue and across Magnolia Avenue by single-family residential uses; to the south and west by the Huntington Beach Flood Channel and across the Huntington Beach Flood

Channel by wetlands (southwest) and by industrial uses (west). The site was formerly used for oil storage, but is no longer in operation and is developed with three oversized oil tanks connected to each other by pipelines. The general surface area is covered mostly with dirt. Trees and green space line the eastern edge of the project boundary along Magnolia Street providing a visual buffer of onsite uses from passersby on Magnolia Street.

The Magnolia Tank Farm site would reduce construction and operational noise impacts associated with the proposed project, as the site is bound to the north by undeveloped land; to the west by the Huntington Beach Flood Channel, land that was formerly used for oil storage that is no longer operational, and wetlands; to the south by wetlands and the Huntington Beach Flood Channel; and to the east, across Magnolia Avenue by single-family residential uses. The site would be easily accessible from Magnolia Avenue, an arterial roadway in the City. Additionally, use of this site as a senior center is permitted under the existing zoning (Public/Semi Public) and general plan land use designation (Public) and would not require a zone change or GPA. Because the site is no longer operational, it would be available for acquisition and development but would require demolition of the existing oil tanks. While this alternative may result in a reduction of environmental impacts, it would not necessarily reduce the significance of the impacts below those of the proposed project.

Magnolia Tank Farm Alternative Site would result in fewer impacts to aesthetics and recreation when compared to the proposed project. This alternative would result in similar impacts on air quality, cultural resources, geology and soils, land use, public services, transportation and utilities when compared to the proposed project. While this alternative would result in impacts that are less than or similar to the proposed project, it would result in greater impacts than the proposed project to hazards and hazardous materials, hydrology and water quality, and noise.

### **Findings**

The City hereby finds that the Magnolia Tank Farm Alternative Site is infeasible for the following environmental, economic, social, and other considerations:

- Would not provide a centrally located senior recreation and human service facility within the City
- Would not mitigate environmental impacts to the greatest extent possible

### **Alternative 7: The Cove Alternative Site**

The Cove Alternative Site includes construction of a 45,000 sf senior center on a portion of the 9.9-acre, undeveloped site at the northeast corner of Gothard Street and Garfield Avenue. The site is bound to the north and east by single-family residential uses; to the south by multi-family residential uses across Garfield Avenue; and to the west by industrial uses across Gothard Street. The general surface area is covered mostly with patches of grass and shrubs. This alternative site is located at the intersection of two arterial roadways (Gothard Street and Garfield Avenue), and access is currently provided from Seagate Drive via Promenade Parkway.

The Cove Alternative Site has a central location in the City and the site is vacant. This alternative site is located at the intersection of two arterial roadways (Gothard Street and Garfield Avenue), and access is currently provided from Seagate Drive via Promenade Parkway. However, the site is zoned Holly Seacliff

Specific Plan and has a General Plan designation of Residential Medium Density Residential, and implementation of this alternative would require a Zoning Map and GPA. In addition, the current property owners are interested in a land swap with the City for the existing Rodgers Senior Center site. The Rodgers Senior Center site has an existing deed restriction for use of the site as a public park and recreational facility. The land swap would require the removal of the deed restriction on the existing senior center site to allow development of that property for non-recreational uses. A land swap involving City owned property would be subject to voter approval, pursuant to Huntington Beach Charter Section 612. While this alternative may result in a reduction of environmental impacts, it would not necessarily reduce the significance of the impacts below those of the proposed project.

The Cove Alternative Site would result in reduced impacts to aesthetics, biological resources, and recreation. This alternative would result in similar impacts on cultural resources, geology and soils, public services and utilities when compared to the proposed project. While this alternative would result in impacts that are less than or similar to the proposed project, it would result in greater impacts than the proposed project on air quality, hazards and hazardous materials, hydrology and water quality, land use, noise and transportation.

### ***Findings***

The City hereby finds that The Cove Alternative Site is infeasible for the following environmental, economic, social, and other considerations:

- Would not mitigate environmental impacts to the greatest extent possible

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# CHAPTER 4 Statement of Overriding Considerations

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## 4.1 INTRODUCTION

CEQA Guidelines Section 15093 states:

- (a) CEQA requires the decision-making agency to balance, as applicable, the economic, legal, social, technological, or other benefits of a proposed project against its unavoidable environmental risks when determining whether to approve the project. If the specific economic, legal, social, technological, or other benefits of a proposed project outweigh the unavoidable adverse environmental effects, the adverse environmental effects may be considered “acceptable.”
- (b) When the lead agency approves a project which will result in the occurrence of significant effects which are identified in the final SEIR but are not avoided or substantially lessened, the agency shall state in writing the specific reason to support its actions based on the final SEIR and/or other information in the record. The statement of overriding considerations shall be supported by substantial evidence in the record.
- (c) If an agency makes a statement of overriding considerations, the statement should be included in the record of the project approval and should be mentioned in the notice of determination.

The City of Huntington Beach (City) proposes to adopt a Statement of Overriding Considerations regarding the significant cumulative aesthetic impact of the proposed project. Although all project level impacts are reduced to less-than-significant levels, this section describes the anticipated economic, social, and other benefits or other considerations of the proposed project to support the decision to proceed with the project even though one identified cumulative impact is not mitigated to a less-than-significant level.

## 4.2 SIGNIFICANT ADVERSE CUMULATIVE IMPACT

The City is proposing to approve the proposed project, with revisions to reduce environmental impacts, and has prepared an SEIR required by CEQA. Even with revisions in the project, the following impact is unavoidable because it has been determined that no feasible mitigation is available. Refer to Chapter 2 (CEQA Findings) for further clarification regarding the impact listed below.

### ***Aesthetics***

Given that the project would modify land that is currently undeveloped, the character of Central Park would be altered, which would result in a cumulatively considerable impact. Landscaping and open space would be provided, which would enhance the site’s visual contribution to the surrounding park lands, and the project would not appear out of character when compared with surrounding land uses. However, the increase in development intensity of the project site, when compared with current uses, contributes incrementally to the visual degradation of the area in terms of reducing the amount of undeveloped open space within Central Park. This would be considered a significant cumulative impact.

### 4.3 FINDINGS

The City has evaluated all feasible mitigation measures and project revisions with respect to this cumulative aesthetic impact (see Chapter 2 [CEQA Findings]). The City has also examined a reasonable range of alternatives to the proposed project (see Chapter 3 [Findings Regarding Project Alternatives]). Based on this examination, the City has determined that because of its alternative location, the Alternative Central Park Site Alternative is considered to be the environmentally superior alternative. Several of the seven alternatives listed above would potentially result in less significant environmental impacts than the proposed project. The Kettler School Alternative Site, Park View Alternative Site, Magnolia Tank Farm Alternative Site and the Cove Alternative Site were found to result in greater impacts than the proposed project. The City finds these seven alternatives infeasible and less desirable than the proposed project and has rejected these alternatives from further consideration because they would not achieve the environmental, economic, social, and other considerations outlined in Chapter 3 (Findings Regarding Project Alternatives).

### 4.4 OVERRIDING CONSIDERATIONS

Specific economic, social, or other considerations outweigh the cumulative aesthetic impact stated above. The reasons for proceeding with the proposed project, even though one identified cumulative impact is not fully mitigated to a less-than-significant level, are described below.

#### ■ Proposed Project Benefits

The proposed project would provide a new, centrally located state-of-the-art senior center that would be large enough to respond to the changing needs of the population and simultaneously meet the unique developmental needs and diverse interests of the City's senior residents.

1. Development of the proposed project would allow the City to serve a higher percentage of its senior population with levels of service comparable to other cities in the area.
2. The proposed project emphasizes compatibility and sensitivity to the existing uses surrounding the site and would include a variety of sustainable features, such as bioswales, drought-tolerant landscaping, waterless urinals, roofing materials, and installation of low-flush water devices. The City is actively pursuing the feasibility of including additional features that would bring the building closer to LEED certification.
3. The project will maintain and enhance the community image of Huntington Beach through the design and construction of high quality development consistent with the Urban Design Element of the City's General Plan.

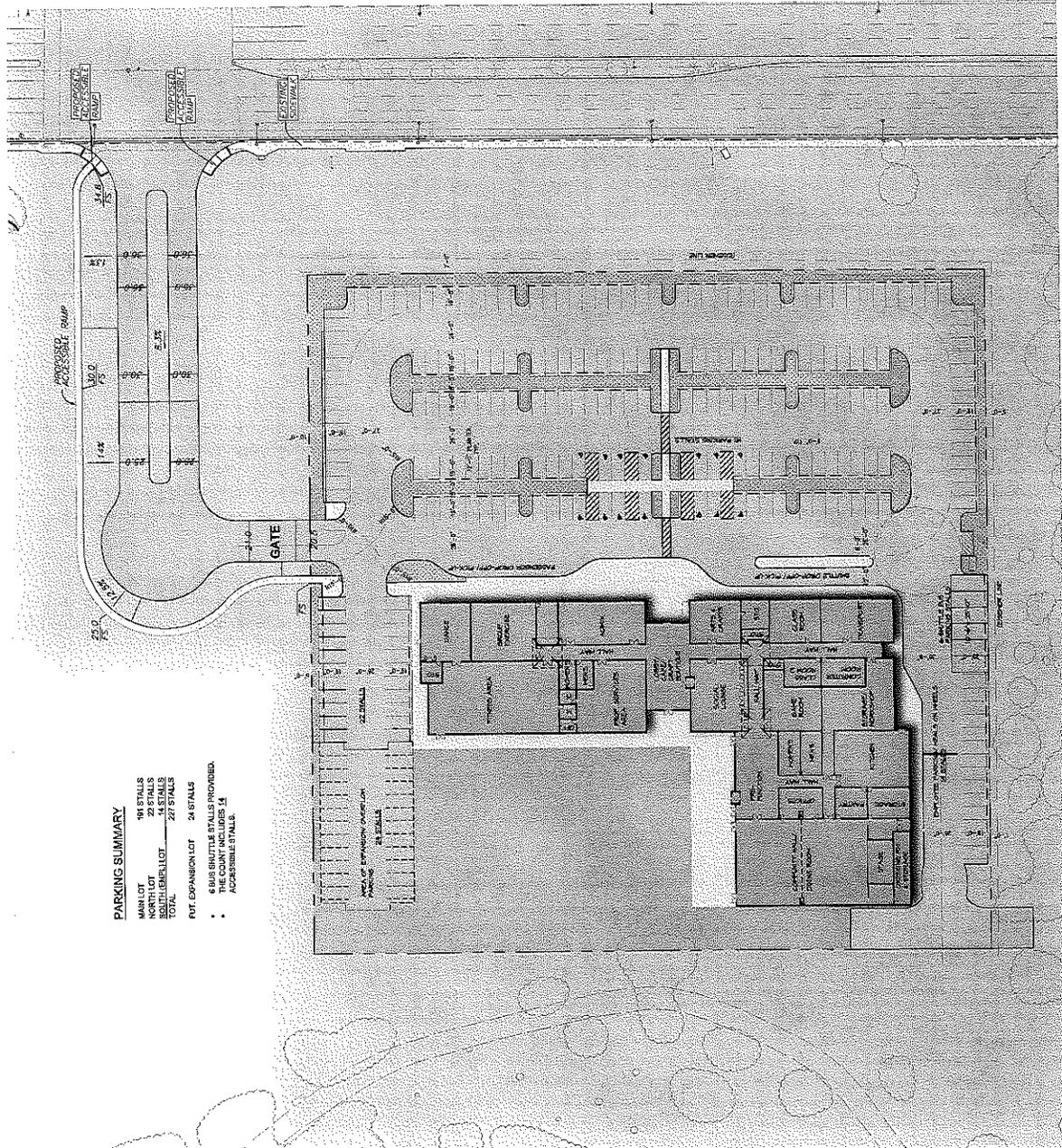
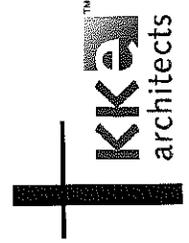
KKE architects, Inc. 535 E. Colorado Boulevard, 4th Floor, Pasadena, CA 91101 T: 626.794.8200 F: 626.794.8725

07/13/1283.01  
**SENIOR CENTER**  
 HUNTINGTON BEACH, CA

PROJECT FOR:



4100 MACARTHUR BLVD.  
 SUITE 200  
 NEWPORT BEACH,  
 CA 92660  
 T: 949.255.1100  
 F: 949.255.1128



**PARKING SUMMARY**  
 MAIN LOT 198 STALLS  
 NORTH LOT 28 STALLS  
 TOTAL LOT 226 STALLS  
 TOTAL 226 STALLS  
 PUT EXPANSION LOT 24 STALLS  
 6 BUS SHUTTLE STALLS PROVIDED.  
 THE COURT INCLUDES 14  
 ACCESSIBLE STALLS.

