

2.0 ORIENTATION

This section contains the Development Code that will govern all future private development actions in the Beach Boulevard/Edinger Avenue Corridors. The Development Code is used to evaluate private development projects or improvement plans proposed for properties within the Plan Area (see Fig. 2.1. Corridor Centers and Segments Map).

2.0.1 Applicability

The policies contained within this chapter shall apply as follows:

1) New Construction, Additions and Exterior Renovations

- i) The policies contained within this section shall apply to new construction, as well as to significant additions (addition greater ~~then~~ than 15% of the buildings floor area) or exterior renovations to existing structures.
- ii) Where significant additions are made to existing buildings, requirements for renovation or enlargements shall apply only to new floor area.
- iii) Where exterior improvements are made to existing buildings, architectural regulations shall apply to that portion of the building being renovated.
- iv) Improvements and additions to existing buildings that increase nonconformities are not permitted.

2) Use Changes

- i) The policies contained within this section shall apply to new land uses proposed for existing facilities.

3) Right of Continued Use

- i) Nothing contained in this section shall require any change in any existing building or structure for which an entitlement application has been previously issued, or in any proposed building or structure for which a building permit application was deemed complete prior to the effective date of this ordinance. Changes in the property’s ownership or tenants of existing uses shall require no change in any existing building or structure.

4) New Signs

- i) The regulations contained in section 2.9 shall apply to all new signs.
- ii) Any permanent signs made non-conforming as a result of the adoption of this Development Code may be repaired, but not structurally altered or made more non-conforming in any way.

2.0.2 How to Use the Development Code

Requirements for new development are contained in section 2.1 - “Development Standards.” The specific municipal Regulations governing the Development Standards are defined in detail in the subsequent eight sections that make up Book II.

To review requirements for new development for any given property:

- i) Locate that property on the Fig. 2.1 - Corridor Centers and Segments Map, and note which Corridor Center or Segment the Property is in;
- ii) Turn to section 2.1 – Development Standards to find the portion of that section containing the Development Standards that apply to that Corridor Center or Segment area, and hence to the property in question. Review all the Development Standards for the applicable Corridor Center or Segment.
- iii) To understand the specific Regulations that correspond to any of the Development Standards in the Development Standards charts, turn to the corresponding Regulation number and name (the Regulation numbers and names are the same in the Development Standards charts as they are in the Development Regulations sections - sections 2.2 thru 2.9 - of Book II.
- iv) Review Guidelines. Guidelines common to all properties in the Plan Area can be found in most sections of the Development Regulations.
- v) All development projects shall also consult and comply with the city specification including but not limited to Huntington Beach Fire Code and Huntington Beach Fire Department city specifications, Municipal Code and Public Works Standards. Where there is a conflict between these specifications and the Beach and Edinger Corridors Specific Plan, the Specific Plan shall apply as determined by the Planning Director.

2.0.3 Development Code Categories

Three primary types of Development Code are contained within the policy text of Book II, as follows:

1) Development Standards.

Development standards are specifications for new development that the community considers essential to the creation and preservation of a high quality, sustainable and coherent city. Conformance with Development Standards is mandatory. Such provisions are indicated by the use of the words “shall,” “must,” “is required,” “is/is not permitted.”

2) Development Regulations

Development Regulations are the detailed municipal policies that establish the specific rules and performance measures upon which community Development Standards are based. Development Regulations do not vary from one plan area to another.

3) Guidelines

Guidelines provide additional information to assist the designers of new development to conform with the intent of the Specific Plan. Guidelines pertain to issues of visual character and aesthetics. Conformance with Guidelines is recommended, especially to insure the swiftest possible approval. Although conformance with Guidelines is recommended, developers are permitted to propose alternative design solutions to these aspects of the development if they are able to show that such design solutions meet the overall objectives of the Specific Plan. Guidelines are indicated by the use of the words “should,” “may,” “is/are encouraged.”

2.0.4 Development Code Organization

The Development Code contained in Book II is organized into the sections as displayed in the diagram on the following page.

2.0.5 How to get your Project Approved

1) Site Plan Review

Development projects within the Beach **and** Edinger Corridors Specific Plan area shall be subject to Site Plan Review, unless a conditional use permit is required pursuant to sections 2.1.4, 2.1.8 and 2.2.1. A Site Plan Review shall be required for all new development, with the exception of interior improvements, general maintenance and repair or other minor construction activities that do not result in an intensification of the use. These exceptions may be subject to other City permits and approvals prior to commencement.

A Site Plan Review request shall be submitted to the City on a standard City application form and include standard submittal requirements as set forth on the application form. The application shall include any request for a subdivision pursuant to the Subdivision Map Act. The application shall also include a completed environmental assessment form and mitigation monitoring matrix, showing the project’s consistency with the Specific Plan Program EIR. This information will be used to determine if any further environmental analysis will be required for the project.

A Site Plan Review application, tentative map and environmental assessment may also require analysis and comments from various departments of the City. In order to approve a Site Plan Review application, the Director of Planning shall make the following findings:

- i) The project is consistent with the City’s General Plan and all applicable requirements of the Municipal Code; and
- ii) The project will not be detrimental to the general welfare of persons working or residing in the vicinity nor detrimental to the value of the property and improvements in the neighborhood; and
- iii) The project will not adversely affect the Circulation Plan of this Specific Plan; and
- iv) The project complies with the applicable provisions of the Beach **and** Edinger Corridors Specific Plan and other applicable regulations.

The Director of Planning has the authority to approve, conditionally approve, or deny a Site Plan Review and Subdivision Map, if any. The Zoning Administrator has the authority to approve or deny a Negative Declaration, ~~or~~ Mitigated Negative Declaration or **Variance**. The Planning Commission has the authority to approve or deny an Environmental Impact Report **and a Conditional Use Permit**.

A Site Plan Review approval shall be valid for a period of one year. A maximum of two one-year extensions may be requested. A time extension request must be made in writing by the applicant, property owner(s), and /or authorized designee, a minimum of thirty days prior to the expiration of the current approval. If construction activity does not commence within the approval or extension period, the entitlement shall be terminated.

2) Environmental Determination

The extent and intensity of all anticipated development activity for the Beach **and** Edinger Corridors Specific Plan area has been identified in the Specific Plan and analyzed at a programmatic level in Program Environmental Impact Report No. 08-008.

Development project requests consistent with the Specific Plan may be subject to additional environmental review as required by CEQA. Environmental mitigation measures, as specified in the EIR may apply to individual Site Plan Reviews. As noted above, a mitigation measure matrix identifying how a project will comply with/ incorporate the Program EIR mitigation measures is required as part of the submittal application. Additional mitigation measures may also apply to the project, should further environmental review indicate as such.

3) Request for Deviation

Deviations from the Development Standards of the Specific Plan may be granted at the time of Site Plan Review for special circumstances and/or unique architectural features. Requests for Deviation may include but are not limited to building height, setbacks, open space, parking and landscaping. Deviation requests, up to ~~20~~ **10** percent of any single standard, may be considered by the Director of Planning. Requests for deviations greater than ~~20~~ **10** percent shall be subject to approval of a Variance application by the Zoning Administrator, pursuant to the procedures outlined in the City’s Zoning and Subdivision Ordinance. Development and construction phasing of selected project components may be approved by the Director and shall not require a Request for Deviation or Variance to the Specific Plan.

Deviations may be allowed when, in the opinion of the Director of Planning, significantly greater benefits from the project can be provided than would occur if all the minimum requirements were met. Some additional benefits that may make a project eligible for consideration include: greater open space, greater setbacks, unique or innovative designs, public open space, and the use of energy conservation

or green building technology. The Director of Planning may approve the Request for Deviation in whole or in part upon making the following findings:

- i) Promote better design, environmental and land planning techniques and contribute to the economic viability of the community, through aesthetically pleasing architecture, landscaping and site layout; and
 - ii) Not be detrimental to the general health, welfare, safety and convenience of the neighborhood or City in general, nor detrimental or injurious to the value of property or improvements of the neighborhood or of the City in general; and
 - iii) Be consistent with the objectives of the Specific Plan in achieving a project adapted to the area and compatible with the surrounding environment; and
 - iv) Be consistent with the goals and policies of the City’s General Plan, and comply with State and Federal Law.

4) Transfers Between Corridors

The Specific Plan sets forth a Maximum Amount of Net New Development (MAND) for each development type that can be built within each corridor and for each development type (See section 2.1.1). Dwelling Units, commercial square footage and hotel rooms may be transferred between the two corridors. Entitlement applications involving a transfer request will require the following:

i) An Infrastructure Analysis documenting that the transfer does not exceed proposed infrastructure capacity. If capacity will be exceeded based on the required analysis, recommendations for additional infrastructure improvements must also be submitted. Required infrastructure modifications shall be the responsibility of the party requesting the transfer, and shall be placed as conditions of approval on the appropriate development entitlement.

ii) An Environmental Analysis in the form of the City’s Initial Study documentation that the proposed transfer will not affect the conclusions of the environmental analysis contained in Certified EIR No. 08-008. If the conclusions are affected, additional environmental analysis may be required subject to processing requirements of section 2.0.5

iii) A policy analysis documenting that the transfers are consistent with the goals, policies, and programs of the City of Huntington Beach General Plan and this Specific Plan.

Transfer requests, up to 20 percent of an individual development type, e.g., hotel rooms, may be considered by the Director of Planning. Transfer requests greater than 20 percent shall be considered by the Planning Commission. A transfer request shall not constitute a Zoning Text Amendment and will be processed in conjunction with a Site Plan Review.

5) Appeals

The action of the Director of Planning shall be final unless appealed to the Planning Commission by the applicant or a member of City Council within 10 calendar days **of action of written notification by the Planning Director**. An appeal of a Site Plan Review or tentative map shall be subject to the procedures outlined in the City’s Zoning and Subdivision Ordinance.

Book II: Development Code Organization

		Development Regulations							
2.0. ORIENTATION	2.1. DEVELOPMENT STANDARDS	2.2. BUILDING USE REGULATIONS	2.3. BUILDING SCALE REGULATIONS	2.4. FRONTAGE & BUILDING PLACEMENT REGULATIONS	2.5. STREET REGULATIONS	2.6. OPEN SPACE REGULATIONS	2.7. PARKING REGULATIONS	2.8. ARCHITECTURE REGULATIONS	2.9. SIGNAGE REGULATIONS
2.0.1. Applicability	2.1.1. Maximum Amount of New Development (MAND)	2.2.1. Use Types	2.3.1. Building Height	2.4.1. Building Orientation to Streets and Public Open Spaces	2.5.1. Improvements to Existing Streets	2.6.1. Provision of Public Open Space	2.7.1. Provision of Parking	2.8.1. Facade Height Articulation Regulations	2.9.1. Freestanding Sign Setbacks
2.0.2. How to Use the Development Code	2.1.2. Establishment of Corridor Centers and Segments	2.2.2. Special Retail Configuration	2.3.2. Special Building Height Limits	2.4.2. Private Frontage Types	2.5.2. Provision of New Streets	2.6.2. Special Public Open Space Requirement	2.7.2. Parking Types	2.8.2. Architectural Elements Regulations	2.9.2. Total Sign Area
2.0.3. Development Code Categories	2.1.3. Town Center - Core	2.2.3. Affordable Housing Requirement	2.3.3. Building Length	2.4.3. Front Yard Setback	2.5.3. Block Size	2.6.3. Provision of Private Open Space	2.7.3. General Parking Requirements	2.8.3. Architectural Character	2.9.3. Sign Type Regulations
2.0.4. Development Code Organization	2.1.4. Town Center - Neighborhood		2.3.4. Special Building Length Limits	2.4.4. Side Yard Setback	2.5.4. Street Connectivity	2.6.4. Public Open Space Types	2.7.4. Parking Guidelines		2.9.4. Sign Guidelines - All Sign Types
2.0.5. How to Get your Project Approved	2.1.5. Neighborhood Center		2.3.5. Building Massing	2.4.5. Rear Yard Setback	2.5.5. Required East-West Street Connection	2.6.5. Private Open Space Types			
	2.1.6. Town Center Boulevard Segment			2.4.6. Alley Setback	2.5.6. Residential Transition Boundary Street	2.6.6. Stormwater Best Management Practices			
	2.1.7. Neighborhood Boulevard Segment			2.4.7. Frontage Coverage	2.5.7. Street Types (New Street Design)	2.6.7. Stormwater BMP Types			
	2.1.8. Neighborhood Parkway Segment			2.4.8. Space Between Buildings		2.6.8. Open Space Landscaping			
	2.1.9. Residential Parkway Segment			2.4.9. Build-to-Corner		2.6.9. Setback Area Landscaping			
	2.1.10. Residential Transition Zone								

2.1 DEVELOPMENT STANDARDS

2.1.1 Maximum Amount of Net New Development (MAND)

This section establishes the maximum amount of net new construction of residential and commercial development permitted in the *Beach and Edinger Corridors Specific Plan* ~~as measured in Equivalent Development Units (EDUs)~~. For the purposes of this Plan, development ~~will be measured by converting building uses into EDUs as directed by the Planning Director.~~

The City will monitor and publish the amount of new development that occurs after the adoption of the specific plan in a form to be determined by the Planning Director. Updates to this summary of development will occur each time new development takes place. When the Maximum Amount of New Development (MAND) ~~as measured in EDUs~~ is reached, no further development may be permitted without an amendment to the MAND provisions and environmental review.

Upon issuance of a Building Permit, a project shall be deemed to be entitled to ~~the number of EDUs~~ **its allocation of the MAND** specified in the Building Permit, but such entitlement shall expire unless construction commences for such units within one year of the date of issuance of the Building Permit and is pursued reasonably to completion as determined by the Chief Building and Safety Official. No Building Permit may be issued to allow a net increase in development in excess of the MAND.

The MAND established herein corresponds to the installation of intersection capacity improvements necessary to maintain the community's level of service standard for primary arterial corridor intersections as well as installation of utility infrastructure (i.e. sewer, water, drainage and dry utilities). Detailed descriptions of those infrastructure improvements are included in Book 3-III – Public Improvements. ~~Phased improvements would necessarily correspond to phased, increasing MAND thresholds.~~

The MAND for the Beach and Edinger Corridors planning area is analyzed in the Environmental Impact Report (EIR) **No. 08-008** corresponding to the *Beach and Edinger Corridors Specific Plan* **and is set forth as follows:**

~~The MAND established for the corridor plan areas will be determined in conjunction with preparation and completion of the environmental analysis of this document.~~

Corridor	Dwelling Unit	Retail SF	Office SF	Hotel Rooms
Edinger	<u>1,745</u>	2,700	206,000	0
Beach	<u>2,755</u>	3,700	532,400	112,000
Total	<u>4,500</u>	6,400	738,400	112,000

See section 2.0.5 for process requirements to transfer building units



between Corridors. A request to change a MAND total constitutes a Specific Plan Amendment subject to section i.2.

2.1.2 Establishment of Corridor Centers and Segments

1) Corridor Centers and Segments Map

i) Eight (8) Corridor *Centers* and *Segments* are established as the basic organizing principle for the Development Standards applied to all properties in the Specific Plan Area.

ii) The Centers and Segments are established in the specific locations and with the specific names indicated in the Fig.2.1 Corridor Centers and Segments Map.

2) Transect Designations

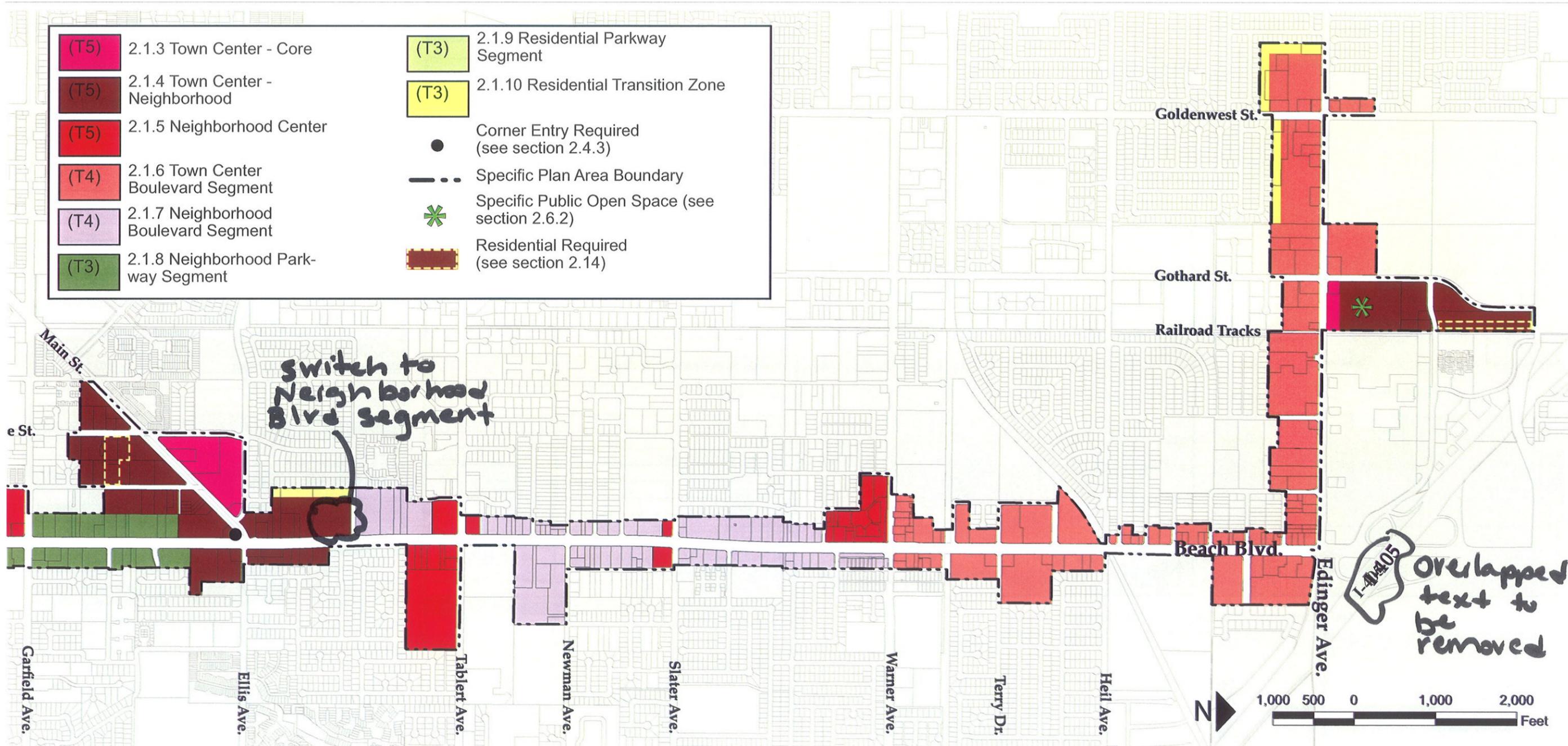
i) The Transect is a system of classification for built environments established in the SmartCode. It uses the concept that place types range from rural (T1) to urban (T6). The character and function of a district, center, or segment is an extension of its place in the continuum of the Transect. Every element of the built environment has a place in the Transect. This Development Code uses the Transect as the underlying principle of organization for the Plan Area's Centers and Segments and the corresponding Development Standards. For reference purposes,

Transect Zones have been identified for the Centers and Segments established in this plan as indicated in the Fig.2.1 Corridor Centers and Segments Map legend.

3) How Corridor Centers and Segments Apply To Parcels

Every parcel in the Plan Area shall be regulated by its location in one or more designated Corridor Centers and Segment as shown in the Fig.2.1. Corridors Centers and Segments Map. Where further clarification is necessary, boundaries shall be determined by consulting with the Planning Director/Designee as described below for split parcels.

Fig. 2.1 Corridor Centers and Segments Map



a) *Parcels with a single Designation*

All development on parcels, assembled parcels, or portions of allocated in a single Corridor Centers or Segment must conform to the development standards that apply to that corridor or segment.

b) *Split Parcels:*

i) Where Corridor Centers and Segments or Plan Area Boundaries appear to connect between parcel lines of adjacent properties as shown on the Fig.2.1. Corridors Centers and Segments Map, the boundary shall be determined by the Planning Director/Designee as measured on a scaled version of the Corridors Centers and Segments Map.

ii) Each portion of the Split Parcel shall be regulated by the applicable Corridor Centers or Segment.

4) *Development Standards Charts*

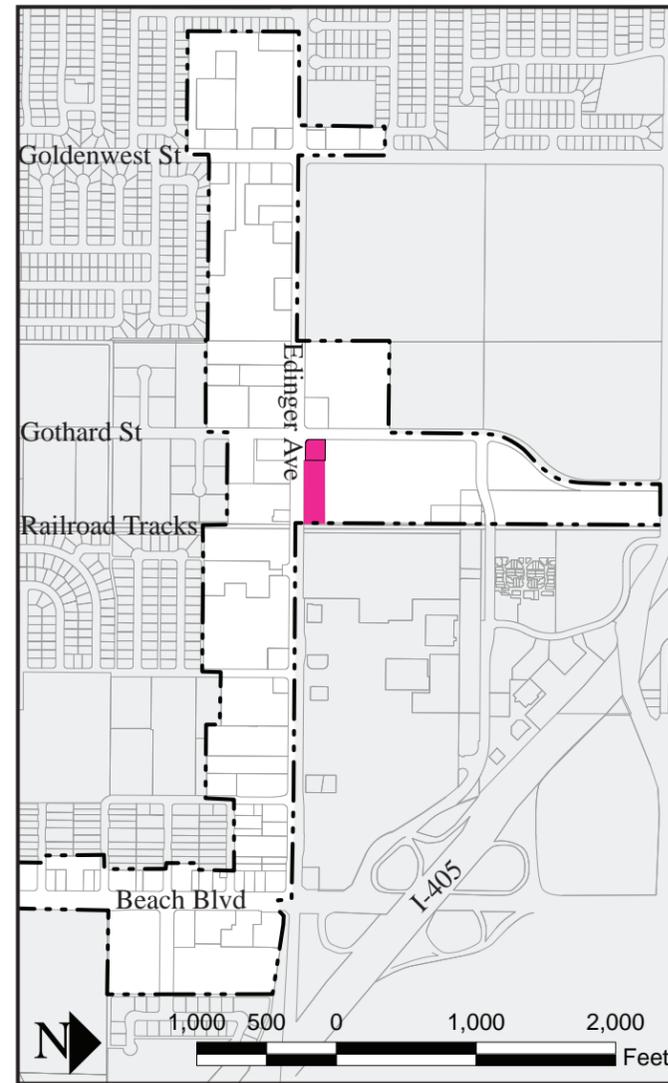
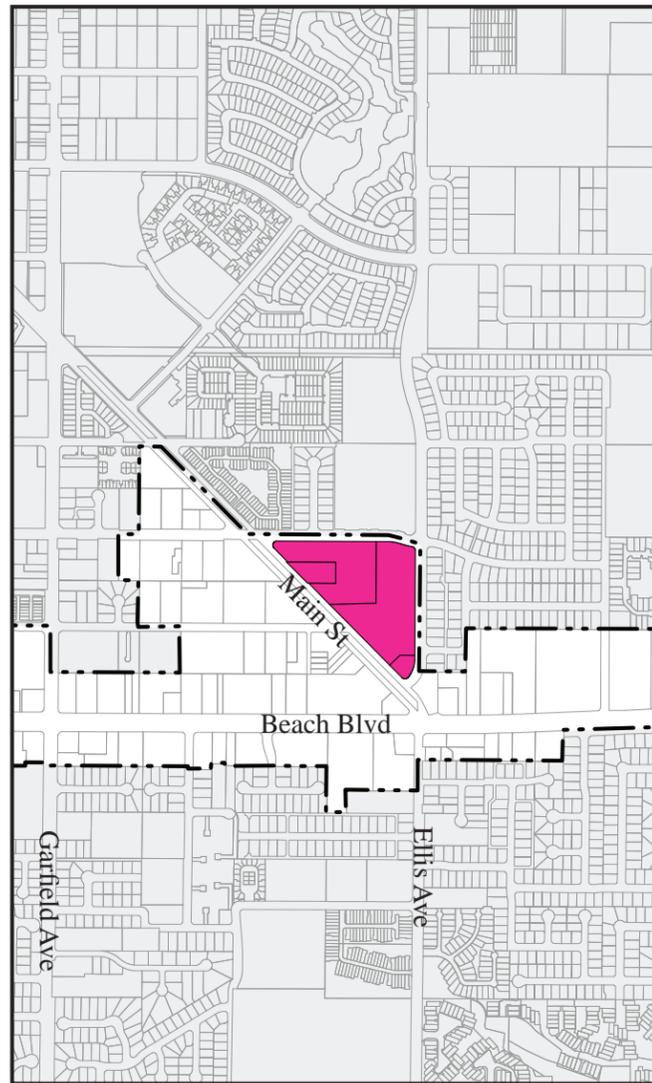
i) The development standards applied to each Corridor Center and Segment are contained in the Development Standards Charts contained in 2.1.3 – 2.1.10.

ii) Each chart lists Regulations in the order that they appear in section 2.2 – 2.9 in the left column of the chart.

iii) Each chart lists the Development Standards that apply to each Regulation in the right column of the chart.

5) *Regulations and Guidelines*

i) Remember to review Regulatory Definitions, General Requirements, and Guidelines common to all properties within the Plan Area contained in sections 2.2 – 2.9 as necessary.



Development Standards Charts Legend:

Symbol:	
permitted	These elements are allowed, by right, unless otherwise specified in Section 2.2.1 Use Types
---	Not permitted
n/a	Not applicable
required	These are required elements of all new development as indicated
conditional	requires a conditional use permit
limited	limitations apply as specified in section 2.4.3. Private Frontage Types
plus	Development shall not exceed the height of housing across the street plus the number of stories indicated (see section 2.3.2 Special Building Height Limits)
CS	Permitted in a Corner Store configuration (see section 2.2.2. Special Retail Configurations)
NC	Permitted in a Neighborhood Center configuration (see section 2.2.2. Special Retail Configurations)
PP / N-PP	Required for Priority Projects / Encouraged for Non-Priority Projects (see section 2.6.7. Stormwater BMP Types)
(A)	Exceptions apply to anchor retail buildings
(M)	As shown on the Fig 2.1 Districts Map

Special Conditions:	
(C1)	Ground Floor
(C2)	Upper floors only
(C3)	Parkway Landscaping required along Beach Blvd.
(C4)	Side, and rear yards shall consist of heavy screening (see section 2.6.7)
(C5)	With shopfront
(C6)	Or 20% of parcel depth whichever is smaller
(C7)	Limited to the expansion of existing uses
(C8)	For development over 20,000 sf of building area
(C9)	For development over 20 dwelling units or lodging rooms
(C10)	Courtyard buildings may exceed the indicated length as defined in 2.3.4 Building Length
(C11)	The number of spaces provided must include at least one space for each student
(C12)	A minimum of 1 guest space / 10 DU requires a conditional use permit

Location:	
(L1)	On Beach Blvd.
(L2)	On Edinger Ave.
(L3)	On Main St.
(L4)	On Ellis Ave. and Delaware St.
(L5)	South of Atlanta Ave.
(L6)	Between Ellis Ave. and Adams Ave.
(L7)	North of Ellis Ave.

Use:	
(U1)	For residential development with 3 or more units
(U2)	Live Entertainment and Dancing not permitted
(U3)	Large Scale Specialty Goods and Foods Only (see section 2.2.1)
(U4)	Movie Theaters not permitted
(U5)	Ground floor Health & Exercise Clubs are conditional
(U7)	Only Health & Exercise clubs
(U8)	Only Gas Stations
(U9)	Residential Required as Shown on Map

Signs:	
(S1)	Exceptions apply for changeable copy & other sign variations, see section 2.9. Signage Regulations
(S3)	50% shall be allowable during the month of December
(S4)	Must occur as tower format
(S5)	For churches, schools, and commercial recreation uses within public parks, maximum area of 32 sqft and maximum height of 6 ft
(S6)	Signs are restricted to corner stores only
(S7)	Signs are permitted at entrances to multi-family buildings

2.2 Building Use Regulations	Standards
2.2.1 Use Types	
1) Retail	
a) Specialty Goods Anchors	permitted
b) Community Oriented Anchors	permitted
c) Entertainment Anchors	permitted
d) Eating & Drinking Establishments	permitted
e) Specialty Goods & Foods	permitted
f) Entertainment & Recreation	permitted (U5)
g) Convenience Uses	permitted
h) Business Services	permitted
i) Personal Services	permitted
j) Personal Enrichment	permitted
k) Service Commercial & Repair	---
l) Large Scale Commercial Goods	---
m) Vehicle Sales	---
2) Civic & Cultural	permitted (C2)
3) Office	
a) Professional Services	permitted (C2 & L4)
b) Medical Services	permitted (C2 & L4)
4) Lodging	
	permitted (C2)
5) Live Work	

6) Residential	
a) Multi-Family w/ Common Entry	permitted (C2 & L4)
b) Multi Family w/ Individual Entries	permitted (L4) only
c) Attached Single Family	---
d) Detached Single Family	---
2.2.2 Special Retail Configurations	
a) Neighborhood Center	n/a
b) Corner Store	n/a
c) Drive-through	---

2.3 Building Scale Regulations	Standards
2.2.3 Affordable Housing Requirements	
required or not required	required (U1)
2.3.1 Building Height	
minimum height	3 stories; (A): 1 story
maximum height	6 stories
2.3.2 Special Building Height Limits	
Edinger/Beach/Main	4 story max
Across the Street From Housing	plus 3 stories max
Adjacent to Housing	required
2.3.3 Building Length	
maximum	300 ft
2.3.4 Special Building Length Limits	
Limited Corner Building - maximum	n/a
Limited Mid-Block Building - maximum	n/a
2.3.5 Building Massing	
Proportions - Edinger/Beach/Main	3:2 to 5:2
Proportions - All other streets	1:3 to 3:1

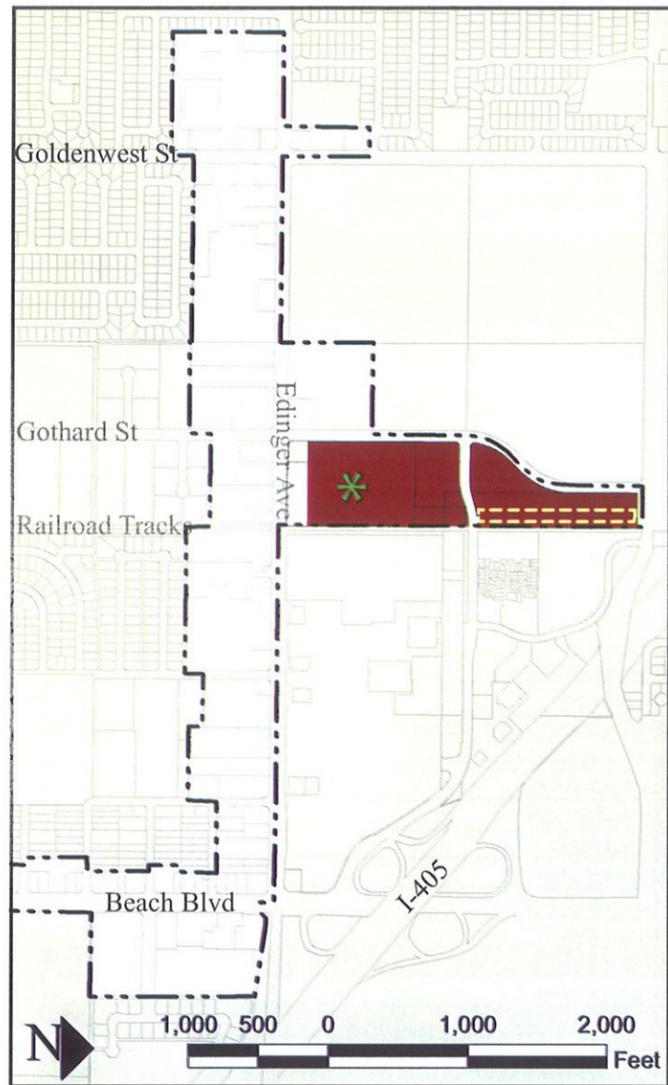
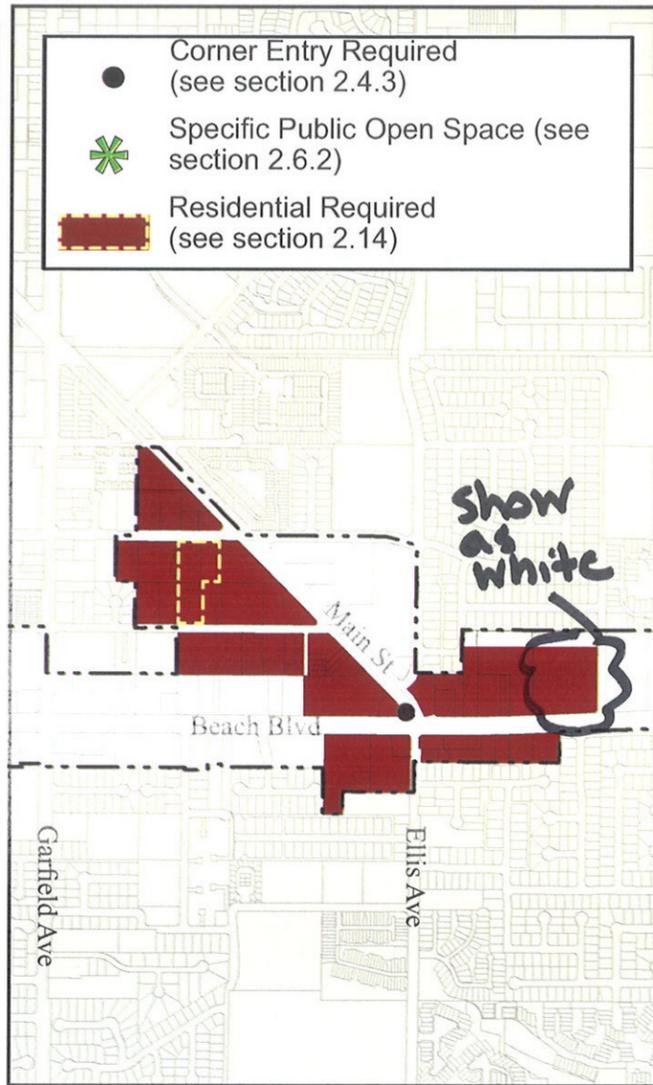
2.4 Frontage & Building Placement Regulations	Standards
2.4.1 Building Orientation to Streets & Public Open Space	
required or not required	required
2.4.2 Private Frontage Types	
3) Private Frontage Specification	
a) Shop-Front	permitted
Shopfront Length - maximum	50 ft
Tenant Length - maximum	50 ft
Articulation Length - maximum	50 ft
b) Corner Entry	permitted (C5)
c) Arcade	---
d) Grand Portico	---
e) Forecourt	permitted (C5)
f) Common Lobby Entry	limited
g) Stoop	permitted (L4) only
h) Porch	---
i) Front Door	---
j) Edge Treatment: Fenced	---
k) Edge Treatment: Terraced	---
l) Edge Treatment: Flush	permitted
2.4.3 Front Yard Setback	
minimum / maximum - Edinger	0 ft / 5 ft
minimum / maximum - Beach	n/a
minimum / maximum - Main	0 ft / 5 ft
minimum / maximum - all other streets	0 ft / 5 ft; L4: 5/15 ft
2.4.4 Side Yard Setback	
min w/ living space windows	10 ft
min w/out living space windows	0 ft
2.4.5 Rear Yard Setback	
minimum	5 ft
2.4.6 Alley Setback	
minimum	5 ft
2.4.7 Frontage Coverage	
minimum - Edinger/Beach/Main	90%
minimum - all other streets	75%
2.4.8 Space Between Buildings	
minimum	20 ft
2.4.9 Build-to-Corner	
required or not required	required