ATTACHMENT NO. 4.1



**SITE PLAN**  
 JULY 19, 2007

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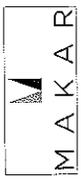
# SENIOR CENTER

HUNTINGTON BEACH, CA

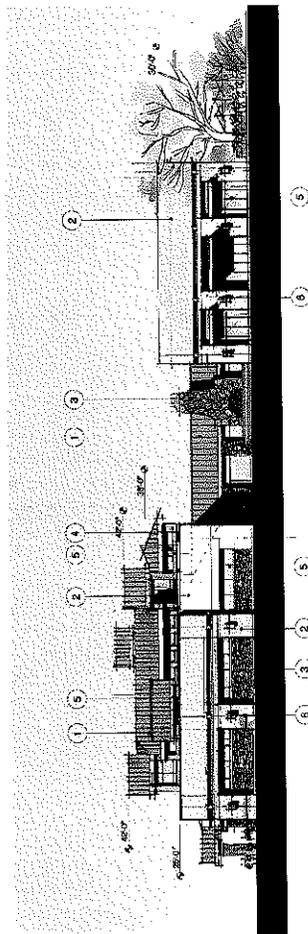
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KKE architect, Inc. 525 E. Colorado Boulevard, 4th Floor, Pasadena, CA 91101. T: 626-796-8230 F: 626-796-8726

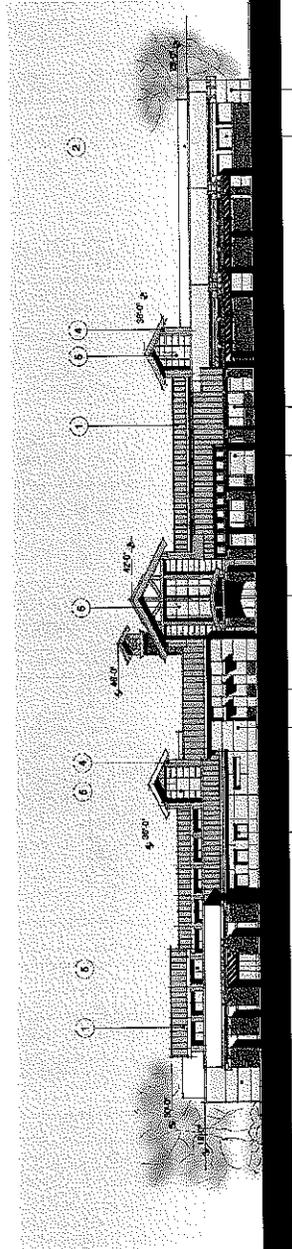
PROJECT FOR:



4100 MACARTHUR BLVD.  
SUITE 200  
NEWPORT BEACH,  
CA 92660  
T: 949.255.1100  
F: 949.255.1128



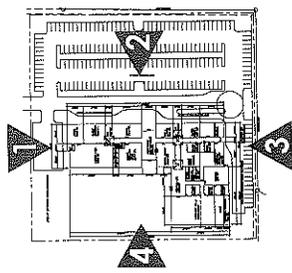
1. NORTH ELEVATION



2. EAST ELEVATION

**MATERIALS**

- 1. STANDING METAL EDGAR ROOF
- 2. DRY STACK STONE
- 3. DRY STACK STONE
- 4. WOOD/METAL BARRIERS
- 5. CLADDING
- 6. CLADDING
- 7. WOOD TRELLIS



**ELEVATIONS**

JULY 9, 2007

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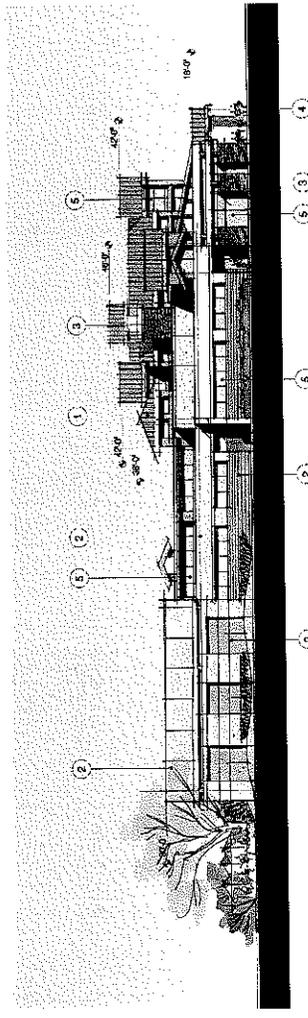
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KKE architects, inc. 525 E. Colgrade Boulevard, 4th floor, Paradise, CA 91101. t: 626.796.8200. f: 626.796.8755

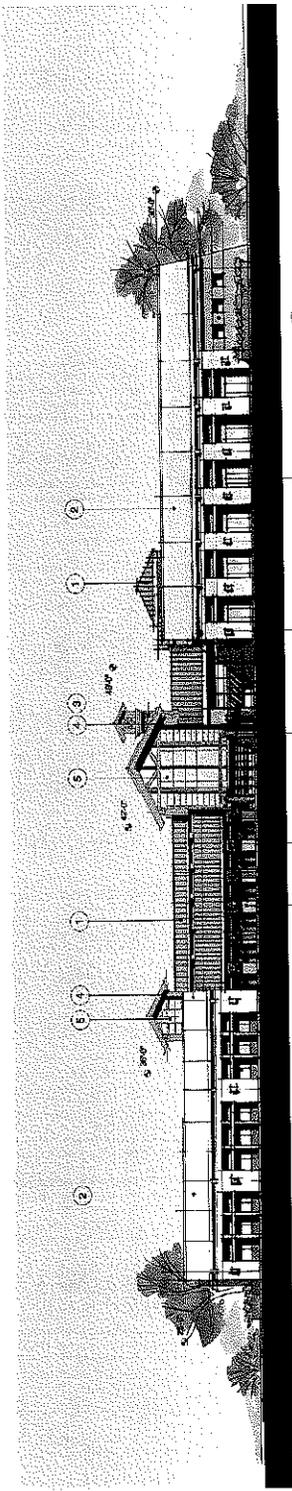
SENIOR CENTER  
HUNTINGTON BEACH, CA  
0713:1283.01

PROJECT FOR:

**M A K A R**  
4100 MACARTHUR BLVD.  
SUITE 100  
NEWPORT BEACH,  
CA 92660  
T: 949.255.1100  
F: 949.255.1128

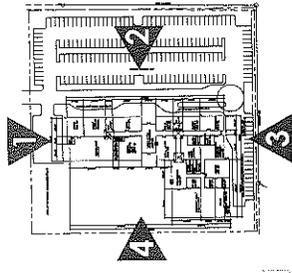


3. SOUTH ELEVATION



4. WEST ELEVATION

- MATERIALS**
1. STANDING METAL SEAM ROOF
  2. DRY STACK STONE
  3. DRY STACK STONE
  4. WOOD/ARFAL PATERS
  5. CLADDING
  6. WOOD TRELLIS
  7. WOOD TRELLIS



**ELEVATIONS**  
JULY 9, 2007

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ATTACHMENT NO. 4.3

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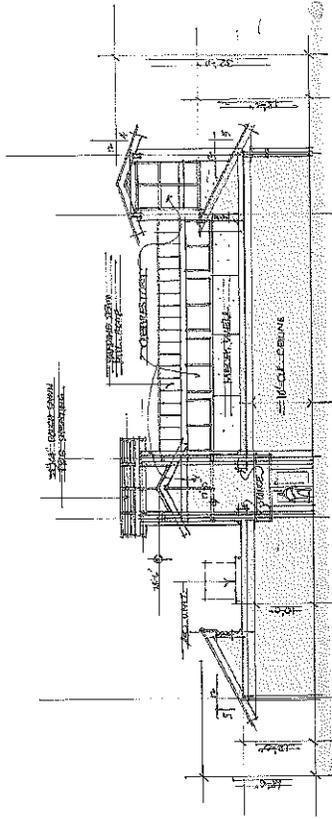
SENIOR CENTER  
HUNTINGTON BEACH, CA

07/13/2009

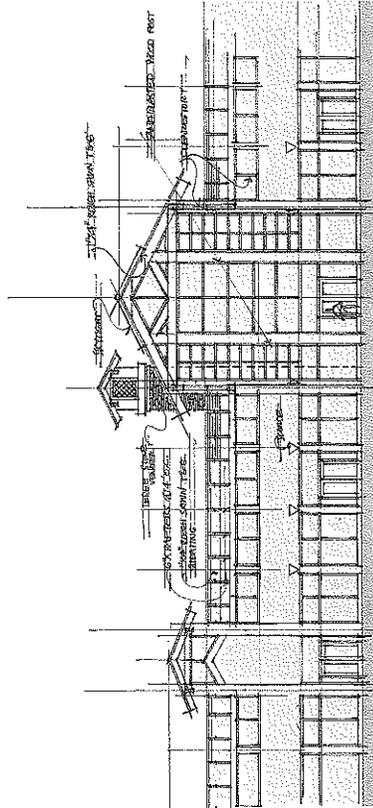
PROJECT FOR:



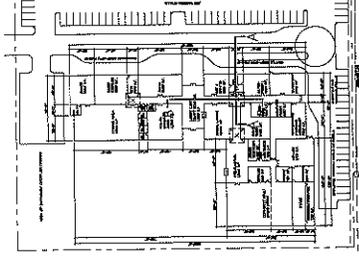
4100 MACARTHUR BLVD.  
NEWPORT BEACH,  
CA 92660  
T: 949.255.1100  
F: 949.255.1128



SECTION A



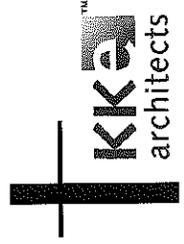
SECTION B



SECTIONS

JULY 9, 2009

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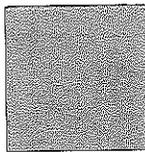
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PROJECT FOR:

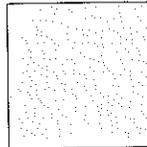


**COLOR LEGEND**

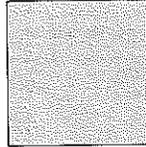
- A. DUNN EDWARDS  
DE 5207 Pecan Veneer
- B. DUNN EDWARDS  
DEC 769 Ranier White
- C. DUNN EDWARDS  
DE 5436 Tortilla



A



B



C

**SITE FURNITURE**

- A. BENCH  
MFG: Keystone Ridge Designs  
Style: The Reading Series  
6' Bench with Back  
Color: Bronze
- B. LITTER RECEPTACLE  
MFG: Keystone Ridge Designs  
Style: The Reading Series  
32 gallon  
Color: Bronze
- C. BICYCLE RACKS  
MFG: Keystone Ridge Designs  
Style: The Reading Series  
2 sided-8 bike capacity  
Color: Bronze



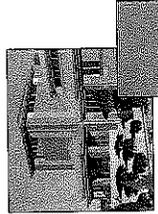
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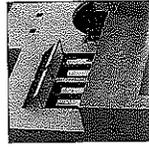
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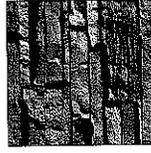
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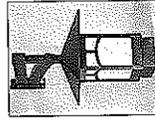
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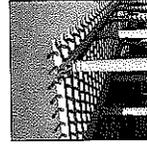
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3



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5

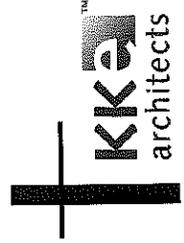
**MATERIAL LEGEND**

- 1. Metal Roof  
MFG: AEP Span  
Style: Standing Seam  
Color: Hemlock Green
- 2. Stucco Finish  
MFG: La Habra  
Finish: Fine Sand
- 3. Stone Veneer  
MFG: Coronado  
Style: Desert Ridge  
Color: Chablis
- 4. Wood/Metal Rafters
- 5. Glazing
- 6. Light Fixture  
MFG: Sternberg  
Style: Tinley 1220  
Color: Dark Bronze
- 7. Metal Trellis

**MATERIALS**

JULY 9, 2007

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# HUNTINGTON BEACH SENIOR CENTER

Final Subsequent Environmental Impact Report  
SCH No. 2007041027

*Mitigation Monitoring and Reporting Program*

*Prepared for*  
**City of Huntington Beach**  
Planning Department  
2000 Main Street, Third Floor  
Huntington Beach, California 92648

*Prepared by*  
**Atkins**  
12301 Wilshire Boulevard, Suite 430  
Los Angeles, California 90025

January 2012

ATTACHMENT NO. 5.1

# Mitigation Monitoring Program

## A. INTRODUCTION

The Final Subsequent Environmental Impact Report for the Huntington Beach Senior Center project (State Clearinghouse #2007041027) identifies mitigation measures to reduce the adverse effects of the project in the areas of: aesthetics, air quality, biological resources, cultural resources, geology and soils, hazards and hazardous materials, hydrology and water quality, noise, recreation, transportation/traffic, and utilities & service systems.