2.5 Street Regulations	Standards
2.5.1 Improvements to Existing Streets	
3) Classic Boulevard	required (L2)
6) Standard Avenue	required (L3)
7) Neighborhood Streets	required except (L2, L3)
2.5.2 Provision of New Streets	
	(see section 2.5.2)
2.5.3 Block Size	
Maximum Block Size	1900 ft
Maximum Edinger Block Face	n/a
2.5.4 Street Connectivity	
required or not required	required
2.5.5 Required East-West Street Connection	
required or not required	n/a
2.5.6 Residential Transition-Boundary Street	
required or not required	n/a
2.5.7 Street Types (New Street Design)	
1) City Street	permitted
2) Public Open Space w/ City Street	permitted
3) Neighborhood Street	---
4) Public Open Space w/ Neighborhood Street	---
5) Alley	permitted

2.6 Open Space Regulations	Standards
2.6.1 Provision of Public Open Space	
Retail	50 s.f. / 1000 s.f. (C8)
Civic & Cultural	n/a
Office	n/a
Lodging	n/a
Live Work	n/a
Residential	n/a
2.6.2 Special Public Open Space Requirement	
	n/a
2.6.3 Provision of Private Open Space	
Retail	n/a
Civic & Cultural	n/a
Office	n/a
Lodging	n/a
Live Work	n/a
Residential	
Attached & Multi-Family	60 s.f. / unit
Detached Single-Family Homes	n/a
2.6.4 Public Open Space Types	
1) Park	---
2) Linear Green	permitted
2) Square	permitted
4) Plaza	permitted
5) Mid-Block Green	permitted
6) Courtyard Plaza	permitted
7) Passage/Paseo	permitted
8) Pocket Park/Playground	permitted
2.6.5 Private Open Space Types	
1) Courtyard	permitted
2) Private Yard	permitted
3) Porch	---
4) Rooftop Deck or Garden	permitted
5) Balcony	permitted
2.6.6 Stormwater Management Best Management Practices	
required or not required	required
2.6.7 Stormwater BMP Types	
Source Control BMPs	required
Site Design BMPs	required
Treatment Control BMPs	PP / N-PP
2.6.8 Open Space Landscaping	
required or not required	required
2.6.9 Setback Area Landscaping	
1) Perimeter Block Setback Areas	
a) Sidewalk Extension	permitted
b) Parkway Landscaping	---
c) Boulevard Landscaping	---
d) Neighborhood Street Landscaping	permitted (L4) only
2) Interior Block Setback Areas	
a) Groundcover	required
b & c) Moderate or Heavy Screening	permitted

2.7 Parking Regulations	Standards
2.7.1 Provision of Parking	
Retail Anchors	
spaces per 1000 s.f.	3 min / 4 max
location	within 500 feet
Eating & Drinking Establishments	
spaces per 1000 s.f.	4 min / 10 max
location	on site
Specialty Foods / Goods	
spaces per 1000 s.f.	3 min / 4 max
	within 500 feet
Entertainment & Recreation	
spaces per 1000 s.f.	6 min / 10 max
location	within 500 feet
Convenience Uses	
spaces per 1000 s.f.	3 min / 4 max
location	within 500 feet
Personal & Business Services	
spaces per 1000 s.f.	3 min / 4 max
location	within 500 feet
Personal Enrichment Services	
spaces per 1000 s.f.	5 max (C11)
location	within 500 feet
Commercial Goods & Vehicle Sales	
spaces per 1000 s.f.	n/a
location	n/a
Civic & Cultural	
spaces per 1000 s.f.	3 min / 4 max
location	within 500 feet
Office - Professional	
spaces per 1000 s.f.	2.5 min / 3.5 max
location	within 200 feet
Office - Medical	
spaces per 1000 s.f.	4.5 min / 5.5 max
location	within 200 feet
Lodging	
spaces per guest room	1 min / 1.2 max
location	within 200 feet
Live-Work	
spaces per unit	1 min / 1 max
spaces per employee	0 min / 1 max
location	within 200 feet
Residential Uses	
spaces per studio unit	1 min / 1 max
spaces per 1br unit	1 min / 1.5 max
spaces per 2br+unit	1.5 min / 2 max
guest spaces per 10 units	2 min / 3 max (C12)
location	on site
Neighborhood Center Exceptions	
spaces per 1000 s.f.	0 min / 3 max
Corner Store Exceptions	
spaces per 1000 s.f.	0 min
location	on street only
2.7.2 Parking Types	
1) Surface Lot - Front	---
2) Surface Lot - Side	---
3) Surface Lot - Rear	permitted
4) Surface Lot - Exposed	---
5) Structure - Exposed	---
6) Structure - Wrapped: Ground Level	---
7) Structure - Wrapped: All Levels	permitted
8) Partially Submerged Podium	permitted (L4) only
9) Structure - Underground	permitted

2.8 Architecture Regulations	Standards
2.8.1 Facade Height Articulation Regulations	
Top	required
Base	required
2.9 Signage Regulations	Standards
2.9.1 Freestanding Sign Setbacks	(see section 2.9.1)
2.9.2 Total Sign Area	(see section 2.9.2)
2.9.3 Sign Type Regulations	
Grand Projecting Sign	permitted
maximum height	30 ft
Marquee Sign	permitted
maximum number of faces	3
maximum area	500 s.f.
Wall Sign	permitted
maximum size	200 s.f. (S1 & S5)
Monument Sign & Ground Sign	---
maximum number of faces	n/a
maximum height	n/a
maximum area	n/a
secondary sign	n/a
bonus sign	n/a
Pole Mounted Sign & Tower Sign	---
maximum number of faces	n/a
maximum height	n/a
secondary sign	n/a
bonus sign	n/a
maximum area	n/a
secondary sign	n/a
bonus sign	n/a
Projecting Sign	permitted
maximum area	8 s.f.
Awning Face Sign	permitted
maximum area	20 % of awning face
Awning Valance Sign	permitted
lines of lettering	1
letter height (whichever is less)	2/3 valance height : 8 in
Awning Side Sign	permitted
lines of lettering	1
letter height	8 in
Canopy Fascia Sign	permitted
maximum height (whichever is less)	2/3 fascia height : 12 in
maximum width	2/3 canopy width
lines of lettering	1
Above Canopy Sign	permitted
maximum height (whichever is less)	1 1/2 fascia height : 24 in
maximum width	2/3 canopy width
lines of lettering	1
Café Umbrella Sign	permitted
maximum area	n/a
Recessed Entry Sign	permitted
maximum area	20 s.f.
Window Sign	permitted
maximum area	20% of window (S3)



Development Standards Charts Legend:

Symbol:	
permitted	These elements are allowed, by right, unless otherwise specified in Section 2.2.1 Use Types
---	Not permitted
n/a	Not applicable
required	These are required elements of all new development as indicated
conditional	requires a conditional use permit
limited	limitations apply as specified in section 2.4.3. Private Frontage Types
plus	Development shall not exceed the height of housing across the street plus the number of stories indicated (see section 2.3.2 Special Building Height Limits)
CS	Permitted in a Corner Store configuration (see section 2.2.2. Special Retail Configurations)
NC	Permitted in a Neighborhood Center configuration (see section 2.2.2. Special Retail Configurations)
PP / N-PP	Required for Priority Projects / Encouraged for Non-Priority Projects (see section 2.6.7. Stormwater BMP Types)
(A)	Exceptions apply to anchor retail buildings
(M)	As shown on the Fig 2.1 Districts Map

Special Conditions:	
(C1)	Ground Floor
(C2)	Upper floors only
(C3)	Parkway Landscaping required along Beach Blvd.
(C4)	Side, and rear yards shall consist of heavy screening (see section 2.6.7)
(C5)	With shopfront
(C6)	Or 20% of parcel depth whichever is smaller
(C7)	Limited to the expansion of existing uses
(C8)	For development over 20,000 sf of building area
(C9)	For development over 20 dwelling units or lodging rooms
(C10)	Courtyard buildings may exceed the indicated length as defined in 2.3.4 Building Length
(C11)	The number of spaces provided must include at least one space for each student
(C12)	A minimum of 1 guest space / 10 DU requires a conditional use permit

Location:	
(L1)	On Beach Blvd.
(L2)	On Edinger Ave.
(L3)	On Main St.
(L4)	On Ellis Ave. and Delaware St.
(L5)	South of Atlanta Ave.
(L6)	Between Ellis Ave. and Adams Ave.
(L7)	North of Ellis Ave.

Use:	
(U1)	For residential development with 3 or more units
(U2)	Live Entertainment and Dancing not permitted
(U3)	Large Scale Specialty Goods and Foods Only (see section 2.2.1)
(U4)	Movie Theaters not permitted
(U5)	Ground floor Health & Exercise Clubs are conditional
(U7)	Only Health & Exercise clubs
(U8)	Only Gas Stations
(U9)	Residential Required as Shown on Map

Signs:	
(S1)	Exceptions apply for changeable copy & other sign variations, see section 2.9. Signage Regulations
(S3)	50% shall be allowable during the month of December
(S4)	Must occur as tower format
(S5)	For churches, schools, and commercial recreation uses within public parks, maximum area of 32 sqft and maximum height of 6 ft
(S6)	Signs are restricted to corner stores only
(S7)	Signs are permitted at entrances to multi-family buildings

(L8) on Gothard St.

2.2 Building Use Regulations	Standards
2.2.1 Use Types	
1) Retail	
a) Specialty Goods Anchors	---
b) Community Oriented Anchors	NC X
c) Entertainment Anchors	---
d) Eating & Drinking Establishments	permitted (L1 & L3) only
e) Specialty Goods & Foods	permitted (L1 & L3) only
f) Entertainment & Recreation	permitted (U7)
g) Convenience Uses	CS or permitted (L1, L3) only
h) Business Services	permitted
i) Personal Services	permitted
j) Personal Enrichment	permitted
k) Service Commercial & Repair	(U8): conditional AND L1/L3 only
l) Large Scale Commercial Goods	---
m) Vehicle Sales	---
2) Civic & Cultural	permitted
3) Office	
a) Professional Services	permitted
b) Medical Services	permitted
4) Lodging	permitted
5) Live Work	permitted
6) Residential	
a) Multi-Family w/ Common Entry	permitted (U9)
b) Multi Family w/ Individual Entries	permitted (U9)
c) Attached Single Family	permitted (U9)
d) Detached Single Family	---
2.2.2 Special Retail Configurations	
a) Neighborhood Center	permitted (L1 & L3) only
b) Corner Store	permitted
c) Drive-through	---
2.2.3 Affordable Housing Requirements	
required or not required	required (U1)
2.3 Building Scale Regulations	
2.3.1 Building Height	
minimum height	2 stories
maximum height	6 stories
2.3.2 Special Building Height Limits	
Edinger/Beach/Main	4 story max (L3)
Across the Street From Housing	plus 2 story max
Adjacent to Housing	required
2.3.3 Building Length	
maximum	300 ft
2.3.4 Special Building Length Limits	
Limited Corner Building - maximum	120 ft (C10)
Limited Mid-Block Building - maximum	80 ft (C10)
2.3.5 Building Massing	
Proportions - Edinger/Beach/Main	3:2 to 5:2
Proportions - All other streets	1:3 to 3:1

2.4 Frontage & Building Placement Regulations	Standards
2.4.1 Building Orientation to Streets & Public Open Space	
required or not required	required
2.4.2 Private Frontage Types	
3) Private Frontage Specification	
a) Shop-Front	permitted
Shopfront Length - maximum	50 ft
Tenant Length - maximum	50 ft
Articulation Length - maximum	50 ft
b) Corner Entry	permitted, required (M)
c) Arcade	permitted
d) Grand Portico	permitted
e) Forecourt	permitted
f) Common Lobby Entry	permitted
g) Stoop	permitted
h) Porch	---
i) Front Door	---
j) Edge Treatment: Fenced	---
k) Edge Treatment: Terraced	permitted
l) Edge Treatment: Flush	permitted
2.4.3 Front Yard Setback	
minimum / maximum - Edinger	n/a
minimum / maximum - Beach	0 ft / 10 ft
minimum / maximum - Main	0 ft / 5 ft
minimum / maximum - all other streets	0 ft / 15 ft
2.4.4 Side Yard Setback	
min w/ living space windows	10 ft
min w/out living space windows	0 ft
2.4.5 Rear Yard Setback	
minimum	10 ft
2.4.6 Alley Setback	
minimum	5 ft
2.4.7 Frontage Coverage	
minimum - Edinger/Beach/Main	90%
minimum - all other streets	90%
2.4.8 Space Between Buildings	
minimum	20 ft
2.4.9 Build-to-Corner	
required or not required	required
2.5 Street Regulations	
Standards	
2.5.1 Improvements to Existing Streets	
4) Palm Tree Boulevard	
a) Typical Configuration	required (L1)
b) Standard Avenue	required (L3)
7) Neighborhood Streets	
required except (L1, L3)	(see section 2.5.2)
2.5.2 Provision of New Streets	
2.5.3 Block Size	
Maximum Block Size	2400 ft
Maximum Edinger Block Face	n/a
2.5.4 Street Connectivity	
required or not required	required
2.5.5 Required East-West Street Connection	
required or not required	n/a
2.5.6 Residential Transition-Boundary Street	
required or not required	required
2.5.7 Street Types (New Street Design)	
1) City Street	permitted
2) Public Open Space w/ City Street	permitted
3) Neighborhood Street	permitted
4) Public Open Space w/ Neighborhood Street	permitted
5) Alley	permitted

2.6 Open Space Regulations	Standards
2.6.1 Provision of Public Open Space	
Retail	50 s.f. / 1000 s.f. (C8)
Civic & Cultural	n/a
Office	100 s.f. / 1000 s.f. (C8)
Lodging	100 ³⁰ s.f. / room (C9)
Live Work	150 ⁵⁰ s.f. / unit (C9)
Residential	100 ⁵⁰ s.f. / unit (C9)
2.6.2 Special Public Open Space Requirement	required (M)
2.6.3 Provision of Private Open Space	
Retail	n/a
Civic & Cultural	n/a
Office	n/a
Lodging	n/a
Live Work	n/a
Residential	
Attached & Multi-Family	60 s.f. / unit
Detached Single-Family Homes	n/a
2.6.4 Public Open Space Types	
1) Park	permitted
2) Linear Green	permitted
2) Square	permitted
4) Plaza	permitted
5) Mid-Block Green	permitted
6) Courtyard Plaza	permitted
7) Passage/Paseo	permitted
8) Pocket Park/Playground	permitted
2.6.5 Private Open Space Types	
1) Courtyard	permitted
2) Private Yard	permitted
3) Porch	---
4) Rooftop Deck or Garden	permitted
5) Balcony	permitted
2.6.6 Stormwater Management Best Management Practices	
required or not required	required
2.6.7 Stormwater BMP Types	
Source Control BMPs	required
Site Design BMPs	required
Treatment Control BMPs	PP / N-PP
2.6.8 Open Space Landscaping	
required or not required	required
2.6.9 Setback Area Landscaping	
1) Perimeter Block Setback Areas	
a) Sidewalk Extension	permitted; required (C5)
b) Parkway Landscaping	---
c) Boulevard Landscaping	required (L1 except C5)
d) Neighborhood Street Landscaping	permitted
2) Interior Block Setback Areas	
a) Groundcover	required
b & c) Moderate or Heavy Screening	permitted

2.7 Parking Regulations	Standards
2.7.1 Provision of Parking	
Retail Anchors	
spaces per 1000 s.f.	n/a
location	n/a
Eating & Drinking Establishments	
spaces per 1000 s.f.	4 min / 10 max
location	within 500 feet
Specialty Foods / Goods	
spaces per 1000 s.f.	3 min / 4 max
location	within 500 feet
Entertainment & Recreation	
spaces per 1000 s.f.	n/a
location	n/a
Convenience Uses	
spaces per 1000 s.f.	3 min / 4 max
location	within 500 feet
Personal & Business Services	
spaces per 1000 s.f.	3 min / 5 max
location	within 500 feet
Personal Enrichment Services	
spaces per 1000 s.f.	5 max (C11)
location	within 500 feet
Commercial Goods & Vehicle Sales	
spaces per 1000 s.f.	n/a
location	n/a
Civic & Cultural	
spaces per 1000 s.f.	3 min / 4 max
location	within 500 feet
Office - Professional	
spaces per 1000 s.f.	2.5 min / 3.5 max
location	within 200 feet
Office - Medical	
spaces per 1000 s.f.	4.5 min / 5.5 max
location	within 200 feet
Lodging	
spaces per guest room	1 min / 1.2 max
location	within 200 feet
Live-Work	
spaces per unit	1 min / 1 max
spaces per employee	0 min / 1 max
location	within 200 feet
Residential Uses	
spaces per studio unit	1 min / 1 max
spaces per 1br unit	1 min / 1.5 max
spaces per 2br+unit	1.5 min / 2 max
guest spaces per 10 units	2 min / 3 max (C12)
location	on site
Neighborhood Center Exceptions	
spaces per 1000 s.f.	0 min / 3 max
Corner Store Exceptions	
spaces per 1000 s.f.	0 min
location	on street only
2.7.2 Parking Types	
1) Surface Lot - Front	---
2) Surface Lot - Side	---
3) Surface Lot - Rear	permitted
4) Surface Lot - Exposed	---
5) Structure - Exposed	---
6) Structure - Wrapped: Ground Level	permitted
7) Structure - Wrapped: All Levels	permitted
8) Partially Submerged Podium	permitted
9) Structure - Underground	permitted

2.8 Architecture Regulations	Standards
2.8.1 Facade Height Articulation Regulations	
Top	required
Base	required
2.9 Signage Regulations	Standards
2.9.1 Freestanding Sign Setbacks	(see section 2.9.1)
2.9.2 Total Sign Area	(see section 2.9.2)
2.9.3 Sign Type Regulations	
Grand Projecting Sign	---
maximum height	n/a
Marquee Sign	---
maximum number of faces	n/a
maximum area	n/a
Wall Sign	permitted
maximum size	200 s.f. (S1 & S5)
Monument Sign & Ground Sign	permitted
maximum number of faces	2
maximum height	6 ft
maximum area	48 s.f. (S1)
secondary sign	---
bonus sign	24 s.f.
Pole Mounted Sign & Tower Sign	---
maximum number of faces	n/a
maximum height	n/a
secondary sign	n/a
bonus sign	n/a
maximum area	n/a
secondary sign	n/a
bonus sign	n/a
Projecting Sign	permitted
maximum area	8 s.f.
Awning Face Sign	permitted
maximum area	20 % of awning face
Awning Valance Sign	permitted
lines of lettering	1
letter height (whichever is less)	2/3 valance height : 8 in
Awning Side Sign	permitted
lines of lettering	1
letter height	8 in
Canopy Fascia Sign	permitted
maximum height (whichever is less)	2/3 fascia height : 12 in
maximum width	2/3 canopy width
lines of lettering	1
Above Canopy Sign	permitted
maximum height (whichever is less)	1 1/2 fascia height : 24 in
maximum width	2/3 canopy width
lines of lettering	1
Café Umbrella Sign	permitted
maximum area	n/a
Recessed Entry Sign	permitted
maximum area	20 s.f.
Window Sign	permitted
maximum area	20% of window (S3)



(C13) up to 6 stories with a CUP if on same site with existing buildings of same or greater height

Development Standards Charts Legend:

Symbol:		Special Conditions:		Use:	
permitted	These elements are allowed, by right, unless otherwise specified in Section 2.2.1 Use Types	(C1) Ground Floor <i>allowed</i>	(C2) Upper floors only	(U1) For residential development with 3 or more units	(U2) Live Entertainment and Dancing not permitted
---	Not permitted	(C3) Parkway Landscaping required along Beach Blvd.	(C4) Side, and rear yards shall consist of heavy screening (see section 2.6.7)	(U3) Large Scale Specialty Goods and Foods Only (see section 2.2.1)	(U4) Movie Theaters not permitted
n/a	Not applicable	(C5) With shopfront	(C6) Or 20% of parcel depth whichever is smaller	(U5) Ground floor Health & Exercise Clubs are conditional	(U7) Only Health & Exercise clubs
required	These are required elements of all new development as indicated	(C7) Limited to the expansion of existing uses	(C8) For development over 20,000 sf of building area	(U8) Only Gas Stations	(U9) Residential Required as Shown on Map
conditional	requires a conditional use permit	(C9) For development over 20 dwelling units or lodging rooms	(C10) Courtyard buildings may exceed the indicated length as defined in 2.3.4 Building Length	Signs:	
limited	limitations apply as specified in section 2.4.3. Private Frontage Types	(C11) The number of spaces provided must include at least one space for each student	(C12) A minimum of 1 guest space / 10 DU requires a conditional use permit	(S1) Exceptions apply for changeable copy & other sign variations, see section 2.9. Signage Regulations	(S3) 50% shall be allowable during the month of December
plus	Development shall not exceed the height of housing across the street plus the number of stories indicated (see section 2.3.2 Special Building Height Limits)	Location:		(S4) Must occur as tower format	(S5) For churches, schools, and commercial recreation uses within public parks, maximum area of 32 sqft and maximum height of 6 ft
CS	Permitted in a Corner Store configuration (see section 2.2.2. Special Retail Configurations)	(L1) On Beach Blvd.	(L2) On Edinger Ave.	(S6) Signs are restricted to corner stores only	(S7) Signs are permitted at entrances to multi-family buildings
NC	Permitted in a Neighborhood Center configuration (see section 2.2.2. Special Retail Configurations)	(L3) On Main St.	(L4) On Ellis Ave. and Delaware St.		
PP / N-PP	Required for Priority Projects / Encouraged for Non-Priority Projects (see section 2.6.7. Stormwater BMP Types)	(L5) South of Atlanta Ave.	(L6) Between Ellis Ave. and Adams Ave.		
(A)	Exceptions apply to anchor retail buildings	(L7) North of Ellis Ave.			
(M)	As shown on the Fig 2.1 Districts Map				

*(L9) on Ash St and Cypress Ave.
(L10) on Warner Ave.*

2.2 Building Use Regulations	Standards
2.2.1 Use Types	
1) Retail	
a) Specialty Goods Anchors	---
b) Community Oriented Anchors	NC
c) Entertainment Anchors	---
d) Eating & Drinking Establishments	NC
e) Specialty Goods & Foods	NC (U3)
f) Entertainment & Recreation	permitted
g) Convenience Uses	NC
h) Business Services	NC
i) Personal Services	NC
j) Personal Enrichment	NC
k) Service Commercial & Repair	permitted (U8)
l) Large Scale Commercial Goods	---
m) Vehicle Sales	---
2) Civic & Cultural	permitted (C2)
3) Office	
a) Professional Services	permitted (C2)
b) Medical Services	permitted (C2)
4) Lodging	permitted (C2)
5) Live Work	permitted (C2) <i>(C1 & L9)</i>
6) Residential	
a) Multi-Family w/ Common Entry	permitted (C2) <i>(C1 & L9)</i>
b) Multi Family w/ Individual Entries	permitted (C2) <i>(C1 & L9)</i>
c) Attached Single Family	---
d) Detached Single Family	---
2.2.2 Special Retail Configurations	
a) Neighborhood Center	required (L1) <i>& (L10)</i>
b) Corner Store	n/a
c) Drive-through	permitted
2.2.3 Affordable Housing Requirements	
required or not required	required (U1)

2.3 Building Scale Regulations	Standards
2.3.1 Building Height	
minimum height	1 story
maximum height	5 stories <i>(C13)</i>
2.3.2 Special Building Height Limits	
Edinger/Beach/Main	4 story max (L1)
Across the Street From Housing	plus 2 story max
Adjacent to Housing	required
2.3.3 Building Length	
maximum	300 ft
2.3.4 Special Building Length Limits	
Limited Corner Building - maximum	120 ft (C10)
Limited Mid-Block Building - maximum	80 ft (C10)
2.3.5 Building Massing	
Proportions - Edinger/Beach/Main	3:2 to 3:1
Proportions - All other streets	2:3 to 5:2

2.4 Frontage & Building Placement Regulations	Standards
2.4.1 Building Orientation to Streets & Public Open Space	
required or not required	required (A)
2.4.2 Private Frontage Types	
3) Private Frontage Specification	
a) Shop-Front	permitted
Shopfront Length - maximum	N/A
Tenant Length - maximum	N/A
Articulation Length - maximum	50 ft
b) Corner Entry	permitted
c) Arcade	permitted
d) Grand Portico	permitted
e) Forecourt	permitted
f) Common Lobby Entry	permitted
g) Stoop	permitted except (L1)
h) Porch	---
i) Front Door	---
j) Edge Treatment: Fenced	permitted except (L1)
k) Edge Treatment: Terraced	permitted except (L1)
l) Edge Treatment: Flush	permitted
2.4.3 Front Yard Setback	
minimum / maximum - Edinger	n/a
minimum / maximum - Beach	5 ft / 10 ft; 0 ft / 5 ft (C5)
minimum / maximum - Main	n/a
minimum / maximum - all other streets	5 ft / 15 ft (A)
2.4.4 Side Yard Setback	
min w/ living space windows	10 ft
min w/out living space windows	5 ft
2.4.5 Rear Yard Setback	
minimum	10 ft
2.4.6 Alley Setback	
minimum	5 ft
2.4.7 Frontage Coverage	
minimum - Edinger/Beach/Main	50%
minimum - all other streets	50% (A)
2.4.8 Space Between Buildings	
minimum	20 ft
2.4.9 Build-to-Corner	
required or not required	required
2.5 Street Regulations	
Standards	

2.5.1 Improvements to Existing Streets	Standards
4) Palm Tree Boulevard	
b) Neighborhood Center Streetfront	required (L1, L7)
5) Parkway	
b) Neighborhood Center w/ Access Lane	required (L1, L5)
c) Neighborhood Center w/ Palm	required (L1, L6) <i>L5</i>
7) Neighborhood Streets	required except (L1)
2.5.2 Provision of New Streets	
2.5.2 Provision of New Streets (see section 2.5.2)	
2.5.3 Block Size	
Maximum Block Size	3000 ft
Maximum Edinger Block Face	n/a
2.5.4 Street Connectivity	
required or not required	required
2.5.5 Required East-West Street Connection	
required or not required	n/a
2.5.6 Residential Transition-Boundary Street	
required or not required	n/a
2.5.7 Street Types (New Street Design)	
1) City Street	permitted
2) Public Open Space w/ City Street	permitted
3) Neighborhood Street	permitted
4) Public Open Space w/ Neighborhood	permitted
5) Alley	permitted

2.6 Open Space Regulations	Standards
2.6.1 Provision of Public Open Space	
Retail	50 s.f. / 1000 s.f. (C8)
Civic & Cultural	n/a
Office	100 s.f. / 1000 s.f. (C8)
Lodging	+100 s.f. / room (C9)
Live Work	+50 s.f. / unit (C9)
Residential	+100 s.f. / unit (C9)
2.6.2 Special Public Open Space Requirement	n/a
2.6.3 Provision of Private Open Space	
Retail	n/a
Civic & Cultural	n/a
Office	n/a
Lodging	n/a
Live Work	n/a
Residential	
Attached & Multi-Family	60 s.f. / unit
Detached Single-Family Homes	n/a
2.6.4 Public Open Space Types	
1) Park	---
2) Linear Green	---
3) Square	permitted
4) Plaza	permitted
5) Mid-Block Green	permitted
6) Courtyard Plaza	permitted
7) Passage/Paseo	permitted
8) Pocket Park/Playground	permitted
2.6.5 Private Open Space Types	
1) Courtyard	permitted
2) Private Yard	permitted
3) Porch	---
4) Rooftop Deck or Garden	permitted
5) Balcony	permitted
2.6.6 Stormwater Management Best Management Practices	
required or not required	required
2.6.7 Stormwater BMP Types	
Source Control BMPs	required
Site Design BMPs	required
Treatment Control BMPs	PP / N-PP
2.6.8 Open Space Landscaping	
required or not required	required
2.6.9 Setback Area Landscaping	
1) Perimeter Block Setback Areas	
a) Sidewalk Extension	permitted; required (L1)
b) Parkway Landscaping	---
c) Boulevard Landscaping	---
d) Neighborhood Street Landscaping	permitted
2) Interior Block Setback Areas	
a) Groundcover	required
b & c) Moderate or Heavy Screening	required

30
50
50

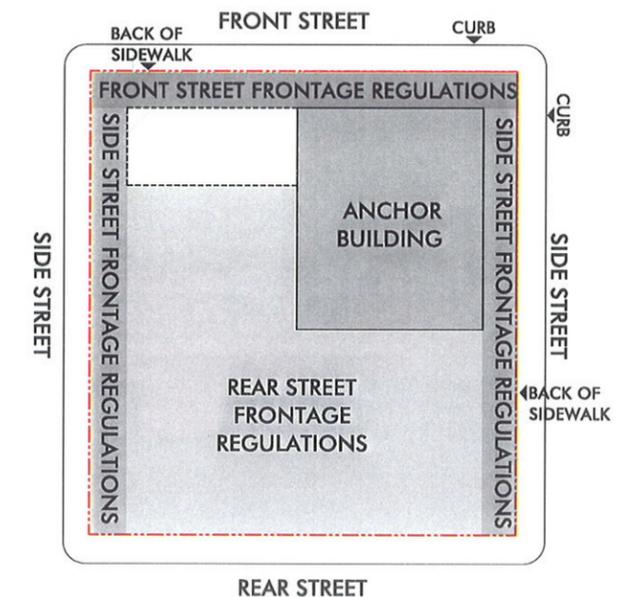
2.7 Parking Regulations	Standards
2.7.1 Provision of Parking	
Retail Anchors	
spaces per 1000 s.f.	3 min / 4 max
location	within 500 feet
Eating & Drinking Establishments	
spaces per 1000 s.f.	6 min / 10 max
location	within 200 feet
Specialty Foods / Goods	
spaces per 1000 s.f.	3 min / 4 max
location	within 500 feet
Entertainment & Recreation	
spaces per 1000 s.f.	6 min / 10 max
location	within 500 feet
Convenience Uses	
spaces per 1000 s.f.	3 min / 4 max
location	within 200 feet
Personal & Business Services	
spaces per 1000 s.f.	3 min / 4 max
location	within 200 feet
Personal Enrichment Services	
spaces per 1000 s.f.	5 max (C11)
location	within 200 feet
Commercial Goods & Vehicle Sales	
spaces per 1000 s.f.	n/a
location	n/a
Civic & Cultural	
spaces per 1000 s.f.	3 min / 4 max
location	within 500 feet
Office - Professional	
spaces per 1000 s.f.	3 min / 4 max
location	within 200 feet
Office - Medical	
spaces per 1000 s.f.	4.5 min / 5.5 max
location	within 200 feet
Lodging	
spaces per guest room	1 min / 1.2 max
location	within 200 feet
Live-Work	
spaces per unit	1 min / 1 max
spaces per employee	0 min / 1 max
location	within 200 feet
Residential Uses	
spaces per studio unit	1 min / 1 max
spaces per 1br unit	1 min / 1.5 max
spaces per 2br+unit	1.5 min / 2 max
guest spaces per 10 units	2 min / 3 max (C12)
location	on site
Neighborhood Center Exceptions	
spaces per 1000 s.f.	0 min / 3 max
Corner Store Exceptions	
spaces per 1000 s.f.	0 min
location	on street only
2.7.2 Parking Types	
1) Surface Lot - Front	---
2) Surface Lot - Side	permitted
3) Surface Lot - Rear	permitted
4) Surface Lot - Exposed	--- (A)
5) Structure - Exposed	---
6) Structure - Wrapped: Ground Level	---
7) Structure - Wrapped: All Levels	permitted
8) Partially Submerged Podium	permitted
9) Structure - Underground	permitted

2.8 Architecture Regulations	Standards
2.8.1 Facade Height Articulation Regulations	
Top	required
Base	required
2.9 Signage Regulations	Standards
2.9.1 Freestanding Sign Setbacks	(see section 2.9.1)
2.9.2 Total Sign Area	(see section 2.9.2)
2.9.3 Sign Type Regulations	
Grand Projecting Sign	---
maximum height	n/a
Marquee Sign	---
maximum number of faces	n/a
maximum area	n/a
Wall Sign	permitted
maximum size	200 s.f. (S1 & S5)
Monument Sign & Ground Sign	permitted
maximum number of faces	2
maximum height	6 ft
maximum area	48 s.f. (S1)
secondary sign	---
bonus sign	24 s.f.
Pole Mounted Sign & Tower Sign	permitted (L1, L2)
maximum number of faces	2
maximum height	15 ft
secondary sign	---
bonus sign	5 ft
maximum area	70 s.f. (S4)
secondary sign	---
bonus sign	30 s.f.
Projecting Sign	permitted
maximum area	8 s.f.
Awning Face Sign	permitted
maximum area	20 % of awning face
Awning Valance Sign	permitted
lines of lettering	1
letter height (whichever is less)	2/3 valance height : 8 in
Awning Side Sign	permitted
lines of lettering	1
letter height	8 in
Canopy Fascia Sign	permitted
maximum height (whichever is less)	2/3 fascia height : 12 in
maximum width	2/3 canopy width
lines of lettering	1
Above Canopy Sign	permitted
maximum height (whichever is less)	1 1/2 fascia height : 24 in
maximum width	2/3 canopy width
lines of lettering	1
Café Umbrella Sign	permitted
maximum area	10% of umbrella surface
Recessed Entry Sign	permitted
maximum area	20 s.f.
Window Sign	permitted
maximum area	20% of window (S3)