The California Environmental Quality Act (CEQA) requires that agencies adopting environmental impact reports ascertain that feasible mitigation measures are implemented, subsequent to project approval. Specifically, the lead or responsible agency must adopt a reporting or monitoring program for mitigation measures incorporated into a project or imposed as conditions of approval. The program must be designed to ensure compliance during applicable project timing, e.g. design, construction, or operation (Public Resource Code §21081.6).

The Mitigation Monitoring and Reporting Program (MMRP) shall be used by the City of Huntington Beach staff responsible for ensuring compliance with mitigation measures associated with the Huntington Beach Senior Center project. Monitoring shall consist of review of appropriate documentation, such as plans or reports prepared by the party responsible for implementation or by field observation of the mitigation measure during implementation.

The following table identifies the mitigation measures by resource area. The table also provides the specific mitigation monitoring requirements, including implementation documentation, monitoring activity, timing and responsible monitoring party. Verification of compliance with each measure is to be indicated by signature of the mitigation monitor, together with date of verification.

The Project Applicant and the Applicant's Contractor shall be responsible for implementation of all mitigation measures, unless otherwise noted in the table.

Mitigation Monitoring and Reporting Program

Mitigation Monitoring Program

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<b>Aesthetics</b>						
<b>MM 4.1-3(a)</b> All exterior nighttime lighting shall be angled down and away from the adjacent open space areas. Prismatic glass coverings and cutoff shields shall be used to further prevent spillover off site.	Project building plans	Review and approve building plans for inclusion of features	Plan check prior to issuance of building permit	Planning		
<b>MM 4.1-3(b)</b> The minimum number of foot-candles deemed necessary by the City to promote effective security while controlling glare and minimizing light spillover onto adjacent areas shall be utilized in all lighting fixtures.	Project building plans	Review and approve building plans for inclusion of features	Plan check prior to issuance of building permit	Planning		
<b>MM 4.1-3(c)</b> Motion-sensitive security lighting shall be used on site.	Project building plans	Review and approve building plans for inclusion of features	Plan check prior to issuance of building permit	Planning		
<b>MM 4.1-3(d)</b> To the extent feasible, the Developer shall use non-reflective façade treatments, such as matte paint or glass coatings.	Project building plans	Review and approve building plans for inclusion of features	Plan check prior to issuance of building permit	Planning		
<b>MM 4.1-3(e)</b> Trees and barrier-type vegetation should be placed throughout the site, including along the entire perimeter, to help shield vehicle headlights from adjacent uses.	Project landscaping and building plans	Review and approve landscaping and building plans for inclusion of features	Plan check prior to issuance of building permit	Planning		
<b>Air Quality</b>						
<b>MM-4.2-2(a)</b> (This MM incorporates Measure Air-9 from the Central Park Master Plan EIR) The project developer(s) shall require by contract specifications that construction equipment engines will be maintained in good condition and in proper tune per manufacturer's specification for the duration of construction.	Contract language and notes on grading and building plans	Review and approve contract specifications, grading and building plans for inclusion	Plan check prior to issuance of a grading permit	Planning		

ATTACHMENT NO. 5.3

Mitigation Monitoring Program

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<p><b>MM-4.2-2(b)</b> (This MM incorporates Measure Air-12 from the Central Park Master Plan EIR)</p> <p>The project developer(s) shall require by contract specifications that construction-related equipment, including heavy-duty equipment, motor vehicles, and portable equipment, shall be turned off when not in use for more than five minutes. Contract specification language shall be reviewed by the City prior to issuance of a grading permit.</p>	Contract language and notes on grading and building plans	Review and approve contract specifications, grading and building plans for inclusion	Plan check prior to issuance of a grading permit	Planning		
<p><b>MM-4.2-2(c)</b> (This MM incorporates Measures Air-10 and Air-11 from the Central Park Master Plan EIR)</p> <p>The project developer(s) shall encourage contractors to utilize alternative fuel construction equipment (i.e., compressed natural gas, liquid petroleum gas, electric, and unleaded gasoline) and low-emission diesel construction equipment to the extent that the equipment is readily available and cost effective. Contract specification language shall be reviewed by the City prior to issuance of a grading permit.</p>	Contract language and notes on grading and building plans	Review and approve contract specifications, grading and building plans for inclusion	Plan check prior to issuance of a grading permit	Planning		
<p><b>MM-4.2-2(d)</b> The project developer(s) shall require by contract specifications that construction operations rely on the electricity infrastructure surrounding the construction sites rather than electrical generators powered by internal combustion engines to the extent feasible. Contract specification language shall be reviewed by the City prior to issuance of a grading permit.</p>	Contract language and notes on grading and building plans	Review and approve contract specifications, grading and building plans for inclusion	Plan check prior to issuance of a grading permit	Planning		
<p><b>MM-4.2-2(e)</b> The project developer(s) shall require by contract specifications that the architectural coating (paint and primer) products used would have a VOC rating of 125 grams per liter or less. Contract specifications shall be included in the proposed project construction documents, which shall be reviewed by the City prior to issuance of a building permit.</p>	Project building plans	Review and building plans for inclusion	Plan check prior to issuance of a building permit	Planning		

ATTACHMENT NO. 5.4

Mitigation Monitoring and Reporting Program

Mitigation Monitoring Program

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<p><b>Biological Resources</b></p> <p><b>MM 4.3-1(a)</b> Nesting habitat for protected or sensitive avian species:</p> <ol style="list-style-type: none"> <li>1) Vegetation removal and construction shall occur between September 1 and January 31 whenever feasible.</li> <li>2) Prior to any construction or vegetation removal between February 15 and August 31, a nesting survey shall be conducted by a qualified biologist of all habitats within 500 feet of the construction area. Surveys shall be conducted no less than 14 days and no more than 30 days prior to commencement of construction activities and surveys will be conducted in accordance with CDFG protocol as applicable. If no active nests are identified on or within 500 feet of the construction site, no further mitigation is necessary. This survey can be carried out concurrently with surveys for other species provided it does not conflict with any established survey protocols. A copy of the pre-construction survey shall be submitted to the City of Huntington Beach. If an active nest of a sensitive species is identified onsite (per established thresholds) a 250-foot no-work buffer shall be maintained between the nest and construction activity until CDFG and/or USFWS approves of any other mitigation measures.</li> <li>3) Completion of the nesting cycle shall be determined by qualified ornithologist or biologist.</li> </ol>	<p>Developer shall submit construction schedule (including grading activities) as evidence of construction overlap with breeding season.</p> <p>If construction occurs during relevant breeding, developer shall present a survey report (prepared by a qualified biologist approved by the City) to the City prior to issuance of a grading permit. If nests are found, developer shall submit plans identifying nest locations and limits of construction activities.</p>	<p>Review schedule and field survey report, and as necessary, review and approve plans indicating construction limits</p> <p>Perform periodic field check to ensure compliance</p>	<p>Plan check prior to issuance of a grading permit</p> <p>During construction</p>	<p>Planning</p> <p>Planning</p>		

ATTACHMENT NO. 5.5

Mitigation Monitoring Program

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<p><b>MIM 4.3-1(b) Burrowing Owl:</b></p> <ol style="list-style-type: none"> <li>1) Prior to construction activity, focused pre-construction surveys shall be conducted for burrowing owls where suitable habitat is present within the construction areas. Surveys shall be conducted no less than 14 days and no more than 30 days prior to commencement of construction activities and surveys shall be conducted in accordance with CDFG burrowing owl survey protocol.</li> <li>2) If unoccupied burrows are found during the non-breeding season, the City may collapse the unoccupied burrows, or otherwise obstruct their entrances to prevent owls from entering and nesting in the burrows. This measure would prevent inadvertent impacts during construction activities.</li> <li>3) If no occupied burrows are found in the survey area, a letter report documenting survey methods and findings shall be submitted to the City and CDFG for review and approval, and no further mitigation is necessary.</li> </ol> <p>If occupied burrows are found, impacts on the burrows shall be avoided by providing a buffer of 165 feet during the non-breeding season (September 1 through January 31) or 250 feet during the breeding season (February 1 through August 31). The size of the buffer area may be adjusted if a qualified biologist and CDFG determine it would not be likely to have adverse effects on the owls. No project activity shall commence within the buffer area until a qualified biologist confirms that the burrow is no longer occupied. If the burrow is occupied by a nesting pair, a minimum of 7.5 acres of foraging habitat contiguous to the burrow shall be maintained until the breeding season is over.</p> <ol style="list-style-type: none"> <li>4) If impacts on occupied burrows are unavoidable, onsite passive relocation techniques approved by CDFG shall be used to encourage owls to move to alternative burrows outside of the impact area. However, no occupied burrows shall be disturbed during the nesting season unless a qualified biologist verifies through non-invasive methods that</li> </ol>	<p>Developer shall submit construction schedule (including grading activities) as evidence of construction overlap with breeding season.</p> <p>If construction occurs during relevant breeding, developer shall present a survey report (prepared by a qualified biologist approved by the City) to the City prior to issuance of a grading permit. If nests are found, developer shall submit plans identifying nest locations and limits of construction activities.</p>	<p>Review schedule and field survey report, and as necessary, review and approve plans indicating construction limits</p> <p>Perform periodic field check to ensure compliance</p>	<p>Plan check prior to issuance of a grading permit</p> <p>During construction</p>	<p>Planning</p> <p>Planning</p>	<p>_____</p> <p>_____</p>	<p>_____</p> <p>_____</p>