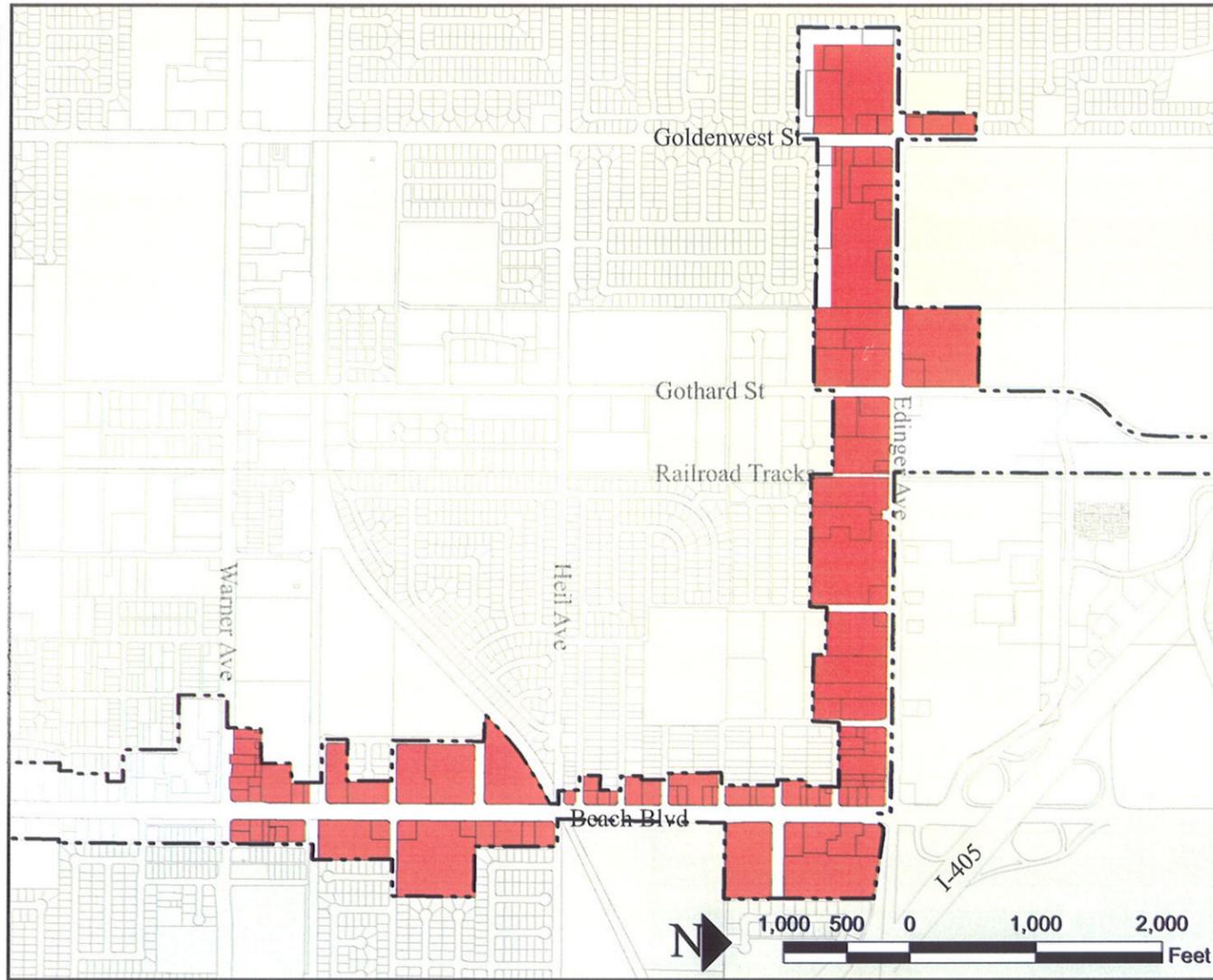
a) Anchor Exceptions

Regulations listed in the Anchor Exceptions chart below may be applied to retail anchors exceeding 30,000 square feet as exceptions to the regulations indicated with an (A) in the Development Standards Charts. Anchor buildings shall have at least one "Front Street" that shall establish how these exceptions apply.

Beach Blvd. shall always be a Front Street. All streets that are not Front Streets are either Side Streets or Rear Streets as indicated in accompanying Anchor Buildings diagram.



Regulations	Front Street	Side Street	Rear Street
2.4.1 Building Orientation			
required or not required	required	not required	not required
2.4.4 Front Yard Setback			
maximum	no deviation	no maximum	no maximum
2.4.8 Frontage Coverage			
minimum	no deviation	20%	0%
2.7.2 Parking Types			
Surface Lot - Exposed	no deviation	permitted	permitted
Structure - Wrapped on Ground Level	permitted	permitted	permitted
Structure - Exposed	no deviation	permitted	permitted
2.8.2 Architectural Element Regulations			
Facade Composition	no deviation	No minimum glazing requirement along two selected street frontages	



Development Standards Charts Legend:

Symbol:		Special Conditions:		Use:	
permitted	These elements are allowed, by right, unless otherwise specified in Section 2.2.1 Use Types	(C1)	Ground Floor	(U1)	For residential development with 3 or more units
---	Not permitted	(C2)	Upper floors only	(U2)	Live Entertainment and Dancing not permitted
n/a	Not applicable	(C3)	Parkway Landscaping required along Beach Blvd.	(U3)	Large Scale Specialty Goods and Foods Only (see section 2.2.1)
required	These are required elements of all new development as indicated	(C4)	Side, and rear yards shall consist of heavy screening (see section 2.6.7)	(U4)	Movie Theaters not permitted
conditional	requires a conditional use permit	(C5)	With shopfront	(U5)	Ground floor Health & Exercise Clubs are conditional
limited	limitations apply as specified in section 2.4.3. Private Frontage Types	(C6)	Or 20% of parcel depth whichever is smaller	(U7)	Only Health & Exercise clubs
plus	Development shall not exceed the height of housing across the street plus the number of stories indicated (see section 2.3.2 Special Building Height Limits)	(C7)	Limited to the expansion of existing uses	(U8)	Only Gas Stations
CS	Permitted in a Corner Store configuration (see section 2.2.2. Special Retail Configurations)	(C8)	For development over 20,000 sf of building area	(U9)	Residential Required as Shown on Map
NC	Permitted in a Neighborhood Center configuration (see section 2.2.2. Special Retail Configurations)	(C9)	For development over 20 dwelling units or lodging rooms		
PP / N-PP	Required for Priority Projects / Encouraged for Non-Priority Projects (see section 2.6.7. Stormwater BMP Types)	(C10)	Courtyard buildings may exceed the indicated length as defined in 2.3.4 Building Length		
(A)	Exceptions apply to anchor retail buildings	(C11)	The number of spaces provided must include at least one space for each student		
(M)	As shown on the Fig 2.1 Districts Map	(C12)	A minimum of 1 guest space / 10 DU requires a conditional use permit		
		Location:			
		(L1)	On Beach Blvd.	(S1)	Exceptions apply for changeable copy & other sign variations, see section 2.9. Signage Regulations
		(L2)	On Edinger Ave.	(S3)	50% shall be allowable during the month of December
		(L3)	On Main St.	(S4)	Must occur as tower format
		(L4)	On Ellis Ave. and Delaware St.	(S5)	For churches, schools, and commercial recreation uses within public parks, maximum area of 32 sqft and maximum height of 6 ft
		(L5)	South of Atlanta Ave.	(S6)	Signs are restricted to corner stores only
		(L6)	Between Ellis Ave. and Adams Ave.	(S7)	Signs are permitted at entrances to multi-family buildings
		(L7)	North of Ellis Ave.		

(C14) Up to 10 stories with a CUP if property is within 500 ft. of I-405

2.2 Building Use Regulations	Standards
2.2.1 Use Types	
1) Retail	
a) Specialty Goods Anchors	permitted
b) Community Oriented Anchors	permitted (L1 & L2) only
c) Entertainment Anchors	---
d) Eating & Drinking Establishments	permitted (L1 & L2) only
e) Specialty Goods & Foods	permitted (L1 & L2) only
f) Entertainment & Recreation	permitted (L1 & L2) only (U4)
g) Convenience Uses	permitted (L1 & L2) only
h) Business Services	permitted (L1 & L2) only
i) Personal Services	permitted (L1 & L2) only
j) Personal Enrichment	permitted (L1 & L2) only
k) Service Commercial & Repair	permitted (L1 & L2) only
l) Large Scale Commercial Goods	permitted (L1 & L2) only
m) Vehicle Sales	permitted (L1) only
2) Civic & Cultural	permitted
3) Office	
a) Professional Services	permitted
b) Medical Services	permitted
4) Lodging	permitted
5) Live Work	permitted
6) Residential	
a) Multi-Family w/ Common Entry	permitted
b) Multi Family w/ Individual Entries	permitted
c) Attached Single Family	permitted
d) Detached Single Family	---
2.2.2 Special Retail Configurations	
a) Neighborhood Center	permitted (L1 & L2) only
b) Corner Store	permitted
c) Drive-through	permitted (L1 & L2) only
2.2.3 Affordable Housing Requirements	
required or not required	required (U1)
2.3 Building Scale Regulations	
Standards	
2.3.1 Building Height	
minimum height	1 story
maximum height	5 stories (C14)
2.3.2 Special Building Height Limits	
Edinger/Beach/Main	4 story - n/a - max
Across the Street From Housing	plus 2 story max
Adjacent to Housing	required
2.3.3 Building Length	
maximum	300 ft
2.3.4 Special Building Length Limits	
Limited Corner Building - maximum	120 ft (C10)
Limited Mid-Block Building - maximum	80 ft (C10)
2.3.5 Building Massing	
Proportions - Edinger/Beach/Main	3:2 to 5:2
Proportions - All other streets	2:3 to 5:2

2.4 Frontage & Building Placement Regulations	Standards
2.4.1 Building Orientation to Streets & Public Open Space	
required or not required	required (A)
2.4.2 Private Frontage Types	
3) Private Frontage Specification	
a) Shop-Front	permitted
Shopfront Length - maximum	N/A
Tenant Length - maximum	N/A
Articulation Length - maximum	50 ft
b) Corner Entry	permitted
c) Arcade	permitted
d) Grand Portico	permitted
e) Forecourt	permitted
f) Common Lobby Entry	permitted
g) Stoop	permitted
h) Porch	---
i) Front Door	---
j) Edge Treatment: Fenced	permitted
k) Edge Treatment: Terraced	permitted
l) Edge Treatment: Flush	permitted
2.4.3 Front Yard Setback	
minimum / maximum - Edinger	0 ft / 15 ft
minimum / maximum - Beach	12 ft / 25 ft
minimum / maximum - Main	n/a
minimum / maximum - all other streets	5 ft / 15 ft
2.4.4 Side Yard Setback	
min w/ living space windows	10 ft
min w/out living space windows	5 ft
2.4.5 Rear Yard Setback	
minimum	10 ft
2.4.6 Alley Setback	
minimum	5 ft
2.4.7 Frontage Coverage	
minimum - Edinger/Beach/Main	50%
minimum - all other streets	50% (A)
2.4.8 Space Between Buildings	
minimum	20 ft
2.4.9 Build-to-Corner	
required or not required	required
2.5 Street Regulations	
Standards	
2.5.1 Improvements to Existing Streets	
3) Classic Boulevard	required (L2)
4) Palm Tree Boulevard	
a) Typical Configuration	required (L1)
7) Neighborhood Streets	required except (L1, L2)
2.5.2 Provision of New Streets	
	(see section 2.5.2)
2.5.3 Block Size	
Maximum Block Size	3000 ft
Maximum Edinger Block Face	1000 ft
2.5.4 Street Connectivity	
required or not required	required
2.5.5 Required East-West Street Connection	
required or not required	required
2.5.6 Residential Transition-Boundary Street	
required or not required	required
2.5.7 Street Types (New Street Design)	
1) City Street	permitted
2) Public Open Space w/ City Street	permitted
3) Neighborhood Street	permitted
4) Public Open Space w/ Neighborhood Street	permitted
5) Alley	permitted

Development Standards Charts

2.6 Open Space Regulations	Standards
2.6.1 Provision of Public Open Space	
Retail	50 s.f. / 1000 s.f. (C8)
Civic & Cultural	n/a
Office	100 s.f. / 1000 s.f. (C8)
Lodging	+30 s.f. / room (C9)
Live Work	+50 s.f. / unit (C9)
Residential	+50 s.f. / unit (C9)
2.6.2 Special Public Open Space Requirement	n/a
2.6.3 Provision of Private Open Space	
Retail	n/a
Civic & Cultural	n/a
Office	n/a
Lodging	n/a
Live Work	n/a
Residential	
Attached & Multi-Family	60 s.f. / unit
Detached Single-Family Homes	n/a
2.6.4 Public Open Space Types	
1) Park	permitted
2) Linear Green	permitted
2) Square	permitted
4) Plaza	permitted
5) Mid-Block Green	permitted
6) Courtyard Plaza	permitted
7) Passage/Paseo	permitted
8) Pocket Park/Playground	permitted
2.6.5 Private Open Space Types	
1) Courtyard	permitted
2) Private Yard	permitted
3) Porch	---
4) Rooftop Deck or Garden	permitted
5) Balcony	permitted
2.6.6 Stormwater Management Best Management Practices	
required or not required	required
2.6.7 Stormwater BMP Types	
Source Control BMPs	required
Site Design BMPs	required
Treatment Control BMPs	PP / N-PP
2.6.8 Open Space Landscaping	
required or not required	required
2.6.9 Setback Area Landscaping	
1) Perimeter Block Setback Areas	
a) Sidewalk Extension	permitted (C5) only
b) Parkway Landscaping	---
c) Boulevard Landscaping	required (L1 & L2)
d) Neighborhood Street Landscaping	permitted
2) Interior Block Setback Areas	
a) Groundcover	required
b & c) Moderate or Heavy Screening	required

2.7 Parking Regulations	Standards
2.7.1 Provision of Parking	
Retail Anchors	
spaces per 1000 s.f.	4 min / no max
location	within 500 feet
Eating & Drinking Establishments	
spaces per 1000 s.f.	12 min / no max
location	within 500 feet
Specialty Foods / Goods	
spaces per 1000 s.f.	4 min / no max
location	within 500 feet
Entertainment & Recreation	
spaces per 1000 s.f.	6 min / 10 max
location	on site
Convenience Uses	
spaces per 1000 s.f.	4 min / no max
location	within 500 feet
Personal & Business Services	
spaces per 1000 s.f.	3 min / 5 max
location	within 500 feet
Personal Enrichment Services	
spaces per 1000 s.f.	5 max (C11)
location	within 500 feet
Commercial Goods & Vehicle Sales	
spaces per 1000 s.f.	3 min / 5 max
location	within 500 feet
Civic & Cultural	
spaces per 1000 s.f.	4 min / no max
location	within 500 feet
Office - Professional	
spaces per 1000 s.f.	3.5 min / 4 max
location	within 500 feet
Office - Medical	
spaces per 1000 s.f.	4.5 min / 5.5 max
location	within 500 feet
Lodging	
spaces per guest room	1 min / no max
location	on site
Live-Work	
spaces per unit	1 min / 1 max
spaces per employee	0 min / 1 max
location	within 200 feet
Residential Uses	
spaces per studio unit	1 min / 1 max
spaces per 1br unit	1 min / 1.5 max
spaces per 2br+unit	1.5 min / 2 max
guest spaces per 10 units	2 min / 3 max (C12)
location	on site
Neighborhood Center Exceptions	
spaces per 1000 s.f.	0 min / 3 max
Corner Store Exceptions	
spaces per 1000 s.f.	0 min
location	on street only
2.7.2 Parking Types	
1) Surface Lot - Front	---
2) Surface Lot - Side	permitted
3) Surface Lot - Rear	permitted
4) Surface Lot - Exposed	--- (A)
5) Structure - Exposed	---
6) Structure - Wrapped: Ground Level	---
7) Structure - Wrapped: All Levels	permitted
8) Partially Submerged Podium	permitted
9) Structure - Underground	permitted

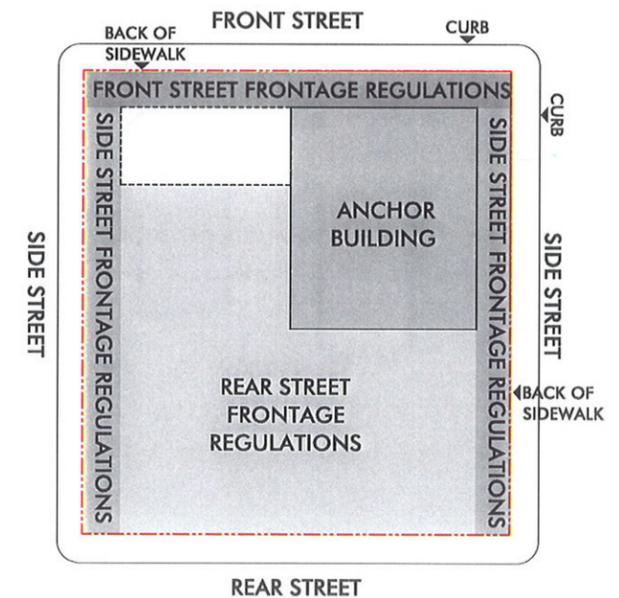
2.8 Architecture Regulations	Standards
2.8.1 Facade Height Articulation Regulations	
Top	required
Base	required
2.9 Signage Regulations	Standards
2.9.1 Freestanding Sign Setbacks	(see section 2.9.1)
2.9.2 Total Sign Area	(see section 2.9.2)
2.9.3 Sign Type Regulations	
Grand Projecting Sign	---
maximum height	n/a
Marquee Sign	---
maximum number of faces	n/a
maximum area	n/a
Wall Sign	permitted
maximum size	200 s.f. (S1 & S5)
Monument Sign & Ground Sign	permitted
maximum number of faces	2
maximum height	6 ft
maximum area	48 s.f. (S1)
secondary sign	32 s.f.
bonus sign	24 s.f.
Pole Mounted Sign & Tower Sign	permitted (L1, L2)
maximum number of faces	2
maximum height	20 ft
secondary sign	8 ft (S4)
bonus sign	5 ft
maximum area	100 s.f. (S4)
secondary sign	32 s.f.
bonus sign	25 s.f.
Projecting Sign	permitted
maximum area	8 s.f.
Awning Face Sign	permitted
maximum area	20 % of awning face
Awning Valance Sign	permitted
lines of lettering	1
letter height (whichever is less)	2/3 valance height : 8 in
Awning Side Sign	permitted
lines of lettering	1
letter height	8 in
Canopy Fascia Sign	permitted
maximum height (whichever is less)	2/3 fascia height : 12 in
maximum width	2/3 canopy width
lines of lettering	1
Above Canopy Sign	permitted
maximum height (whichever is less)	1 1/2 fascia height : 24 in
maximum width	2/3 canopy width
lines of lettering	1
Café Umbrella Sign	permitted
maximum area	10% of umbrella surface
Recessed Entry Sign	permitted
maximum area	20 s.f.
Window Sign	permitted
maximum area	20% of window (S3)

Special Requirements

a) Anchor Exceptions

Regulations listed in the Anchor Exceptions chart below may be applied to retail anchors exceeding 30,000 square feet as exceptions to the regulations indicated with an (A) in the Development Standards Charts. Anchor buildings shall have at least one "Front Street" that shall establish how these exceptions apply.