ATTACHMENT NO. 5.6

Mitigation, Monitoring and Reporting Program

Mitigation Monitoring Program

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<p>juveniles from the occupied burrows are foraging independently and are capable of independent survival. Mitigation for foraging habitat for relocated pairs shall follow guidelines provided in the California Burrowing Owl Consortium's April 1995 Burrowing Owl Survey Protocol and Mitigation Guidelines, which ranges from 7.5 to 19.5 acres per pair.</p>						
<p><b>MM 4.3-2</b> (This MM is Measure Biological Resources-4 from the Central Park Master Plan EIR)                      The City shall mitigate for impacts to raptor foraging habitat through dedication as open space, conservation and/or enhancing areas of raptor foraging habitat at a ratio of 1:1 for acres of impact on raptor foraging habitat to provide suitable habitat values and functions for raptors. Mitigation for impacts on raptor foraging habitat will be accomplished within suitable areas that are City-owned and preferably nearby, such as the areas in association with the Sully Miller Lake Group Facility, Low Intensity Recreation Area, Semi-Active Recreation Area, and/or Midden Area/Urban Forest/Trailhead. Enhancement would include, but not be limited to, the planting of native trees within and adjacent to conserved areas of raptor foraging habitat. Prior to ground disturbance, the City shall identify the particular site or area to be enhanced and shall formulate a plan to accomplish the raptor foraging habitat enhancement activities. This plan shall be reviewed for approval by a qualified biologist.</p>	<p>The City shall determine the location of 5 acres of suitable raptor foraging habitat to be conserved and/or enhanced.                      The City shall formulate a plan to accomplish the raptor foraging habitat enhancement activities, including the planting of native trees within and adjacent to the dedicated area.                      Proof of retention of biologist.</p>	<p>Prepare plans indicating enhancement area, and verify retention of a qualified biologist                      Review and approval of raptor foraging habitat enhancement plan by qualified biologist                      Implementation and completion of enhancement activities</p>	<p>Plan check prior to issuance of a grading permit                      Review plan throughout construction activities                      Prior to Certificate of Occupancy</p>	<p>Planning                      Planning                      Qualified Biologist</p>		

ATTACHMENT NO. 5.7

Mitigation Monitoring Program

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<p><b>Cultural Resources</b></p> <p><b>MM 4.4-1(a)</b> (This MM incorporates Measures Archaeology-3, Archaeology-4, Historical-1, and Paleontology-1 from the Central Park Master Plan EIR)</p> <p>The City shall arrange for a qualified professional archaeological and paleontological monitor to be present during all project-related ground-disturbing activities, including the potential disturbance of soils on adjacent slopes. In addition, all construction personnel shall be informed of the need to stop work on the project site in the event of a potential find, until a qualified archaeologist or paleontologist has been provided the opportunity to assess the significance of the find and implement appropriate measures to protect or scientifically remove the find. Construction personnel will also be informed that unauthorized collection of cultural resources is prohibited.</p>	<p>Proof of retention of archaeological and paleontological monitor</p>	<p>Verify retention of qualified monitors</p> <p>Periodic field check to ensure monitors are present</p>	<p>Plan check prior to issuance of a grading permit</p> <p>Throughout ground-disturbing activities</p>	<p>Planning</p> <p>Planning</p>		

Mitigation Monitoring and Reporting Program

Mitigation Monitoring Program

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<p><b>MM 4.4-1(b)</b> (This MM incorporates Measures Archaeology-6,7 and 8, Historical-2 and 3, Paleontology-2,3 and 4, from the Central Park Master Plan EIR)</p> <p>If archaeological or paleontological resources are discovered during ground-disturbing activities, all construction activities within 50 feet of the find shall cease until the archaeologist/paleontologist evaluates the significance of the resource. In the absence of a determination, all archaeological and paleontological resources shall be considered significant. If the resource is determined to be significant, the archaeologist or paleontologist, as appropriate, shall prepare a research design for recovery of the resources in consultation with the State Office of Historic Preservation that satisfies the requirements of Section 21083.2 of CEQA. The archaeologist or paleontologist shall complete a report of the excavations and findings, and shall submit the report for peer review by three County-certified archaeologists or paleontologists, as appropriate. Upon approval of the report, the City shall submit the report to the South Central Coastal Information Center at California State University, Fullerton, and keep the report on file at the City of Huntington Beach.</p>	<p>Notes on grading plans</p> <p>Research design and recovery plan, if required</p>	<p>Review and approve grading plans for inclusion</p> <p>Review and approve research design and recovery plan</p>	<p>Plan check prior to issuance of a grading permit</p> <p>Throughout ground-disturbing activities</p>	<p>Planning</p> <p>Peer review by three County-certified professionals</p>	<p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>	<p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>
<p><b>MM 4.4-1(c)</b> (This MM incorporates Measure Archaeology-5 from the Central Park Master Plan EIR)</p> <p>The City shall arrange for a qualified Native American monitor or a rotation of monitors from the interested bands to be present during all project-related ground-disturbing construction activities, including the recompaction of soils on the adjacent hillside. Should project personnel discover any previously unknown cultural resources in the absence of an archaeological monitor, a qualified archaeologist should be notified immediately to evaluate the significance of the find and make recommendations for treatment.</p>	<p>Proof of retention of Native American monitor</p>	<p>Verify retention of qualified monitor</p> <p>Periodic field check to ensure monitor is present</p>	<p>Plan check prior to issuance of a grading permit</p> <p>Throughout ground-disturbing activities</p>	<p>Planning</p> <p>Planning</p>	<p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>	<p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>

ATTACHMENT NO. 5.9

Mitigation Monitoring Program

Mitigation Measure	Implementation/Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<p><b>MM 4.4-3</b> In the event of the discovery of a burial, human bone, or suspected human bone, all excavation or grading in the vicinity of the find shall halt immediately, the area of the find shall be protected, and the Developer shall immediately notify the City and the Orange County Coroner of the find and comply with the provisions of P.R.C. Section 5097. If the human remains are determined to be prehistoric, the Coroner will notify the NAHC, which will determine and notify a Most Likely Descendent (MLD). The MLD shall complete the inspection of the site within 24 hours of notification, and may recommend scientific removal and non-destructive analysis of human remains and items associated with Native American burials.</p>	Notes on grading plans	Review and approve grading plans for inclusion	Plan check prior to issuance of a grading permit  Throughout ground-disturbing activities	Orange County Coroner & Planning		
<b>Geology and Soils</b>						
<p><b>MM 4.5-1</b> Detailed design measures contained within the Geotechnical Evaluation prepared for the project shall be implemented, including those related to: earthwork, seismic design consideration, foundations, building floor slabs, retaining wall, exterior flatwork, shoring, corrosion, concrete, site drainage, storm drain infiltration system, and preliminary pavement design.</p>	Notes on rough/mass grading plan and building plans	Review and approve grading and building plans for inclusion of soils and geotechnical recommendations	Plan check prior to issuance of a rough/mass grading permit	Public Works  Building and Safety		
<p><b>MM 4.5-2</b> In order to mitigate the erosion potential of the slopes adjacent to the site, the near surface soils shall be compacted along the northern slope face (earthen berm) where the site improvements encroach upon the existing slopes. The slope shall then be covered with an appropriate erosion protection device and drought tolerant plants. Surface water runoff must be diverted away from the top of the slope to reduce the likelihood of surficial sliding and erosion.</p>	Notes on rough/mass grading plan and building plans	Review and approve grading and landscaping plans for inclusion of soils and geotechnical recommendations and plant material	Plan check prior to issuance of a rough/mass grading permit and prior to approval of landscape plan	Public Works		
<p><b>MM 4.5-4(a)</b> Oversize materials, more than approximately four inches in size, such as concrete rubble shall be disposed of off site. Trash and other debris shall be selectively removed and disposed off site.</p>	Notes on grading and building plans	Review and approve notes on grading building plans	Prior to issuance of grading and building permit	Public Works  Planning		

ATTACHMENT NO. 5.10

Mitigation Monitoring and Reporting Program

Mitigation Monitoring Program

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<p><b>MM 4.5-4(b)</b> (This MM incorporates Measure Geology-2 from the Central Park Master Plan EIR) Remedial grading to remove compressible soils and replace them with appropriately compacted fill shall occur in order to address potential settlements. Fill soils to be used for backfill around utilities shall be compacted to 90 percent relative compaction.</p>	Soils report documenting fill properties	Review and approve soil sampling report Notes on grading plans	Prior to fill import  Prior to issuance of a grading permit	Fire  Public Works	_____	_____
<p><b>MM 4.5-4(c)</b> (This MM incorporates Measure Geology-6 from the Central Park Master Plan EIR) Corrosivity testing of the on-site soils should be performed during the design phase. Corrosivity testing may also need to be considered for soils that are imported for use as fill during construction.</p>	Soils report with corrosion engineer recommendations	Review and approve notes on building plans	Prior to issuance of building permit	Building and Safety	_____	_____
<p><b>MM 4.5-5</b> (This MM incorporates Measure Geology-5 from the Central Park Master Plan EIR) The soil expansion potential shall be evaluated in detail prior to issuance of grading permits. If expansive soils are present near design grades, potential for heaving or cracking of rigid structures shall be addressed through soil removal, chemical treatment, or other equivalent measures.</p>	Notes on rough/mass grading plan and building plans	Review and approve grading plans and building plans for inclusion of soils and geotechnical recommendations	Plan check prior to issuance of a rough/mass grading permit and building permit	Building and Safety	_____	_____

ATTACHMENT NO. 5.11

Mitigation Monitoring Program

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<p><b>Hazardous Materials</b></p> <p><b>MM 4.6-1(a)</b> (This MM incorporates Measure Hazards-15 from the Central Park Master Plan EIR)</p> <p>In the event that previously unknown soil contamination that could present a threat to human health or the environment is encountered during construction, construction activities in the immediate vicinity of the contamination shall cease immediately. A risk management plan shall be prepared and implemented that (1) identifies the contaminants of concern and the potential risk each contaminant would pose to human health and the environment during construction and post-development and (2) describes measures to be taken to protect workers and the public from exposure to potential site hazards. Such measures could include a range of options, including, but not limited to, physical site controls during construction, remediation, long-term monitoring, post-development maintenance or access limitations, or some combination thereof. Depending on the nature of contamination, if any, appropriate agencies shall be notified (e.g., City of Huntington Beach Fire Department). A site health and safety plan that meets OSHA requirements shall be prepared and in place prior to the commencement of work in any contaminated area. The developer shall ensure proper implementation of the health and safety plan. If required, contamination shall be remediated in accordance with mitigation measure MM 4.6-1(b).</p>	<p>Risk Management Plan &amp; Site Health and Safety Plan</p>	<p>Review and approve any grading plans for inclusion</p>	<p>Plan check prior to issuance of any grading permit</p>	<p>Fire</p>		

ATTACHMENT NO. 5.12

Mitigation Monitoring and Reporting Program

Mitigation Monitoring Program

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<p><b>MM 4.6-1(b)</b> Closure reports or other reports acceptable to the HBFD that document the successful completion of required remediation activities, if any, for contaminated soils, in accordance with City Specification 431-92, shall be submitted and approved by the HBFD prior to issuance of grading permits for site development. No construction shall occur in the affected area until reports have been accepted by the City.</p>	<p>Closure reports or other reports acceptable to the HBFD that document the successful completion of required remediation activities</p>	<p>Review and approve closure reports other reports acceptable to the HBFD that document the successful completion of required remediation activities</p>	<p>Plan check prior to issuance of any grading permit</p>	<p>Fire</p>	<p>_____</p>	<p>_____</p>
<p><b>MM 4.6-1(c)</b> (This MM is Measure Hazards-9 from the Central Park Master Plan EIR) Any unrecorded or unknown wells uncovered during the excavation or grading process shall be immediately reported to and coordinated with the City and Division of Oil, Gas and Geothermal Resources (DOGGR). In addition, should any known and unexpected landfills be excavated and discovered during the construction phase of the proposed project, construction work will be immediately halted and the Local Enforcement Agency (LEA) will be notified. Further construction operations will resume at the discretion of LEA and upon work approval by LEA.</p>	<p>Documentation of consultation with DOGGR</p>	<p>Review and approve documentation</p>	<p>Plan check prior to issuance of a rough grading permit</p>	<p>Fire</p>	<p>_____</p>	<p>_____</p>
<p><b>MM 4.6-1(d)</b> Prior to the issuance of grading permits and during construction, the project shall comply with all provisions of the HBMC Section 17.04.085 and HBFD City Specification 429, Methane District Building Permit Requirements. A plan for the testing of soils for the presence of methane gas shall be prepared. If necessary, measures to reduce levels of gases to within levels determined acceptable by the HBFD (such as vent systems) shall be implemented, if required by the HBFD.</p>	<p>Notes on grading and building plans Methane and Hydrogen Sulfide Testing Plan</p>	<p>Plan check prior to issuance of a rough grading permit Review and approval of testing plan</p>	<p>Prior to issuance of any grading permit and during construction</p>	<p>Fire</p>	<p>_____</p>	<p>_____</p>