Beach Blvd. and Edinger Ave. shall always be Front Streets. Where these streets intersect, the Front Streets shall be determined by Planning Director/Designee. All streets that are not Front Streets are either Side Streets or Rear Streets as indicated in accompanying Anchor Buildings diagram.



Regulations	Front Street	Side Street	Rear Street
2.4.1 Building Orientation			
required or not required	required	not required	not required
2.4.4 Front Yard Setback			
maximum	no deviation	no maximum	no maximum
2.4.8 Frontage Coverage			
minimum	no deviation	20%	0%
2.7.2 Parking Types			
Surface Lot - Exposed	no deviation	permitted	permitted
Structure - Wrapped on Ground Level	permitted	permitted	permitted
Structure - Exposed	no deviation	permitted	permitted
2.8.2 Architectural Element Regulations			
Facade Composition	no deviation	No minimum glazing requirement along two selected street frontages	



Development Standards Charts Legend:

Symbol:		Special Conditions:		Use:	
permitted	These elements are allowed, by right, unless otherwise specified in Section 2.2.1 Use Types	(C1)	Ground Floor	(U1)	For residential development with 3 or more units
---	Not permitted	(C2)	Upper floors only	(U2)	Live Entertainment and Dancing not permitted
n/a	Not applicable	(C3)	Parkway Landscaping required along Beach Blvd.	(U3)	Large Scale Specialty Goods and Foods Only (see section 2.2.1)
required	These are required elements of all new development as indicated	(C4)	Side, and rear yards shall consist of heavy screening (see section 2.6.7)	(U4)	Movie Theaters not permitted
conditional	requires a conditional use permit	(C5)	With shopfront	(U5)	Ground floor Health & Exercise Clubs are conditional
limited	limitations apply as specified in section 2.4.3. Private Frontage Types	(C6)	Or 20% of parcel depth whichever is smaller	(U7)	Only Health & Exercise clubs
plus	Development shall not exceed the height of housing across the street plus the number of stories indicated (see section 2.3.2 Special Building Height Limits)	(C7)	Limited to the expansion of existing uses	(U8)	Only Gas Stations
CS	Permitted in a Corner Store configuration (see section 2.2.2. Special Retail Configurations)	(C8)	For development over 20,000 sf of building area	(U9)	Residential Required as Shown on Map
NC	Permitted in a Neighborhood Center configuration (see section 2.2.2. Special Retail Configurations)	(C9)	For development over 20 dwelling units or lodging rooms		
PP / N-PP	Required for Priority Projects / Encouraged for Non-Priority Projects (see section 2.6.7. Stormwater BMP Types)	(C10)	Courtyard buildings may exceed the indicated length as defined in 2.3.4 Building Length		
(A)	Exceptions apply to anchor retail buildings	(C11)	The number of spaces provided must include at least one space for each student		
(M)	As shown on the Fig 2.1 Districts Map	(C12)	A minimum of 1 guest space / 10 DU requires a conditional use permit		
		Location:			
		(L1)	On Beach Blvd.	(S1)	Exceptions apply for changeable copy & other sign variations, see section 2.9. Signage Regulations
		(L2)	On Edinger Ave.	(S3)	50% shall be allowable during the month of December
		(L3)	On Main St.	(S4)	Must occur as tower format
		(L4)	On Ellis Ave. and Delaware St.	(S5)	For churches, schools, and commercial recreation uses within public parks, maximum area of 32 sqft and maximum height of 6 ft
		(L5)	South of Atlanta Ave.	(S6)	Signs are restricted to corner stores only
		(L6)	Between Ellis Ave. and Adams Ave.	(S7)	Signs are permitted at entrances to multi-family buildings
		(L7)	North of Ellis Ave.		

2.2 Building Use Regulations	Standards
2.2.1 Use Types	
1) Retail	
a) Specialty Goods Anchors	---
b) Community Oriented Anchors	permitted (L1)
c) Entertainment Anchors	---
d) Eating & Drinking Establishments	NC (U2)
e) Specialty Goods & Foods	NC (U3)
f) Entertainment & Recreation	permitted (U4)
g) Convenience Uses	NC, CS
h) Business Services	NC, CS
i) Personal Services	NC, CS
j) Personal Enrichment	NC, CS
k) Service Commercial & Repair	permitted
l) Large Scale Commercial Goods	permitted
m) Vehicle Sales	permitted
2) Civic & Cultural	permitted
3) Office	
a) Professional Services	permitted
b) Medical Services	permitted
4) Lodging	permitted
5) Live Work	permitted
6) Residential	
a) Multi-Family w/ Common Entry	permitted
b) Multi Family w/ Individual Entries	permitted
c) Attached Single Family	permitted
d) Detached Single Family	---
2.2.2 Special Retail Configurations	
a) Neighborhood Center	permitted
b) Corner Store	permitted
c) Drive-through	permitted

2.3 Building Scale Regulations	Standards
2.3.1 Building Height	
minimum height	1 story
maximum height	4 stories
2.3.2 Special Building Height Limits	
Edinger/Beach/Main	n/a
Across the Street From Housing	plus 2 story max
Adjacent to Housing	required
2.3.3 Building Length	
maximum	300 ft
2.3.4 Special Building Length Limits	
Limited Corner Building - maximum	120 ft (C10)
Limited Mid-Block Building - maximum	80 ft (C10)
2.3.5 Building Massing	
Proportions - Edinger/Beach/Main	3:2 to 5:2
Proportions - All other streets	2:3 to 5:2

2.2.3 Affordable Housing Requirements required (U1)

2.4 Frontage & Building Placement Regulations	Standards
2.4.1 Building Orientation to Streets & Public Open Space	
required or not required	required
2.4.2 Private Frontage Types	
3) Private Frontage Specification	
a) Shop-Front	permitted
Shopfront Length - maximum	N/A
Tenant Length - maximum	N/A
Articulation Length - maximum	50 ft
b) Corner Entry	permitted
c) Arcade	permitted
d) Grand Portico	permitted
e) Forecourt	permitted
f) Common Lobby Entry	permitted
g) Stoop	permitted
h) Porch	---
i) Front Door	---
j) Edge Treatment: Fenced	permitted
k) Edge Treatment: Terraced	permitted
l) Edge Treatment: Flush	permitted
2.4.3 Front Yard Setback	
minimum / maximum - Edinger	n/a
minimum / maximum - Beach	12 ft / 25 ft
minimum / maximum - Main	n/a
minimum / maximum - all other streets	5 ft / 15 ft
2.4.4 Side Yard Setback	
min w/ living space windows	10 ft
min w/out living space windows	5 ft
2.4.5 Rear Yard Setback	
minimum	15 ft
2.4.6 Alley Setback	
minimum	5 ft
2.4.7 Frontage Coverage	
minimum - Edinger/Beach/Main	50%
minimum - all other streets	50% (A)
2.4.8 Space Between Buildings	
minimum	20 ft
2.5 Street Regulations	
Standards	

2.5 Street Regulations	Standards
2.5.1 Improvements to Existing Streets	
4) Palm Tree Boulevard	
a) Typical Configuration	required (L1)
7) Neighborhood Streets	required except (L1)
2.5.2 Provision of New Streets	
(see section 2.5.2)	
2.5.3 Block Size	
Maximum Block Size	3000 ft
Maximum Edinger Block Face	n/a
2.5.4 Street Connectivity	
required or not required	required
2.5.5 Required East-West Street Connection	
required or not required	n/a
2.5.6 Residential Transition-Boundary Street	
required or not required	n/a
2.5.7 Street Types (New Street Design)	
1) City Street	---
2) Public Open Space w/ City Street	permitted
3) Neighborhood Street	permitted
4) Public Open Space w/ Neighborhood Street	permitted
5) Alley	permitted

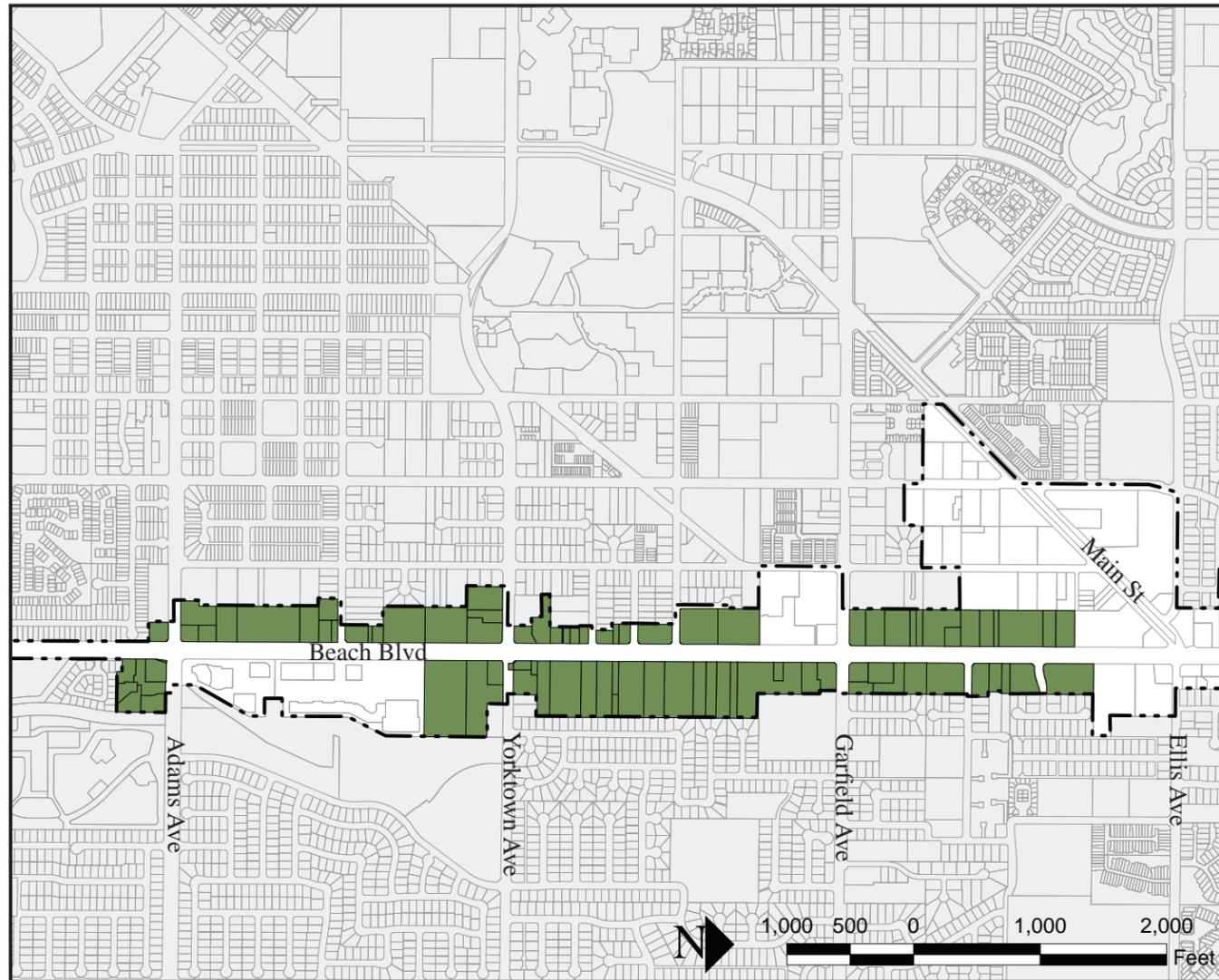
2.4.9. Build to Corner required

Development Standards Charts

2.6 Open Space Regulations	Standards
2.6.1 Provision of Public Open Space	
Retail	50 s.f. / 1000 s.f. (C8)
Civic & Cultural	n/a
Office	100 s.f. / 1000 s.f. (C8)
Lodging	30 100 s.f. / room (C9)
Live Work	50 150 s.f. / unit (C9)
Residential	50 400 s.f. / unit (C9)
2.6.2 Special Public Open Space Requirement	
	n/a
2.6.3 Provision of Private Open Space	
Retail	n/a
Civic & Cultural	n/a
Office	n/a
Lodging	n/a
Live Work	n/a
Residential	
Attached & Multi-Family	60 s.f. / unit
Detached Single-Family Homes	n/a
2.6.4 Public Open Space Types	
1) Park	permitted
2) Linear Green	permitted
2) Square	permitted
4) Plaza	permitted
5) Mid-Block Green	permitted
6) Courtyard Plaza	permitted
7) Passage/Paseo	permitted
8) Pocket Park/Playground	permitted
2.6.5 Private Open Space Types	
1) Courtyard	permitted
2) Private Yard	permitted
3) Porch	---
4) Rooftop Deck or Garden	permitted
5) Balcony	permitted
2.6.6 Stormwater Management Best Management Practices	
required or not required	required
2.6.7 Stormwater BMP Types	
Source Control BMPs	required
Site Design BMPs	required
Treatment Control BMPs	PP / N-PP
2.6.8 Open Space Landscaping	
required or not required	required
2.6.9 Setback Area Landscaping	
1) Perimeter Block Setback Areas	
a) Sidewalk Extension	---
b) Parkway Landscaping	---
c) Boulevard Landscaping	required (L1)
d) Neighborhood Street Landscaping	permitted
2) Interior Block Setback Areas	
a) Groundcover	required
b & c) Moderate or Heavy Screening	required

2.7 Parking Regulations	Standards
2.7.1 Provision of Parking	
Retail Anchors	
spaces per 1000 s.f.	4 min / no max
location	within 500 feet
Eating & Drinking Establishments	
spaces per 1000 s.f.	12 min / no max
location	within 500 feet
Specialty Foods / Goods	
spaces per 1000 s.f.	4 min / no max
	within 500 feet
Entertainment & Recreation	
spaces per 1000 s.f.	6 min / 10 max
location	on site
Convenience Uses	
spaces per 1000 s.f.	4 min / no max
location	within 500 feet
Personal & Business Services	
spaces per 1000 s.f.	3 min / 5 max
location	within 500 feet
Personal Enrichment Services	
spaces per 1000 s.f.	5 max (C11)
location	within 500 feet
Commercial Goods & Vehicle Sales	
spaces per 1000 s.f.	3 min / 5 max
location	within 500 feet
Civic & Cultural	
spaces per 1000 s.f.	4 min / no max
location	within 500 feet
Office - Professional	
spaces per 1000 s.f.	3.5 min / 4 max
location	within 500 feet
Office - Medical	
spaces per 1000 s.f.	4.5 min / 5.5 max
location	within 500 feet
Lodging	
spaces per guest room	1 min / no max
location	on site
Live-Work	
spaces per unit	1 min / 1 max
spaces per employee	0 min / 1 max
location	within 200 feet
Residential Uses	
spaces per studio unit	1 min / 1 max
spaces per 1br unit	1 min / 1.5 max
spaces per 2br+unit	1.5 min / 2 max
guest spaces per 10 units	2 min / 3 max (C12)
location	on site
Neighborhood Center Exceptions	
spaces per 1000 s.f.	0 min / 3 max
Corner Store Exceptions	
spaces per 1000 s.f.	0 min
location	on street only
2.7.2 Parking Types	
1) Surface Lot - Front	---
2) Surface Lot - Side	permitted
3) Surface Lot - Rear	permitted
4) Surface Lot - Exposed	---
5) Structure - Exposed	---
6) Structure - Wrapped: Ground Level	---
7) Structure - Wrapped: All Levels	permitted
8) Partially Submerged Podium	permitted
9) Structure - Underground	permitted

2.8 Architecture Regulations	Standards
2.8.1 Facade Height Articulation Regulations	
Top	required
Base	required
2.9 Signage Regulations	Standards
2.9.1 Freestanding Sign Setbacks	(see section 2.9.1)
2.9.2 Total Sign Area	(see section 2.9.2)
2.9.3 Sign Type Regulations	
Grand Projecting Sign	---
maximum height	n/a
Marquee Sign	---
maximum number of faces	n/a
maximum area	n/a
Wall Sign	permitted
maximum size	200 s.f. (S1 & S5)
Monument Sign & Ground Sign	permitted
maximum number of faces	2
maximum height	6 ft
maximum area	48 s.f. (S1)
secondary sign	---
bonus sign	24 s.f.
Pole Mounted Sign & Tower Sign	permitted (L1, L2)
maximum number of faces	2
maximum height	15 ft
secondary sign	---
bonus sign	5 ft
maximum area	70 s.f. (S4)
secondary sign	---
bonus sign	30 s.f.
Projecting Sign	permitted
maximum area	8 s.f.
Awning Face Sign	permitted
maximum area	20 % of awning face
Awning Valance Sign	permitted
lines of lettering	1
letter height (whichever is less)	2/3 valance height : 8 in
Awning Side Sign	permitted
lines of lettering	1
letter height	8 in
Canopy Fascia Sign	permitted
maximum height (whichever is less)	2/3 fascia height : 12 in
maximum width	2/3 canopy width
lines of lettering	1
Above Canopy Sign	permitted
maximum height (whichever is less)	1 1/2 fascia height : 24 in
maximum width	2/3 canopy width
lines of lettering	1
Café Umbrella Sign	permitted
maximum area	10% of umbrella surface
Recessed Entry Sign	permitted
maximum area	20 s.f.
Window Sign	permitted
maximum area	20% of window (S3)



Development Standards Charts Legend:

Symbol:	
permitted	These elements are allowed, by right, unless otherwise specified in Section 2.2.1 Use Types
---	Not permitted
n/a	Not applicable
required	These are required elements of all new development as indicated
conditional	requires a conditional use permit
limited	limitations apply as specified in section 2.4.3. Private Frontage Types
plus	Development shall not exceed the height of housing across the street plus the number of stories indicated (see section 2.3.2 Special Building Height Limits)
CS	Permitted in a Corner Store configuration (see section 2.2.2. Special Retail Configurations)
NC	Permitted in a Neighborhood Center configuration (see section 2.2.2. Special Retail Configurations)
PP / N-PP	Required for Priority Projects / Encouraged for Non-Priority Projects (see section 2.6.7. Stormwater BMP Types)
(A)	Exceptions apply to anchor retail buildings
(M)	As shown on the Fig 2.1 Districts Map

Special Conditions:	
(C1)	Ground Floor
(C2)	Upper floors only
(C3)	Parkway Landscaping required along Beach Blvd.
(C4)	Side, and rear yards shall consist of heavy screening (see section 2.6.7)
(C5)	With shopfront
(C6)	Or 20% of parcel depth whichever is smaller
(C7)	Limited to the expansion of existing uses
(C8)	For development over 20,000 sf of building area
(C9)	For development over 20 dwelling units or lodging rooms
(C10)	Courtyard buildings may exceed the indicated length as defined in 2.3.4 Building Length
(C11)	The number of spaces provided must include at least one space for each student
(C12)	A minimum of 1 guest space / 10 DU requires a conditional use permit
Location:	
(L1)	On Beach Blvd.
(L2)	On Edinger Ave.
(L3)	On Main St.
(L4)	On Ellis Ave. and Delaware St.
(L5)	South of Atlanta Ave.
(L6)	Between Ellis Ave. and Adams Ave.
(L7)	North of Ellis Ave.