ATTACHMENT NO. 5.13

Mitigation Monitoring Program

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<p><b>Hydrology and Water Quality</b></p> <p>MM 4.7-1 (This MM incorporates Measures Water-2 and 3 from the Central Park Master Plan EIR)</p> <p>The project proponent shall prepare and implement a site-specific Water Quality Management Plan (WQMP).</p> <p>This (WQMP) shall identify specific stormwater BMPs for reducing potential pollutants in stormwater runoff. BMPs shall be designed in accordance with DAMP requirements and the recommendations of the Geotechnical Report prepared for the proposed project. The WQMP must be approved by the Public Works Department prior to the beginning of construction activities.</p> <p>The WQMP shall include the following BMPs along with selected BMPs to target pollutant removal rates:</p> <ul style="list-style-type: none"> <li>■ Waste and materials storage and management BMPs (design and construction of outdoor materials storage areas and trash and waste storage areas, if any, to reduce pollutant introduction)</li> <li>■ Spill prevention and control BMPs</li> <li>■ Slope protection and stabilization BMPs</li> <li>■ Water efficient irrigation practices (Municipal Code 14.52 Water Efficient Landscape; water efficient guidelines and Conceptual Landscape Plan).</li> <li>■ Permanent erosion and sediment controls (e.g., hydroseeding, mulching, surface covers)</li> </ul> <p>The Project Proponent is encouraged to consider the following BMPs:</p> <ul style="list-style-type: none"> <li>■ Minimize directly connected impervious area, including: pervious concrete (if applicable) or other pervious pavement for parking areas (e.g., turf block), pervious pavement for paths and sidewalks, and direction of rooftop runoff to pervious areas.</li> <li>■ Incorporation of rain gardens or cisterns to reuse runoff for</li> </ul>	Water Quality Management Plan	Review and approve WQMP and documentation	Plan check prior to issuance of precise grading permit	Public Works		

ATTACHMENT NO. 5.14

**Mitigation Monitoring and Reporting Program**

**Mitigation Monitoring Program**

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<ul style="list-style-type: none"> <li>■ landscape irrigation</li> <li>■ Alternative building materials</li> <li>■ Site design and landscape planning</li> <li>■ Wet vaults for subsequent landscape irrigation</li> <li>■ Sand filters for parking lots and rooftop runoff</li> <li>■ Frequent street and parking lot sweeping</li> <li>■ Media filter devices for roof top drain spouts (including proprietary devices)</li> <li>■ Biofiltration devices (swales, filter strips, and others)</li> <li>■ Proprietary control measures (if supporting documentation is provided)</li> <li>■ Drain inlet filters</li> <li>■ Pet waste station</li> <li>■ The upstream drainage area must be completely stabilized</li> </ul>						

ATTACHMENT NO. 5.15

Mitigation Monitoring Program

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<p><b>MM 4.7-2</b> (This MM incorporates Measure Utilities-8 from the Central Park Master Plan EIR)</p> <p>The project proponent shall prepare a Project Hydrology and Hydraulic Report and Drainage Plan that incorporates stormwater conveyance facilities to provide adequate site drainage and minimize erosive forces.</p> <p>This Hydrology and Hydraulic Report shall include analysis of stormwater runoff peak flow and total volume from the 2-year and 100-year storm events for both existing and developed conditions. Stormwater conveyance and detention features shall be designed and incorporated into the proposed project to reduce runoff forces to non-erosive rates for the 100-year storm events. To the maximum extent practicable, the Drainage Plan shall also reduce post-construction peak runoff rates and timing to existing conditions levels. Off-site road improvements shall be included in the Hydrology and Hydraulic Report and Drainage Plan.</p> <p>The Hydrology and Hydraulic Report shall include a Drainage Plan identifying any additional stormwater quantity BMPs, their locations, and design characteristics, along with the flow dissipation piping, bioswales, and vegetated buffer areas already identified on the Conceptual Grading and Utility Plan (Figure 3-7 in Section 3.0 [Project Description]). Supporting documentation shall be included to show that incorporation of these features will result in post-construction runoff erosive forces that do not exceed existing conditions erosive forces.</p> <p>The Public Works Department shall approve this Hydrology and Hydraulic Report and Site Drainage Plan prior to the issuance of a precise grading permit. It is recommended that the Site Drainage Plan be coordinated with the WQMP to maximize efficiency of stormwater runoff detention/retention and water quality treatment.</p>	<p>Hydrology and Hydraulic Report and Drainage Plan</p>	<p>Review and approve plan and documentation</p>	<p>Prior to issuance of a grading permit</p>	<p>Public Works</p>		

ATTACHMENT NO. 5.16

**Mitigation Monitoring and Reporting Program**

**Mitigation Monitoring Program**

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<p><b>MM 4.7-5</b> The project proponent shall prepare and implement a Nutrient and Pesticide Management Program.</p> <p>A Nutrient and Pesticide Management Program (NPMP) shall be prepared and implemented to minimize the risk of pollutants associated with landscape establishment and maintenance practices in runoff waters. This NPMP shall include guidelines, application regulations, and applicator training, and shall encourage minimization of chemical use.</p>	Nutrient and Pesticide Management Program	Review and approve NPMP	Prior to issuance of a grading permit	Public Works		
<b>Noise</b>						
<p><b>MM 4.9-1(a)</b> (This MM is Measure Noise-3 from the Central Park Master Plan EIR)</p> <p>The City of Huntington Beach shall limit grading and construction activities to daily operation hours between 7:00 a.m. and 7:00 p.m. (Monday through Friday) and 8:00 a.m. to 5:00 p.m. on Saturdays. Construction shall not take place on Sundays or Federal holidays.</p>	Contract language and notes on building plans	Review and approve building plans for inclusion	Prior to issuance of a building permit	Planning		
<p><b>MM 4.9-1(b)</b> (This MM is Measure Noise-5 from the Central Park Master Plan EIR)</p> <p>The U.S. Environmental Protection Agency has estimated that noise levels from construction equipment can be lowered as much as 13 dBA by implementing noise control features that require no major redesign or extreme cost. The City of Huntington Beach shall require that all construction equipment incorporate noise reduction control features. All vehicles and compressors should utilize exhaust mufflers, and engine enclosures as designed by the manufacturer should be in place at all times.</p>	Contract language and notes on grading plans and building plans	Review and approve grading plans and building plans for inclusion	Prior to issuance of a grading permit and a building permit	Planning		

ATTACHMENT NO. 5.17

Mitigation Monitoring Program

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<p><b>Recreation</b></p> <p><b>MM 4.11-1</b> (This MM is Measure Recreation-1 from the Central Park Master Plan EIR)</p> <p>At least thirty days prior to construction, the City of Huntington Beach shall post signs in the vicinity of the project site indicating the proposed construction schedule of the senior center facility (including location and hours of operation) and shall complete the permanent relocation of the disc golf course hole located at the southern boundary of the site back to the official disc golf course.</p>	Final building plans and project grading plans	Ensure construction schedule signs are posted and disc golf course hole is relocated	At least 30 days prior to construction activity	Planning		
<p><b>Transportation/Traffic</b></p> <p><b>MM 4.12-4</b> The intersection of Goldenwest Street at Talbert Avenue shall be modified to include the project driveway as the west leg, with appropriate corresponding signal modifications and intersection lane improvements. The City Transportation Manager shall determine the ultimate signal modifications that are most appropriate for the project site. Design recommendations include, but are not limited to, the following:</p> <ul style="list-style-type: none"> <li>■ Split phase operations for east-west movements</li> <li>■ Adequate pedestrian green to accommodate a slower walk speed (e.g., 2.8 feet per second)</li> <li>■ Address design site distance</li> <li>■ Increased letter sizes on roadway signs</li> <li>■ Increased signal clearance intervals</li> </ul>	Street Improvement Plans & Traffic Control Plan	Review and approval of Street Improvement Plans & Traffic Control Plan	Prior to Certificate of Occupancy	City Transportation Manager		
<p><b>Utilities &amp; Service Systems</b></p> <p><b>MM 4.13-1</b> (This MM is Measure Utilities-7 from the Central Park Master Plan EIR)</p> <p>If the Green Acres Project is not yet operational and able to supply water to the program level elements of the Master Plan prior to the development of final plans and specifications, additional studies will be undertaken to determine the extent to which one or a combination of the following measures will be necessary to reduce impacts to water supply systems for</p>	Green Acres Project	Review status of Green Acres Project and ability to supply the project If Green Acres Project cannot supply water to the	Prior to issuance of a grading permit	Public Works		

ATTACHMENT NO. 5.18

Mitigation Monitoring and Reporting Program

Mitigation Monitoring Program

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<p>program level elements during the interim until water from the Green Acres Project is available:</p> <ul style="list-style-type: none"> <li>■ Reduce the required irrigable areas by 10 percent;</li> <li>■ Enhance the utilization of existing groundwater systems (i.e., subpotable wells); or</li> <li>■ Supplement the irrigation supply with water from the domestic water system.</li> </ul>		<p>project, prepare study/studies identifying measures to reduce impacts to water supply systems</p>				
<p><b>MM 4.13-2</b> The developer shall install low-flow water devices and waterless urinals as part of the project.</p>	<p>Notes on building plans</p>	<p>Installation of low-flow water devices and waterless urinals</p>	<p>Prior to and during construction activities</p>	<p>Public Works</p>		
<p><b>MM 4.13-3</b> (This MM is Measure Utilities-9 from the Central Park Master Plan EIR) Prior to construction of program level elements, additional electrical load analyses shall be undertaken to determine the need for additional electrical transformers.</p>	<p>Electrical load analyses</p>	<p>Conduct electrical load analyses</p>	<p>Prior to construction activities</p>	<p>Public Works</p>		

ATTACHMENT NO. 5.19

# **ATTACHMENT NO. 6**

## **FINAL SUBSEQUENT EIR NO. 07-002 NOT ATTACHED**

AVAILABLE FOR REVIEW AT:

THE PLANNING AND ZONING COUNTER – CITY HALL, 3<sup>RD</sup> FLOOR

THE CITY CLERK'S OFFICE – CITY HALL, 2<sup>ND</sup> FLOOR

THE CENTRAL LIBRARY

CITY WEBSITE

[WWW.HUNTINGTONBEACHCA.GOV/GOVERNMENT/  
DEPARTMENTS/PLANNING/MAJOR/SENIOR\\_CENTER.CFM](http://WWW.HUNTINGTONBEACHCA.GOV/GOVERNMENT/DEPARTMENTS/PLANNING/MAJOR/SENIOR_CENTER.CFM)

# **ATTACHMENT NO. 7**

**CITY COUNCIL RCA**

**JULY 5, 2011**

**NOT ATTACHED**

REFER TO ITEM B-2A.

ATTACHMENT NO. 4

ALSO AVAILABLE AT THE FOLLOWING LINK:

[http://huntingtonbeach.granicus.com/ViewPublisher.php  
?view\\_id=2](http://huntingtonbeach.granicus.com/ViewPublisher.php?view_id=2)

17January2012

Ms Jennifer Villasenor, Senior Planner  
City of Huntington Beach Planning Department  
2000 Main Street, Third Floor  
Huntington beach, CA 92648

Email: SVillasenor@surfcity-hb.org

Re: FSEIR 07-002

Dear Ms Villasenor,

Attached are my comments on the Final Subsequent EIR 07-002. Thank you for the opportunity to identify some problem areas in the City of Huntington Beach (City) responses and to suggest some solutions.

My review of the Final Subsequent Environmental Impact Report 07-002 (FSEIR 07-002) indicates it may contain two (2) errors. The first error is the use of the non-native grasslands for environmental mitigation in FSEIR 07-002, that have previously been committed (1999) to environmental mitigation in FMEIR 99-1. Recall FMEIR 99-1 defined environmental mitigation actions that allowed construction of the ball fields east of Golden West and south of Talbert. The second error is an out-of-date (1997-1998) and materially inaccurate figure (fig 3-9, pg. 3-21, FSEIR 07-002) defining the "Central Park Master Plan of Uses". This old 1997-1998 figure was not properly corrected in FMEIR 99-1 and is grossly misleading if used before the City Council, the City Boards and Commissions, the City Staff and the public. In my opinion these two errors need to be corrected before the Senior Center EIR 07-002 proceeds. These errors are easily correctable, possibly avoiding future court actions.

First, on page 10-66 of SEIR 07-002 in response to comment BAR-2, the City proposes to use the natural park non-native grassland areas already set aside in FMEIR 99-1. In FMEIR 99-1 these areas (41.2 acres of non-native grasslands) were reserved to mitigate the destruction of 68 acres of significant environmental habitat during the construction of the ball fields. For background on the first error, please refer to the following attached figures from the Final Master Environmental Impact Report FMEIR 99-1 ("Environmental Findings of Fact and Statement of Overriding Considerations, Master Plan of Recreation Uses for Central Park," City of Huntington Beach, California; State Clearinghouse Number 97091007; dated June 22, 1999). Attached figures 1 through 10 contain data extracted from FMEIR 99-1 and establish the amount, location, definition and shape of the existing non-native grass areas governed by FMEIR 99-1. The figures 11 and 12 present the data from FMEIR 99-1 on a 2008 aerial photograph. The annotated aerial photo prove no available non-native grasslands exist in the natural park area to mitigate the significant environmental destruction of 7.8 acres as proposed in FSEIR 07-002. Another solution must be found for mitigation in FSEIR 07-002.

Figure 1 (pg12-15) responds to "significant" CEQA comments by the US Fish and Wildlife Service (Service) and the CA Department of Fish and Game (CDFG) by conserving 41.2

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acres of non-native grasslands in four (4) elements of the Master Plan (Low Intensity Recreation Use Area (7.8 acres), Sully Miller Lake Group Facility (5.8 acres), Semi-active Recreation Area (1.6 acres) and Midden Area/Urban Forest/Trailhead (26 acres)). The 41.2 acres of conserved non-native grasslands in FMEIR 99-1 are also cited on pg 12 of the HB City Staff Report to City Council, dated 7-13-99 and are discussed in more detail in the pages to be cited next.

Figure 2 (page 3.7-43, Table 3.7-3) defines the individual acreages comprising the 41.2 acres of non-native grasslands. The Service and CDFG required a substantial modification of the four elements containing non-native grasses. The City implemented the corrections to the four elements in the DEIR 99-1 in 1999 and successfully mitigated the "significant" CEQA comments of the Service and CDFG. The City created "natural parks" free of development, but oriented to equestrians, bicyclists, hikers and other park goers. These natural parks require minimal financial investment, but diligent management attention by the City staff.

Figure 3 (page 3.7-47) states the City will use a 1:1 ratio of conserved acres of non-native grasslands [41.2 acres] to that destroyed by construction of the ball fields [68 acres according to CDFG]. It is not explained how 41.2 acres equals 68 acres for the City's 1:1 ratio. The City states its enhancing of non-native grasslands would include but not be limited to planting of native trees within and adjacent to the four parcels comprising the 41.2 acres, enhancing the area for raptors [and beautify the area for equestrians, hikers, bicyclists and other park goers].

Figure 4 (pg II-17) indicates the City specifies the City Planning Department as responsible for planning, monitoring and enforcing the mitigation of the significant environmental impact from the ball fields using the 41.2 acres of non-native grasslands specified in figs 1, 2 and 3 above.

Figures 5, 6, 7, 8 and 9 (pgs 3.7-44, 3.7-44 continued, 3.7-45, 3.7-45 continued and 3.7-46) define the 41.2 acres of non-native grasslands in detail, set limits on their extent and define future use. Interestingly, 4 acres of the 7.8 acres of non-native grassland in the Low Intensity Recreation Use area is further identified in figure 5 for additional enhancement for "federally designated sensitive birds, including raptors".

Figure 10 (pg 2-16) defines the 43.2 acres (26 acres non-native grasses and 17.2 acres Urban Forest) of the Midden Area/Urban Forest/Trailhead as an "L-shaped" parcel located south of the existing dog park and Equestrian Center, west of Golden West Street, north of Ellis Avenue, and east of Edwards Street. This described area inadvertently contains approximately 7.5 acres of private property (52 encyclopedia lots per the OC Assessor's Office (1-1-2011) and 2 oil leases). Figure 10 also defines the 8 acres for the Semi-active Recreation area as west of Golden West Street immediately northwest of the intersection of Ellis Avenue and Golden West Street. As will be shown subsequently, this was a mis-definition which would prevent the CEQA requirements for

41.2 acres of non-native grasses to not be met by FMEIR 99-7. The arithmetic was faulty, as the correct development area for the Semi-active Recreation Area is 2.9 acres.

Figure 11 combines the data in figures 1 through 10, showing the Midden Area/Urban Forest/Trailhead Area and Semi-active Recreation Area on a 2008 aerial photograph of the natural park area in Central Park. Note the 25 acre Equestrian Center, the two oil leases, the representative scattered encyclopedia lots, the non-native grasslands, the Urban Forest and the many overly-wide, randomly formed, multi-use trails. Examination of the figure shows these trails partially thwart the mitigation efforts of the City Planning Department which is responsible for managing the natural park identified in FMEIR 99-1. The Planning Department, in conjunction with the Public Works Department, could consider relocating the trails to more suitable nearby locations and reduce erosion in the large watershed.

Figure 12 adds the logical boundaries of the Midden Area/Urban Forest/Trailhead area and the Semi-active Recreation area to fig. 11. The City could not use the private/leased property to mitigate the ball park's significant impact on non-native grassland without the owners'/leases' permission. Thus 3.5 acres (7.5 acres - 4.0 acres for the Brindal-Thomas lease) of the Midden Area/Urban Forest/Trailhead acres logically lay on City owned property in the former AC Marion parcel. Much of this parcel was incorrectly assigned to the Semi-active Recreation area, which has only 1.6 acres of non-native grasses assigned to mitigation. As a consequence 5.1 acres (1.6 acres from fig. 2 plus 3.5 acres of City's compensation for the unavailable private property) of the Semi-active Recreation Area belong in the non-native grass mitigation areas under FMEIR 99-1. The result means there are 2.9 acres in the Semi-active Recreation Area for development or potential non-native grass mitigation effort under FSEIR 07-002. Unfortunately the area has already been developed by the City to provide overflow parking for the Equestrian center, placing approximately fifty-five, 3 to 6 foot, vertical poles 20-30 feet apart over the area. The area is not presently used by raptors because these poles would break the wings of diving raptors. If the poles were removed under FSEIR 07-002 it would partially mitigate 2.9 acres of the 7.8 acre non-native grassland losses in the Low Intensity Recreation area, provided the area is reseeded until non-native grasses naturally recover.

In summary, for error 1 in FSEIR 07-002, the destruction of 7.8 acres of non-native grasses in the Low Intensity Recreation Area can't be mitigated using the natural park area already committed by the City in FMEIR 99-1. However, before beginning construction of the Senior Center the City could purchase the 3.5 acres of private property located in the natural park, and also eliminate the 55 poles in the 2.9 acre Equestrian Center overflow parking area. This action would expand the City-owned area available for environmental mitigation in the natural park to 6.4 acres, partially compensating for the environmental destruction of 7.8 acres in the Low Intensity Recreation Area.

If the first error in FSEIR 07-002 discussed above is verified by the City, a rewriting of MM 4.3-2 and pages 4.3-22 and 4.3-23 in FSEIR 07-002 is required before going forward for approval. The rewritten section would identify an uncommitted non-native grasses area and propose an enforceable City action plan to mitigate the destruction of grasslands by the Senior Center, as was done previously for the ball park construction in FMEIR 99-1.

Second, there seems to be a substantial error in response to CLG-20 in the SEIR 07-002 (pg. 10-57) as shown in attached figure 13. It is stated by the City that figure 3-9 on pg 3-21 (same as figure 1.0-4 in FMEIR 99-1) describes the existing and proposed land uses for Central Park. In fact figure 3-9 (created in 1997-1998) was not updated in 1999 for FMEIR 99-1 to reflect the two (2) years of subsequent changes in Central Park land use specified in the August 1999 dated Final Master Environmental Impact Report for the baseball fields. The correct Central Park land usage has been discussed in figures 1 through 12. Other obvious anomalies and errors in figure 3-9 of FSEIR 07-002 are called out in attached figure 13: (1) the mislabeling of the location of the "Semi-active Recreation Area", (2) the construction of a parking lot in the "Urban Forest" on top of a "State of California Waters" CDFG stream called Ellis Creek, (3) several incorrect boundaries for the 25 acre Equestrian Center lease, (4) the failure to indicate private property and leases (encyclopedia lots, small oil lease on Ellis Avenue and Brindle/Thomas oil lease), (5) improper legal reference date, (6) incorrect word descriptions from FMEIR 99-1 and (7) other errors. I think enclosed figure 14 represents a corrected version of the natural park area to be considered part of figure 3.9 in FSEIR 07-002. Figure 14 shows a large non-native grass area, private property, a distributed Urban Forest and an overflow parking area for the Equestrian center. However, figure 14 still leaves the 7.8 acres of non-native grass mitigation for FSEIR 07-002 undefined, although some suggestions were made herein.

In no case should the existing and outdated figure 3-9 be incorporated into the "Central Park Master Plan of Uses" in FSEIR 07-002 (it was incorrect in FMEIR 99-1) or into pages III-RCS-2 of the "Recreation and Community Services Element". As already stated the current figure 3.9 shows erroneous information and out-of-date content; it fails to reflect the City of Huntington Beach decisions and commitments in FMEIR 99-1. After figure 3-9 is updated and corrected for the FMEIR 99-1 and the FSEIR 07-002 mitigation plans, it should be annotated at the bottom of the figure to the calendar date preceding the City Council approval of FSEIR 07-002. This new date would assure correct planning data are presented to the City Council, the City Commissions and Boards, the City staff and the public at all times.

Thank you for considering and reacting to my comments. I would be happy to share and discuss the FMEIR 99-1 data with the City Planning Department. It benefits FSEIR 07-002 to have an accurate definition of the "present case" non-native grassland mitigation areas called Low Intensity Recreation Area, the Semi-active Recreation Area,

the Midden Area/Urban Forest/Trailhead Area and the Sully Miller Lake Group Recreation Area as defined in FMEIR 99-1. These areas contain many multiuse trails for equestrians, hikers, bicyclists and other park goers. Other areas such as the English-like parks in north Central Park are more monolithic, supporting a smaller biological set of animals and birds for the public to view and enjoy. The natural park areas of non-native grasses and native trees are unique in Huntington Beach because they represent a complete biological environment for the smallest insect prey to the largest and most aggressive raptors. The natural park area connects Sully Miller Lake area to the Bolsa Chica Reserve and the Harriett M. Wieder Regional Park, maintaining a wildlife corridor. Ever more importantly, natural parks have minimal costs compared to other types of parks during a tight budget time period.

Sincerely,

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Robert C Schwanz, PhD

714-745-3081 (cell)

**Comment:** In their letter of comment, the U.S. Fish and Wildlife Service and the California Department of Fish and Game indicated that "the proposed project may result in direct or indirect, adverse effects to four state and federally endangered species: The California least tern, peregrine falcon; least Bell's vireo, and southwestern willow flycatcher. In addition the California Department of Fish and Game identified four State Species of Special Concern that would be potentially effected by the proposed project: white-tailed kite, tricolored blackbird, Cooper's hawk and loggerhead shrike.

It is the conclusion of the Service that general wildlife surveys were conducted during winter and adequate surveys for these or other listed and sensitive species have not been done and apparently will not be done until prior to the commencement of construction activities or prior to "moving forward with program level elements." Therefore, potential impacts to these species cannot be disclosed nor appropriately mitigated per CEQA requirements.