Use:	
(U1)	For residential development with 3 or more units
(U2)	Live Entertainment and Dancing not permitted
(U3)	Large Scale Specialty Goods and Foods Only (see section 2.2.1)
(U4)	Movie Theaters not permitted
(U5)	Ground floor Health & Exercise Clubs are conditional
(U7)	Only Health & Exercise clubs
(U8)	Only Gas Stations
(U9)	Residential Required as Shown on Map
Signs:	
(S1)	Exceptions apply for changeable copy & other sign variations, see section 2.9. Signage Regulations
(S3)	50% shall be allowable during the month of December
(S4)	Must occur as tower format
(S5)	For churches, schools, and commercial recreation uses within public parks, maximum area of 32 sqft and maximum height of 6 ft
(S6)	Signs are restricted to corner stores only
(S7)	Signs are permitted at entrances to multi-family buildings

2.2 Building Use Regulations	Standards
2.2.1 Use Types	
1) Retail	
a) Specialty Goods Anchors	---
b) Community Oriented Anchors	---
c) Entertainment Anchors	---
d) Eating & Drinking Establishments	NC (L1 & U2)
e) Specialty Goods & Foods	NC (L1 & U3)
f) Entertainment & Recreation	---
g) Convenience Uses	NC (L1)
h) Business Services	NC (L1)
i) Personal Services	NC (L1)
j) Personal Enrichment	NC (L1)
k) Service Commercial & Repair	---
l) Large Scale Commercial Goods	NC
m) Vehicle Sales	NC (C7)
2) Civic & Cultural	permitted
3) Office	
a) Professional Services	permitted
b) Medical Services	permitted
4) Lodging	permitted
5) Live Work	permitted
6) Residential	
a) Multi-Family w/ Common Entry	permitted
b) Multi Family w/ Individual Entries	permitted
c) Attached Single Family	permitted
d) Detached Single Family	---
2.2.2 Special Retail Configurations	
a) Neighborhood Center	conditional (L1 & C4)
b) Corner Store	permitted
c) Drive-through	---
2.2.3 Affordable Housing Requirements	
required or not required	required (U1)
2.3 Building Scale Regulations	Standards
2.3.1 Building Height	
minimum height	n/a
maximum height	4 stories
2.3.2 Special Building Height Limits	
Edinger/Beach/Main	2 story min
Across the Street From Housing	plus 2 story max
Adjacent to Housing	required
2.3.3 Building Length	
maximum	180 ft (C10)
2.3.4 Special Building Length Limits	
Limited Corner Building - maximum	120 ft (C10)
Limited Mid-Block Building - maximum	80 ft (C10)
2.3.5 Building Massing	
Proportions - Edinger/Beach/Main	3:2 to 5:2
Proportions - All other streets	2:3 to 5:2

2.4 Frontage & Building Placement Regulations	Standards
2.4.1 Building Orientation to Streets & Public Open Space	
required or not required	required except (L1)
2.4.2 Private Frontage Types	
3) Private Frontage Specification	
a) Shop-Front	permitted
Shopfront Length - maximum	N/A
Tenant Length - maximum	N/A
Articulation Length - maximum	50 ft
b) Corner Entry	permitted
c) Arcade	---
d) Grand Portico	permitted
e) Forecourt	permitted
f) Common Lobby Entry	limited
g) Stoop	permitted
h) Porch	permitted
i) Front Door	permitted
j) Edge Treatment: Fenced	permitted
k) Edge Treatment: Terraced	permitted
l) Edge Treatment: Flush	permitted
2.4.3 Front Yard Setback	
minimum / maximum - Edinger	n/a
minimum / maximum - Beach	30 ft (C6) / no max
minimum / maximum - Main	n/a
minimum / maximum - all other streets	5 ft / 15 ft
2.4.4 Side Yard Setback	
min w/ living space windows	10 ft
min w/out living space windows	5 ft
2.4.5 Rear Yard Setback	
minimum	25 ft
2.4.6 Alley Setback	
minimum	5 ft
2.4.7 Frontage Coverage	
minimum - Edinger/Beach/Main	no min
minimum - all other streets	70%
2.4.8 Space Between Buildings	
minimum	20 ft
2.4.9 Build-to-Corner	
required or not required	not required
2.5 Street Regulations	
Standards	
2.5.1 Improvements to Existing Streets	
5) Parkway	
a) Typical Configuration	required (L1)
7) Neighborhood Streets	
required or not required	required except (L1)
2.5.2 Provision of New Streets	
required or not required	(see section 2.5.2)
2.5.3 Block Size	
Maximum Block Size	3000 ft
Maximum Edinger Block Face	n/a
2.5.4 Street Connectivity	
required or not required	required
2.5.5 Required East-West Street Connection	
required or not required	n/a
2.5.6 Residential Transition-Boundary Street	
required or not required	n/a
2.5.7 Street Types (New Street Design)	
1) City Street	
required or not required	---
2) Public Open Space w/ City Street	
required or not required	permitted
3) Neighborhood Street	
required or not required	permitted
4) Public Open Space w/ Neighborhood Street	
required or not required	permitted
5) Alley	
required or not required	permitted

2.6 Open Space Regulations	Standards
2.6.1 Provision of Public Open Space	
Retail	50 s.f. / 1000 s.f. (C8)
Civic & Cultural	n/a
Office	100 s.f. / 1000 s.f. (C8)
Lodging	100 ³⁰ s.f. / room (C9)
Live Work	150 ⁵⁰ s.f. / unit (C9)
Residential	100 ⁵⁰ s.f. / unit (C9)
2.6.2 Special Public Open Space Requirement	n/a
2.6.3 Provision of Private Open Space	
Retail	n/a
Civic & Cultural	n/a
Office	n/a
Lodging	n/a
Live Work	n/a
Residential	
Attached & Multi-Family	60 s.f. / unit
Detached Single-Family Homes	n/a
2.6.4 Public Open Space Types	
1) Park	permitted
2) Linear Green	permitted
2) Square	permitted
4) Plaza	permitted
5) Mid-Block Green	permitted
6) Courtyard Plaza	permitted
7) Passage/Paseo	permitted
8) Pocket Park/Playground	permitted
2.6.5 Private Open Space Types	
1) Courtyard	permitted
2) Private Yard	permitted
3) Porch	permitted
4) Rooftop Deck or Garden	permitted
5) Balcony	permitted
2.6.6 Stormwater Management Best Management Practices	
required or not required	required
2.6.7 Stormwater BMP Types	
Source Control BMPs	required
Site Design BMPs	required
Treatment Control BMPs	PP / N-PP
2.6.8 Open Space Landscaping	
required or not required	required
2.6.9 Setback Area Landscaping	
1) Perimeter Block Setback Areas	
a) Sidewalk Extension	---
b) Parkway Landscaping	required (L1)
c) Boulevard Landscaping	---
d) Neighborhood Street Landscaping	permitted
2) Interior Block Setback Areas	
a) Groundcover	required
b & c) Moderate or Heavy Screening	required

2.7 Parking Regulations	Standards
2.7.1 Provision of Parking	
Retail Anchors	
spaces per 1000 s.f.	4 min / no max
location	within 500 feet
Eating & Drinking Establishments	
spaces per 1000 s.f.	12 min / no max
location	within 500 feet
Specialty Foods / Goods	
spaces per 1000 s.f.	4 min / no max
	within 500 feet
Entertainment & Recreation	
spaces per 1000 s.f.	6 min / 10 max
location	on site
Convenience Uses	
spaces per 1000 s.f.	4 min / no max
location	within 500 feet
Personal & Business Services	
spaces per 1000 s.f.	3 min / 5 max
location	within 500 feet
Personal Enrichment Services	
spaces per 1000 s.f.	5 max (C11)
location	within 500 feet
Commercial Goods & Vehicle Sales	
spaces per 1000 s.f.	3 min / 5 max
location	within 500 feet
Civic & Cultural	
spaces per 1000 s.f.	4 min / no max
location	within 500 feet
Office - Professional	
spaces per 1000 s.f.	3.5 min / 4 max
location	within 500 feet
Office - Medical	
spaces per 1000 s.f.	4.5 min / 5.5 max
location	within 500 feet
Lodging	
spaces per guest room	1 min / no max
location	on site
Live-Work	
spaces per unit	1 min / 1 max
spaces per employee	0 min / 1 max
location	within 200 feet
Residential Uses	
spaces per studio unit	1 min / 1 max
spaces per 1br unit	1 min / 1.5 max
spaces per 2br+unit	1.5 min / 2 max
guest spaces per 10 units	2 min / 3 max (C12)
location	on site
Neighborhood Center Exceptions	
spaces per 1000 s.f.	0 min / 3 max
Corner Store Exceptions	
spaces per 1000 s.f.	0 min
location	on street only
2.7.2 Parking Types	
1) Surface Lot - Front	---
2) Surface Lot - Side	permitted
3) Surface Lot - Rear	permitted
4) Surface Lot - Exposed	---
5) Structure - Exposed	---
6) Structure - Wrapped: Ground Level	---
7) Structure - Wrapped: All Levels	permitted
8) Partially Submerged Podium	permitted
9) Structure - Underground	permitted

2.8 Architecture Regulations	Standards
2.8.1 Facade Height Articulation Regulations	
Top	required
Base	required
2.9 Signage Regulations	Standards
2.9.1 Freestanding Sign Setbacks	(see section 2.9.1)
2.9.2 Total Sign Area	(see section 2.9.2)
2.9.3 Sign Type Regulations	
Grand Projecting Sign	---
maximum height	n/a
Marquee Sign	---
maximum number of faces	n/a
maximum area	n/a
Wall Sign	permitted
maximum size	200 s.f. (S1 & S5)
Monument Sign & Ground Sign	permitted
maximum number of faces	2
maximum height	6 ft
maximum area	32 s.f. (S1)
secondary sign	---
bonus sign	---
Pole Mounted Sign & Tower Sign	permitted (L1, L2)
maximum number of faces	2
maximum height	10 ft
secondary sign	---
bonus sign	5 ft
maximum area	50 s.f. (S4)
secondary sign	---
bonus sign	25 s.f.
Projecting Sign	permitted
maximum area	8 s.f.
Awning Face Sign	permitted
maximum area	20 % of awning face
Awning Valance Sign	permitted
lines of lettering	1
letter height (whichever is less)	2/3 valance height : 8 in
Awning Side Sign	permitted
lines of lettering	1
letter height	8 in
Canopy Fascia Sign	permitted
maximum height (whichever is less)	2/3 fascia height : 12 in
maximum width	2/3 canopy width
lines of lettering	1
Above Canopy Sign	permitted
maximum height (whichever is less)	1 1/2 fascia height : 24 in
maximum width	2/3 canopy width
lines of lettering	1
Café Umbrella Sign	permitted
maximum area	10% of umbrella surface
Recessed Entry Sign	permitted
maximum area	20 s.f.
Window Sign	permitted
maximum area	20% of window (S3)



Development Standards Charts Legend:

Symbol:	
permitted	These elements are allowed, by right, unless otherwise specified in Section 2.2.1 Use Types
---	Not permitted
n/a	Not applicable
required	These are required elements of all new development as indicated
conditional	requires a conditional use permit
limited	limitations apply as specified in section 2.4.3. Private Frontage Types
plus	Development shall not exceed the height of housing across the street plus the number of stories indicated (see section 2.3.2 Special Building Height Limits)
CS	Permitted in a Corner Store configuration (see section 2.2.2. Special Retail Configurations)
NC	Permitted in a Neighborhood Center configuration (see section 2.2.2. Special Retail Configurations)
PP / N-PP	Required for Priority Projects / Encouraged for Non-Priority Projects (see section 2.6.7. Stormwater BMP Types)
(A)	Exceptions apply to anchor retail buildings
(M)	As shown on the Fig 2.1 Districts Map

Special Conditions:	
(C1)	Ground Floor
(C2)	Upper floors only
(C3)	Parkway Landscaping required along Beach Blvd.
(C4)	Side, and rear yards shall consist of heavy screening (see section 2.6.7)
(C5)	With shopfront
(C6)	Or 20% of parcel depth whichever is smaller
(C7)	Limited to the expansion of existing uses
(C8)	For development over 20,000 sf of building area
(C9)	For development over 20 dwelling units or lodging rooms
(C10)	Courtyard buildings may exceed the indicated length as defined in 2.3.4 Building Length
(C11)	The number of spaces provided must include at least one space for each student
(C12)	A minimum of 1 guest space / 10 DU requires a conditional use permit
Location:	
(L1)	On Beach Blvd.
(L2)	On Edinger Ave.
(L3)	On Main St.
(L4)	On Ellis Ave. and Delaware St.
(L5)	South of Atlanta Ave.
(L6)	Between Ellis Ave. and Adams Ave.
(L7)	North of Ellis Ave.

Use:	
(U1)	For residential development with 3 or more units
(U2)	Live Entertainment and Dancing not permitted
(U3)	Large Scale Specialty Goods and Foods Only (see section 2.2.1)
(U4)	Movie Theaters not permitted
(U5)	Ground floor Health & Exercise Clubs are conditional
(U7)	Only Health & Exercise clubs
(U8)	Only Gas Stations
(U9)	Residential Required as Shown on Map
Signs:	
(S1)	Exceptions apply for changeable copy & other sign variations, see section 2.9. Signage Regulations
(S3)	50% shall be allowable during the month of December
(S4)	Must occur as tower format
(S5)	For churches, schools, and commercial recreation uses within public parks, maximum area of 32 sqft and maximum height of 6 ft
(S6)	Signs are restricted to corner stores only
(S7)	Signs are permitted at entrances to multi-family buildings

2.2 Building Use Regulations	Standards
2.2.1 Use Types	
1) Retail	
a) Specialty Goods Anchors	---
b) Community Oriented Anchors	---
c) Entertainment Anchors	---
d) Eating & Drinking Establishments	---
e) Specialty Goods & Foods	---
f) Entertainment & Recreation	---
g) Convenience Uses	CS
h) Business Services	CS
i) Personal Services	CS
j) Personal Enrichment	---
k) Service Commercial & Repair	---
l) Large Scale Commercial Goods	---
m) Vehicle Sales	---
2) Civic & Cultural	---
3) Office	
a) Professional Services	---
b) Medical Services	---
4) Lodging	
5) Live Work	
6) Residential	
a) Multi-Family w/ Common Entry	permitted
b) Multi Family w/ Individual Entries	permitted
c) Attached Single Family	permitted
d) Detached Single Family	permitted
2.2.2 Special Retail Configurations	
a) Neighborhood Center	---
b) Corner Store	permitted
c) Drive-through	---
2.2.3 Affordable Housing Requirements	
required or not required	required (U1)
2.3 Building Scale Regulations	Standards
2.3.1 Building Height	
minimum height	n/a
maximum height	4 stories
2.3.2 Special Building Height Limits	
Edinger/Beach/Main	2 stories min
Across the Street From Housing	plus 2 story max
Adjacent to Housing	required
2.3.3 Building Length	
maximum	180 ft (C10)
2.3.4 Special Building Length Limits	
Limited Corner Building - maximum	120 ft (C10)
Limited Mid-Block Building - maximum	80 ft (C10)
2.3.5 Building Massing	
Proportions - Edinger/Beach/Main	3:2 to 5:2
Proportions - All other streets	2:3 to 5:2