**Commentor(s):** Service (8)

**Response:** See response to comments No. 4,5,6,7.  
Potential impacts on federally listed species are addressed in Section 3.7.3 of the MEIR.  
As indicated in Table 3.7-1 of the MEIR, the California least tern is not known currently or historically from Huntington Central Park and the program and project level elements of the proposed project are not expected to have any impact on this federally and state listed species.  
As indicated in Table 3.7-1 of the MEIR, the peregrine falcon is noted on the Huntington Central Park Bird List as a rare species year round, primarily in association with the Shipley Nature Center. The proposed Master Plan does not include any modifications to urban forest or disturbed riparian habitats found in association with the Shipley Nature Center or Jack Green Nature Area. The conversion of ruderal/bare and developed areas of the Park would not be expected to effect the infrequent visits by the peregrine falcon.  
As indicated in Section 3.7.3 of the MEIR, areas under consideration for development of the project level elements of the proposed Master Plan do not support suitable habitat for southwestern willow flycatcher and least Bell's vireo. With the exception of the Sully Miller Lake Group Facility, areas under consideration for development of program level elements of the proposed Master Plan do not support suitable habitat for southwestern willow flycatcher or least Bell's vireo. Suitable habitat for these species is primarily limited to the Shipley Nature Center and Jack Green Nature Area which are not the subject of the proposed Master Plan. See Response to Service (5) for information related to additional documentation that will be undertaken for southwestern willow flycatcher and least Bell's vireo prior to completing the environmental documentation for the Sully Miller Lake Group Facility.

In response to comments provided by the Service and the Department, the City has revised the project description for the Low Intensity Recreation Area and the Midden Area/Urban Forest/Trailhead program level elements of the proposed Master Plan to minimize the loss of potential foraging habitat for birds considered to be sensitive by the Service and by the Department.

See Clarifications and Revisions to pages 2-16 and 2-17 of the MEIR undertaken to minimize impacts on potentially suitable foraging habitat for State and Federally designated sensitive birds, including raptors.

See Clarifications and Revisions to pages 3.7-44 and 3.7-45 and Table 3.7-3 of the MEIR for clarification that the program level elements can be undertaken in a manner that minimizes impacts on potentially suitable foraging habitat for State and Federally designated sensitive birds, including raptors. In response to comments received from the U.S. Fish and Wildlife Service and the California Department of Fish and Game, the City of Huntington Beach revised four elements of the Master Plan to increase conservation of non-native grasslands: Low-Intensity Recreation Use Area, Sully Miller Lake Group Facility, Semi-Active Recreation, and Midden Area/Urban Forest/Trailhead. Central Park currently supports 72 acres of non-native grassland that are subject to annual mowing or discing for fire control. The modification to the Master Plan delineated in the Clarifications and Revisions would result in conservation of 41.2 acres (57%) of non-native grassland within Central Park.

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Figure 1/14

**TABLE 3.7-3  
 IMPACTS TO EXISTING BIOTIC COMMUNITIES FROM MASTER PLAN IMPROVEMENTS  
 HUNTINGTON CENTRAL PARK, CITY OF HUNTINGTON BEACH**

BIOTIC COMMUNITY	Existing	Impacts		Post-construction (Acres)
	Pre-construction (Acres)	Preserved (Acres)	Project Impacts (Acres)	
Landscaped	80	64.5	-0.24 (2) -13 (3) -0.24 (4) -1.7 (8) <sup>2</sup>	64.5 +9.6 (3) +15.411.4 (5) <sup>2</sup> +4.8 (6) <sup>2</sup> +1.9 (7) <sup>2</sup> +4.48.6 (8) <sup>2</sup>
Urban Forest	20	20.2	-	20.2 +19.217.2 (6) <sup>2</sup>
Non-native Grassland	72	<del>3.87.8</del> 26.0 1.6	<del>-15.411.4 (5)<sup>2</sup></del> <del>-43.217.2 (6)<sup>2</sup></del> <del>-9.68.0 (7)<sup>2</sup></del>	<del>3.87.8 (5)<sup>2</sup></del> +14.426.0 (6) <sup>2</sup> 1.6 (7) <sup>2</sup> 5.8 (8) <sup>2</sup>
Disturbed Riparian	34	21.9	-11.7 (8) <sup>2</sup>	21.9
Ruderal/Bare	55	5.8	-43.2 (1) -5.8 (8) <sup>2</sup>	5.8
Water Features	21	21.1	-	21.1
Developed <sup>1</sup>	74	69.1	-4.8 (9) <sup>2</sup>	69.1 +43.2 (1) +0.24 (2) +3.4 (3) +0.24 (4) +4.8 (6) <sup>2</sup> +7.75.1 (7) <sup>2</sup> +4.8 (8) <sup>2</sup> +4.8 (9) <sup>2</sup>
<b>Total</b>	<b>356</b>	<b><del>206.4</del>236.0</b>	<b><del>-148.9</del>107.3</b>	<b>355.3</b>

} 41.2 acre

<p><b>Project Level Elements:</b>                  (1) Sports Field Complex                  (2) Park, Tree and Landscape Maintenance Yard expansion                  (3) Consolidated Camping Area                  (4) Outdoor Music Area</p>	<p><b>Program Level Elements:</b>                  (5) Low-Intensity Recreation Area                  (6) Midden Area/Urban Forest/Trailhead                  (7) Semi-Active Recreation Area Use Area                  (8) Sully Miller Lake Group Facility                  (9) Police/Civilian Gun Range<sup>3</sup></p>
<p><sup>1</sup> Developed acreage includes 6.3 acres of paved trails throughout the park  <sup>2</sup> Impacts from Program Level elements are estimated based on existing design plans. A more detailed analysis of impacts is required when the projects move forward as capital improvements.  <sup>3</sup> The Police/Civilian Gun Range will result in 4.8 acres of impact to existing developed property.</p>	

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Figure 2/14

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Measure Biological Resources 3 -

Directed surveys for six sensitive plant species that have the potential to be present in non-native grassland, southern tarplant (*Hemizonia parryi* ssp. *australis*), Coulter's goldfields (*Lasthenia glabrata* ssp. *coulteri*), Coulter's saltbush (*Atriplex coulteri*), south coast saltscale (*Atriplex pacifica*), many-stemmed dudleya (*Dudleya multicaulis*), and intermediate Mariposa lily (*Calochortus weedii* var. *intermedius*) will be conducted prior to moving forward with program level elements which will impact non-native grasslands within the Park. Directed surveys for the six sensitive plants will be conducted in accordance with the U.S. Fish and Wildlife Service and California Department of Fish and Game published protocols for such surveys at the time that such surveys are undertaken. In the absence of a published protocol, such surveys will be undertaken in accordance with Guidelines for Assessing the Effects of Proposed Developments on Rare and Endangered Plants and Plant Communities prepared by the California Department of Fish and Game.

Measure Biological Resources 4 -

Potential impacts to foraging habitat for raptors resulting from development of non-native grasslands in the Park could be mitigated by enhancing ~~ruderal/bare~~ conserved areas of non-native grassland at a ratio of 1:1 for acres of impact on non-native grassland to provide suitable habitat values and functions for prey species raptors. Mitigation for impacts on non-native grassland will be accomplished within conserved non-native grasslands in association with the Sully Miller Lake Group Facility, Low Intensity Recreation Area, Semi-Active Recreation Area, and Midden Area/Urban Forest/Trailhead. Additionally, strategic planting of trees in the developed areas to allow broad, open areas for foraging would mitigate for loss of existing foraging habitat. Enhancement of non-native grassland would include, but not be limited to, the planting of native trees within and adjacent to conserved areas of non-native grassland.

Measure Biological Resources 5 -

Potential impacts resulting from implementation of the Sully Miller Lake Group Facility element would be mitigated through creation and enhancement of disturbed riparian habitats in the Shipley Nature Center and Talbert Lake-Meadow at a ratio of 3:1 for acres of impact.

Measure Biological Resources 6-

Concurrent with operation of the Sports Complex, the City shall implement or cause to be implemented a brown-headed cowbird trapping program. The brown-headed cowbird trapping program will be submitted to the Service for review and comment at least three months prior to the beginning of grading.

MITIGATION MEASURE	APPLICABLE TO PROJECT PROGRAM IMPLEMENTATION PERIOD												MONITORING AGENCY	ENFORCEMENT AGENCY	DOCUMENTATION OF COMPLIANCE	SIGNATURE/DATE
	1	2	3	4	5	6	7	8	9	10	11	12				
<p><b>Measure Biological Resources-4:</b> Potential impacts to foraging habitat for raptors resulting from development of non-native grasslands in the Park could be mitigated by enhancing conserved areas of non-native grassland at a ratio of 1:1 for acres of impact on non-native grassland to provide suitable habitat values and functions for raptors. Mitigation for impacts on non-native grassland will be accomplished within conserved non-native grasslands in association with the Sully Miller Lake Group Facility, Low Intensity Recreation Area, Semi-Active Recreation Area, and Midden Area/Urban Forest/Trailhead. Enhancement of non-native grassland would include, but not be limited to, the planting of native trees within and adjacent to conserved areas of non-native grassland.</p>	X	X	X	X	X	X	X	X	X	X	X	X	City of Huntington Beach, Planning Department	City of Huntington Beach, Planning Department	(Title of Monitoring Report)	(Signature/Date of Monitoring Agency)
<p><b>Measure Biological Resources-5:</b> Potential impacts resulting from implementation of the Sully Miller Lake Group Facility element would be mitigated through creation and enhancement of disturbed riparian habitats in the Shipley Nature Center and Talbert Lake-Meadow at a ratio of 3:1 for acres of impact.</p>													City of Huntington Beach	City of Huntington Beach, Planning Department	(Title of Monitoring Report)	(Signature/Date of Monitoring Agency)
<p><b>Measure Biological Resources-6:</b> Concurrent with operation of the Sports Complex, the City shall implement or cause to be implemented a brown-headed cowbird trapping program. The brown-headed cowbird trapping program will be submitted to the Service for review and comment at least three months prior to the beginning of grading.</p> <p>Traps used to remove cowbirds will be modified Australian crow traps. These traps allow live capture of birds so that non-target birds can be released unharmed. The traps will be "baited" with live juvenile or female brown-headed cowbirds which will be captured prior to the trapping period with baited traps or mist nets. The juvenile or female cowbirds attract the attention of adult birds and lure them into traps. Once inside the trap, it is difficult for the birds to escape and they can be easily removed. Approximately four bait birds are kept in a separate cage within the trap and are not removed until the trapping season is over. The traps will be placed and maintained so as to provide trapped and bait birds ample shade, food, and water while they are in traps. All cowbirds (male, female, and juvenile) that are caught in the traps will be disposed of humanely.</p> <p>Trapping will take place during the nesting period of riparian bird species found in Central Park that are known to be parasitized by brown-headed cowbirds. Traps will be checked daily during the trapping period to remove both trapped cowbirds and non-target species, which will be released. Bait birds lost to predation or escape will be replaced during the daily checks.</p> <p>An annual letter report documenting the results of the trapping program will be submitted to the U.S. Fish and Wildlife Service. Results of the trapping program will be recorded including the date and time of trap checking, observer(s), weather, age of trapped birds (both target and non-target species), the treatment of the birds (whether released, disposed of, or retained as bait birds), and other data pertaining to any unusual event, such as predation or loss of bait birds.</p>																

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### **Park, Tree and Landscape Maintenance Yard Expansion**

The expansion of the current Park, Tree and Landscape Maintenance Yard is expected to total 0.24 acres. All impacts will occur to landscaped portions of the Park. All shrub plantings removed by grading and construction will be replaced along the new perimeter of the facility. No trees will be removed by the Park, Tree and Landscape Maintenance Yard expansion. The expansion of the maintenance yard is not expected to result in significant impacts to plant communities in Huntington Central Park. A small disturbed riparian area exists adjacent to the area planned for the expansion of the Park, Tree and Landscape Maintenance Yard. No significant impacts to wildlife are expected unless impacts to the nearby disturbed riparian habitat occur during grading and associated collateral construction disturbance. Possible sensitive species which could be impacted by disturbance of disturbed riparian habitat are: yellow warbler, Virginia's warbler, yellow-breasted chat, Cooper's hawk, and sharp-shinned hawk.

### **Consolidated Camping Area**

The Consolidated Camping Area is planned to impact a total of 13 acres. All impacts will occur to landscaped property and existing developed land. As currently designed, the consolidated campground borders on disturbed riparian habitat, an environmentally important habitat in Huntington Central Park. A small finger of disturbed riparian habitat runs into the proposed campground area. Two sensitive species which may occur in this habitat are least Bell's vireo (federally- and state-listed as endangered) and southwest willow flycatcher (state listed as endangered). Both species have been recorded from Huntington Central Park. The southwestern willow flycatcher may have bred in the past at Huntington Central Park (Gallagher 1997). Cooper's hawk and yellow warbler may also utilize this habitat when present at Huntington Central Park. Impacts to disturbed riparian habitat would be considered significant if any of these sensitive species are determined to be present.

### **Outdoor Music Area**

The proposed enhancement of the current outdoor music facility will impact 0.24 acres of landscaped grounds. The project will result in the removal of one non-native, ornamental tree. However, two new trees will be planted in the vicinity of the stage area. Impacts resulting from implementation of the Outdoor Music Area project are not considered significant.

### **Program Level Improvements**

#### **Low-Intensity Recreation Area**

Development of the Low-Intensity Recreation Area will result in impacts to ~~15.4~~ conversion of 11.4 acres of non-native grassland. A minimum of 4.0 acres of non-native grassland within this element of the proposed Master Plan will be maintained and enhanced to provide foraging habitat for state and federally designated sensitive birds, including raptors. The conversion of 11.4 acres of non-native grassland that are currently used on an interim basis for disc golf, parking, and as a source of fill material for sand bags to low intensity recreation facilities does not conflict with adopted goals of the City of Huntington Beach General Plan. The conversion of 11.4 acres of non-native grassland would not result in the "take" of any state or federally listed endangered species, or their habitat that has been determined to be critical under the Federal or State Endangered Species Act. Implementation of this program level element of the proposed Master Plan results in partial development of an existing disturbed area of the Park and would not be expected to interfere with the movement of any resident or migratory fish or wildlife species or substantially diminish habitat

for fish, wildlife or plants. Conversion of 11.4 acres of non-native grassland to turf for low-intensity recreation would not constitute a significant impact on plant or wildlife resources. Impacts to the plant community are not considered significant. However, because this area is inhabited by significant numbers of rodents, development of this area will potentially result in significant impacts to food supply and foraging territory for raptors present at the Park:

### **Midden Area\Urban Forest\Trailhead**

This element is projected to impact a total of ~~43.2~~ convert up to 17.2 acres of non-native grassland. Because there are two wetted areas which support wetland vegetation in this non-native grassland area, it may be necessary to conduct a delineation of jurisdictional "waters of the United States" if the project design shows potential to impact these wetted areas. Furthermore, seven sensitive plant species have potential to occur in this area of the park, and may potentially be impacted by implementation of this project element. Loss of this grassland would constitute a significant impact to habitat for these species if they were determined to be present within the Park.

Non-native grassland habitat provides important foraging habitat for three sensitive species of wildlife: tri-color blackbirds, American peregrine falcon, and Swainson's hawk. Tri-color black birds nest in the cattails of Huntington Lake and forage in the non-native grassland areas of the project site. The American peregrine falcon forages over open areas for small ground dwelling mammals, such as the California ground squirrel. The non-native grassland area has the largest population of California ground squirrels in Huntington Central Park. Swainson's hawk forages either on small mammals or large insects depending on the season. Both Swainson's hawk and American peregrine falcon require open grassy areas for foraging. Both of these species are known to occur at Huntington Central Park. Loss of this habitat would constitute a significant impact to foraging habitat for these sensitive species.

**A minimum of 26.0 acres of non-native grassland within this element of the proposed Master Plan will be maintained and enhanced to provide foraging habitat for state and federally designated sensitive birds, including raptors. The conversion of 17.2 acres of non-native grassland are located within a partially abandoned oil field that is subject to annual mowing/discing for fire control to provide conservation of a known prehistoric midden area/urban forest/ and trailhead does not conflict with adopted goals of the City of Huntington Beach General Plan. The conversion of 17.2 acres of non-native grassland would not result in the "take" of any state or federally listed endangered species, or their habitat that has been determined to be critical under the Federal or State Endangered Species Act. The designation of the 26.0 acres to be used for conservation and enhancement of non-native grassland will attempt to include all wetted areas that have the potential to be subject to the jurisdiction of the U.S. Army Corps of Engineers or the California Department of Fish and Game. Implementation of this program level element of the proposed Master Plan results in partial development of an existing disturbed area of the Park and would not be expected to interfere with the movement of any resident or migratory fish or wildlife species or substantially diminish habitat for fish, wildlife or plants. Conversion of 17.2 acres of non-native grassland to urban forest and trailhead facilities would not constitute a significant impact on plant or wildlife resources.**

### **Semi-Active Recreation Area**

This element is projected to impact a total of ~~9.68~~ 0 acres of non-native grassland. There are six sensitive plant species which have potential to occur in this non-native grassland, and may potentially be impacted by implementation of this project element. Loss of this grassland would constitute a significant impact to habitat for these species if they were determined to be present within the Park.

Non-native grassland habitat provides important foraging habitat for three sensitive species of wildlife: tri-color blackbirds, American peregrine falcon, and Swainson's hawk. Tri-color black birds nest in the cattails of Huntington Lake and forage in the non-native grassland areas of the project site. The American peregrine falcon forages over open areas for small ground dwelling mammals, such as the California ground squirrel. The non-native grassland area has the largest population of California

ground squirrels in Huntington Central Park. Swainson's hawk forages either on small mammals or large insects depending on the season. Both Swainson's hawk and American peregrine falcon require open grassy areas for foraging. Both of these species are known to occur at Huntington Central Park. Loss of this habitat would constitute a significant impact to foraging habitat for these sensitive species.

**Sully Miller Lake Group Facility**

The Sully Miller Lake Group Facility will be designed to avoid impacts to disturbed riparian habitat surrounding the Lake. Impacts resulting from implementation of this element of the *Master Plan* would not be considered significant in the absence of impacts to disturbed riparian habitat.

If Sully Miller Lake Group Facility designs which avoid impacts to disturbed riparian habitat are not considered feasible, significant impacts would most likely result from implementation of this element of the *Master Plan*. Implementation of the Sully Miller Lake Group Facility element could potentially

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result in impacts to 11.7 acres of disturbed riparian habitat. The existing 5.8 acres of ruderal/bare habitat would be enhanced to support non-native grassland habitat similar to that which is present within the Park west of Golden West Street. Two sensitive species which may occur in this habitat are least Bell's vireo (federally- and state-listed as endangered) and southwestern willow flycatcher (state listed as endangered). Both species have been recorded from Huntington Central Park. The southwestern willow flycatcher may have bred in the past at Huntington Central Park (Gallagher 1997). Because Sully Miller Lake is currently closed to the public, it represents the least disturbed habitat within the Park, and therefore has the greatest potential for supporting these listed species. Potential sensitive species which may occur at Sully-Miller Lake may include: common loon, double-crested cormorant, western least bittern, white faced ibis, northern harrier, osprey, long-billed curlew, and yellow-billed cuckoo. Cooper's hawk and yellow warbler may also utilize this habitat when present at Huntington Central Park.

Furthermore, Sully Miller Lake is listed on the National Wetland Inventory Map (1974), and may be subject to U.S. Army Corps of Engineers (Corps) federal jurisdiction as a wetland. Any potential impacts to jurisdictional wetlands would be considered significant and require mitigation.

### **Police/Civilian Gun Range**

Implementation of this program level element of the plan would potentially result in impacts to 4.8 acres of existing developed property. No significant impacts are expected to result from implementation of this element of the plan.

### **3.7.4 Mitigation Measures**

Construction of the Sports Complex adjacent to Sully Miller Lake, and the Park, Tree and Landscape Maintenance Yard Expansion and Consolidated Camping Area adjacent to Talbert Lake-Meadow could potentially result in significant impacts to sensitive bird species potentially occurring in riparian vegetation. Implementation of the Park, Tree and Landscape Maintenance Yard Expansion and Consolidated Camping Area elements could potentially result in significant impacts to riparian habitat adjacent to these planned improvements.

Program level improvements planned for the non-native grasslands within the Park could result in a significant loss of foraging habitat for raptors at the Park. Lastly, the development of areas surrounding Sully Miller Lake could potentially result in significant impacts to riparian habitat, which is potential habitat for the least Bell's vireo and southwestern willow flycatcher.

#### **Measure Biological Resources 1 -**

Directed surveys for least Bell's vireo and southwestern willow flycatcher will be conducted prior to commencing any construction activities near disturbed riparian habitats. Directed surveys for least Bell's vireo and southwestern willow flycatcher will be conducted in accordance with the U.S. Fish and Wildlife Service and California Department of Fish and Game published protocols for such surveys at the time that such surveys are undertaken. If the presence of either species is confirmed, construction and design plans will be modified to avoid impacts to these species.

### ***Midden Area/Urban Forest/Trailhead***

Forty-five (45) acres of the remaining undeveloped 136 acres have been designated for preservation of the Native American midden archaeological area; a citizen-participation urban forest planting program; in addition to a trailhead, viewpoint and multi-use recreation trails for equestrian, pedestrian, and non-motorized cyclist. The site identified for this element of the proposed *Master Plan* consists of a "L-shaped" parcel located south of the existing Dog Park and Equestrian Center, west of Golden West Street, north of Ellis Avenue, and east of Edwards Street. Project elements and construction activity would be determined when this feature moved forward as a capital improvement project. General elements/activities might include mobilization, grading and drainage, electrical, asphaltic concrete and concrete placement, structure assembly to provide shade overheads, a restroom at trailhead, complete automatic irrigation system, site furniture, and installation of plant material. At least twenty-four (24) acres of the existing non-native grassland would be maintained and enhanced to conserve suitable foraging habitat for birds.

### ***Semi-Active Recreation Area***

Ten (10) acres of the remaining undeveloped 136 acres have been designated for the City's therapeutic riding school facilities, an open turf field for recreation that will also provide for overflow parking during special events at the existing equestrian center, and as the proposed alternative site for an aquatic/swim center. This element of the proposed *Master Plan* is located on a roughly square parcel (a.k.a. as the Marion property) immediately northwest of the intersection of Ellis Avenue and Golden West Street. Project elements and construction activity would be determined when this feature moved forward as a capital improvement project. General elements/activities might include mobilization, grading and drainage, electrical, asphaltic concrete and concrete placement, minor and major structure assembly, complete automatic irrigation system, site furniture, and installation of plant material.

### ***Sully Miller Lake Group Facility***

Twenty (20) acres of the remaining undeveloped 136 acres have been designated for a group picnic and fishing facility. This element of the proposed *Master Plan* consists of a roughly rectangular parcel that surrounds and includes the existing Sully Miller Lake, located north of Ellis Avenue and east of the existing Ocean View Mobile Homes. The analysis in this Master EIR is based on plans that currently include one or two docks, restrooms/tackle and bait shop, a volleyball area, an open turf area, and shade overheads. Project elements and construction activity would be determined when this feature moved forward as a capital improvement project. General elements/activities might include mobilization, major grading and earthwork operations, drainage structures, electrical, asphaltic concrete and concrete placement, minor structure assembly, complete automatic irrigation system, site furniture, and installation of plant material.

### ***Police/Civilian Gun Range***

The seven and one-half (7.5) acres gun range was operated by the Police Officer's Association from the late 1960s to January 4, 1997 when the City Council terminated the year-to-year tenancy lease. Part

# FMEIR 99-1 Central Park Land Use Plan- Natural Park

erial Photo 3/1/2008 , pgs 3.7-44 and 3.7-45, Final Master Environmental Impact Report 99-1



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17 Jan 12

ATTACHMENT NO. 8.16

Figure 11/14

# MEIR 99-1 Central Park Land Use Plan- Natural Park

erial Photo 3/1/2008 , pgs 3.7-44 and 3.7-45, Final Master Environmental Impact Report 99-1



ATTACHMENT NO. 8.17

Figure 12/14



# Result of City Mitigation Efforts in FMEIR 99-1

Aerial Photo 3/1/2008



ATTACHMENT NO. 8.19

Figure 14/11