2.4 Frontage & Building Placement Regulations	Standards
2.4.1 Building Orientation to Streets & Public Open Space	
required or not required	required except (L1)
2.4.2 Private Frontage Types	
3) Private Frontage Specification	
a) Shop-Front	permitted -U9 only
Shopfront Length - maximum	N/A
Tenant Length - maximum	N/A
Articulation Length - maximum	50 ft
b) Corner Entry	---
c) Arcade	---
d) Grand Portico	---
e) Forecourt	permitted
f) Common Lobby Entry	limited
g) Stoop	permitted
h) Porch	permitted
i) Front Door	permitted
j) Edge Treatment: Fenced	permitted
k) Edge Treatment: Terraced	permitted
l) Edge Treatment: Flush	permitted
2.4.3 Front Yard Setback	
minimum / maximum - Edinger	n/a
minimum / maximum - Beach	30 ft (C6) / no max
minimum / maximum - Main	n/a
minimum / maximum - all other streets	10 ft / 25 ft
2.4.4 Side Yard Setback	
min w/ living space windows	10 ft
min w/out living space windows	5 ft
2.4.5 Rear Yard Setback	
minimum	20 ft
2.4.6 Alley Setback	
minimum	5 ft
2.4.7 Frontage Coverage	
minimum - Edinger/Beach/Main	no min
minimum - all other streets	70%
2.4.8 Space Between Buildings	
minimum	20 ft
2.4.9 Build-to-Corner	
required or not required	not required
2.5 Street Regulations	
Standards	
2.5.1 Improvements to Existing Streets	
5) Parkway	
a) Typical Configuration	required (L1)
7) Neighborhood Streets	
required except (L1)	
2.5.2 Provision of New Streets	
(see section 2.5.2)	
2.5.3 Block Size	
Maximum Block Size	3000 ft
Maximum Edinger Block Face	n/a
2.5.4 Street Connectivity	
required or not required	required
2.5.5 Required East-West Street Connection	
required or not required	n/a
2.5.6 Residential Transition-Boundary Street	
required or not required	n/a
2.5.7 Street Types (New Street Design)	
1) City Street	

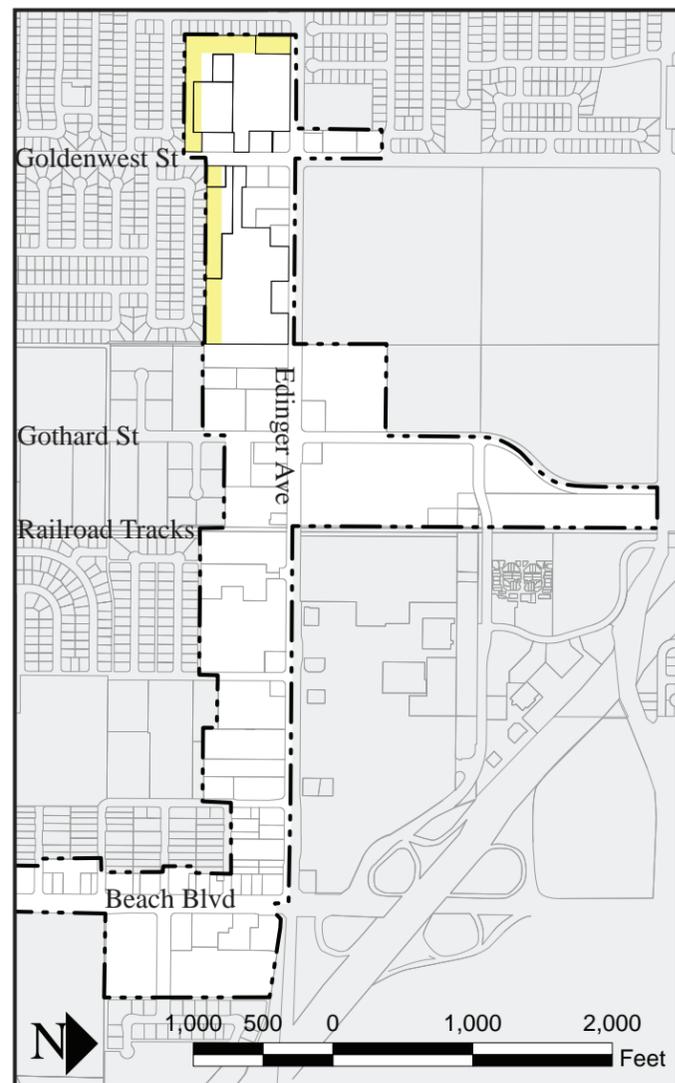
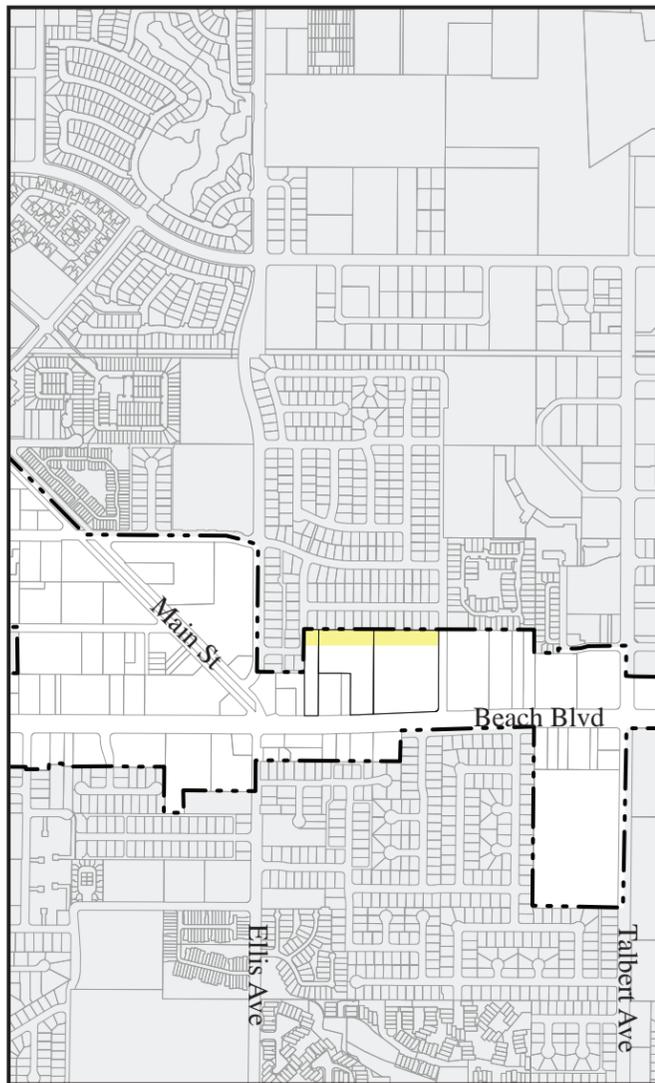
2) Public Open Space w/ City Street	
permitted	
3) Neighborhood Street	
permitted	
4) Public Open Space w/ Neighborhood Street	
permitted	
5) Alley	
permitted	

Development Standards Charts

2.6 Open Space Regulations	Standards
2.6.1 Provision of Public Open Space	
Retail	50 s.f. / 1000 s.f. (C8)
Civic & Cultural	n/a
Office	100 s.f. / 1000 s.f. (C8)
Lodging	100 ³⁰ s.f. / room (C9)
Live Work	150 ⁵⁰ s.f. / unit (C9)
Residential	100 ⁵⁰ s.f. / unit (C9)
2.6.2 Special Public Open Space Requirement	n/a
2.6.3 Provision of Private Open Space	
Retail	n/a
Civic & Cultural	n/a
Office	n/a
Lodging	n/a
Live Work	n/a
Residential	
Attached & Multi-Family	60 s.f. / unit
Detached Single-Family Homes	200 s.f. / unit
2.6.4 Public Open Space Types	
1) Park	permitted
2) Linear Green	permitted
2) Square	permitted
4) Plaza	---
5) Mid-Block Green	permitted
6) Courtyard Plaza	permitted
7) Passage/Pasco	permitted
8) Pocket Park/Playground	permitted
2.6.5 Private Open Space Types	
1) Courtyard	permitted
2) Private Yard	permitted
3) Porch	permitted
4) Rooftop Deck or Garden	permitted
5) Balcony	permitted
2.6.6 Stormwater Management Best Management Practices	
required or not required	required
2.6.7 Stormwater BMP Types	
Source Control BMPs	required
Site Design BMPs	required
Treatment Control BMPs	PP / N-PP
2.6.8 Open Space Landscaping	
required or not required	required
2.6.9 Setback Area Landscaping	
1) Perimeter Block Setback Areas	
a) Sidewalk Extension	---
b) Parkway Landscaping	required (L1)
c) Boulevard Landscaping	---
d) Neighborhood Street Landscaping	permitted
2) Interior Block Setback Areas	
a) Groundcover	required
b & c) Moderate or Heavy Screening	permitted

2.7 Parking Regulations	Standards
2.7.1 Provision of Parking	
Retail Anchors	
spaces per 1000 s.f.	n/a
location	n/a
Eating & Drinking Establishments	
spaces per 1000 s.f.	n/a
location	n/a
Specialty Foods / Goods	
spaces per 1000 s.f.	n/a
Entertainment & Recreation	
spaces per 1000 s.f.	n/a
location	n/a
Convenience Uses	
spaces per 1000 s.f.	4 max
location	on street only
Personal & Business Services	
spaces per 1000 s.f.	5 max
location	on street only
Personal Enrichment Services	
spaces per 1000 s.f.	n/a
location	n/a
Commercial Goods & Vehicle Sales	
spaces per 1000 s.f.	n/a
location	n/a
Civic & Cultural	
spaces per 1000 s.f.	n/a
location	n/a
Office - Professional	
spaces per 1000 s.f.	n/a
location	n/a
Office - Medical	
spaces per 1000 s.f.	n/a
location	n/a
Lodging	
spaces per guest room	n/a
location	n/a
Live-Work	
spaces per unit	n/a
spaces per employee	n/a
location	n/a
Residential Uses	
spaces per studio unit	1 min / 1 max
spaces per 1br unit	1 min / 1.5 max
spaces per 2br+unit	1.5 min / 2 max
guest spaces per 10 units	2 min / 3 max (C12)
location	on site
Neighborhood Center Exceptions	
spaces per 1000 s.f.	0 min / 3 max
Corner Store Exceptions	
spaces per 1000 s.f.	0 min
location	on street only
2.7.2 Parking Types	
1) Surface Lot - Front	---
2) Surface Lot - Side	---
3) Surface Lot - Rear	permitted
4) Surface Lot - Exposed	---
5) Structure - Exposed	res garage/driveway
6) Structure - Wrapped: Ground Level	---
7) Structure - Wrapped: All Levels	permitted
8) Partially Submerged Podium	permitted
9) Structure - Underground	permitted

2.8 Architecture Regulations	Standards
2.8.1 Facade Height Articulation Regulations	
Top	required
Base	required
2.9 Signage Regulations	Standards
2.9.1 Freestanding Sign Setbacks	(see section 2.9.1)
2.9.2 Total Sign Area	(see section 2.9.2)
2.9.3 Sign Type Regulations	
Grand Projecting Sign	---
maximum height	n/a
Marquee Sign	---
maximum number of faces	n/a
maximum area	n/a
Wall Sign	permitted
maximum size	200 s.f. (S1 & S5)
Monument Sign & Ground Sign	permitted
maximum number of faces	2
maximum height	4 ft
maximum area	32 s.f. (S1)
secondary sign	---
bonus sign	---
Pole Mounted Sign & Tower Sign	---
maximum number of faces	n/a
maximum height	n/a
secondary sign	n/a
bonus sign	n/a
maximum area	n/a
secondary sign	n/a
bonus sign	n/a
Projecting Sign	---
maximum area	n/a
Awning Face Sign	permitted (S6)
maximum area	20 % of awning face
Awning Valance Sign	permitted (S6 & S7)
lines of lettering	1
letter height (whichever is less)	2/3 valance height : 8 in
Awning Side Sign	permitted (S6 & S7)
lines of lettering	1
letter height	8 in
Canopy Fascia Sign	permitted (S6 & S7)
maximum height (whichever is less)	2/3 fascia height : 12 in
maximum width	2/3 canopy width
lines of lettering	1
Above Canopy Sign	permitted (S6 & S7)
maximum height (whichever is less)	1 1/2 fascia height : 24 in
maximum width	2/3 canopy width
lines of lettering	1
Café Umbrella Sign	---
maximum area	n/a
Recessed Entry Sign	permitted
maximum area	20 s.f.
Window Sign	permitted
maximum area	20% of window (S3)



Development Standards Charts Legend:

Symbol:	
permitted	These elements are allowed, by right, unless otherwise specified in Section 2.2.1 Use Types
---	Not permitted
n/a	Not applicable
required	These are required elements of all new development as indicated
conditional	requires a conditional use permit
limited	limitations apply as specified in section 2.4.3. Private Frontage Types
plus	Development shall not exceed the height of housing across the street plus the number of stories indicated (see section 2.3.2 Special Building Height Limits)
CS	Permitted in a Corner Store configuration (see section 2.2.2. Special Retail Configurations)
NC	Permitted in a Neighborhood Center configuration (see section 2.2.2. Special Retail Configurations)
PP / N-PP	Required for Priority Projects / Encouraged for Non-Priority Projects (see section 2.6.7. Stormwater BMP Types)
(A)	Exceptions apply to anchor retail buildings
(M)	As shown on the Fig 2.1 Districts Map

Special Conditions:	
(C1)	Ground Floor
(C2)	Upper floors only
(C3)	Parkway Landscaping required along Beach Blvd.
(C4)	Side, and rear yards shall consist of heavy screening (see section 2.6.7)
(C5)	With shopfront
(C6)	Or 20% of parcel depth whichever is smaller
(C7)	Limited to the expansion of existing uses
(C8)	For development over 20,000 sf of building area
(C9)	For development over 20 dwelling units or lodging rooms
(C10)	Courtyard buildings may exceed the indicated length as defined in 2.3.4 Building Length
(C11)	The number of spaces provided must include at least one space for each student
(C12)	A minimum of 1 guest space / 10 DU requires a conditional use permit
Location:	
(L1)	On Beach Blvd.
(L2)	On Edinger Ave.
(L3)	On Main St.
(L4)	On Ellis Ave. and Delaware St.
(L5)	South of Atlanta Ave.
(L6)	Between Ellis Ave. and Adams Ave.
(L7)	North of Ellis Ave.

Use:	
(U1)	For residential development with 3 or more units
(U2)	Live Entertainment and Dancing not permitted
(U3)	Large Scale Specialty Goods and Foods Only (see section 2.2.1)
(U4)	Movie Theaters not permitted
(U5)	Ground floor Health & Exercise Clubs are conditional
(U7)	Only Health & Exercise clubs
(U8)	Only Gas Stations
(U9)	Residential Required as Shown on Map
Signs:	
(S1)	Exceptions apply for changeable copy & other sign variations, see section 2.9. Signage Regulations
(S3)	50% shall be allowable during the month of December
(S4)	Must occur as tower format
(S5)	For churches, schools, and commercial recreation uses within public parks, maximum area of 32 sqft and maximum height of 6 ft
(S6)	Signs are restricted to corner stores only
(S7)	Signs are permitted at entrances to multi-family buildings

2.2 Building Use Regulations	Standards
2.2.1 Use Types	
1) Retail	
a) Specialty Goods Anchors	---
b) Community Oriented Anchors	---
c) Entertainment Anchors	---
d) Eating & Drinking Establishments	---
e) Specialty Goods & Foods	---
f) Entertainment & Recreation	---
g) Convenience Uses	CS
h) Business Services	CS
i) Personal Services	CS
j) Personal Enrichment	---
k) Service Commercial & Repair	---
l) Large Scale Commercial Goods	---
m) Vehicle Sales	---
2) Civic & Cultural	
3) Office	
a) Professional Services	---
b) Medical Services	---
4) Lodging	
5) Live Work	
6) Residential	
a) Multi-Family w/ Common Entry	---
b) Multi Family w/ Individual Entries	permitted
c) Attached Single Family	permitted
d) Detached Single Family	permitted
2.2.2 Special Retail Configurations	
a) Neighborhood Center	---
b) Corner Store	permitted
c) Drive-through	---
2.2.3 Affordable Housing Requirements	
required or not required	required (U1)
2.3 Building Scale Regulations	Standards
2.3.1 Building Height	
minimum height	n/a
maximum height	3 stories
2.3.2 Special Building Height Limits	
Edinger/Beach/Main	n/a
Across the Street From Housing	n/a
Adjacent to Housing	n/a
2.3.3 Building Length	
maximum	60 ft
2.3.4 Special Building Length Limits	
Limited Corner Building - maximum	n/a
Limited Mid-Block Building - maximum	n/a
2.3.5 Building Massing	
Proportions - Edinger/Beach/Main	n/a
Proportions - All other streets	n/a

2.4 Frontage & Building Placement Regulations	Standards
2.4.1 Building Orientation to Streets & Public Open Space	
required or not required	required
2.4.2 Private Frontage Types	
3) Private Frontage Specification	
a) Shop-Front	permitted
Shopfront Length - maximum	N/A
Tenant Length - maximum	N/A
Articulation Length - maximum	50 ft
b) Corner Entry	---
c) Arcade	---
d) Grand Portico	---
e) Forecourt	---
f) Common Lobby Entry	---
g) Stoop	permitted
h) Porch	permitted
i) Front Door	permitted
j) Edge Treatment: Fenced	permitted
k) Edge Treatment: Terraced	permitted
l) Edge Treatment: Flush	permitted
2.4.3 Front Yard Setback	
minimum / maximum - Edinger	15 ft / 30 ft
minimum / maximum - Beach	n/a
minimum / maximum - Main	n/a
minimum / maximum - all other streets	5 ft / 20 ft
2.4.4 Side Yard Setback	
min w/ living space windows	15 ft
min w/out living space windows	5 ft
2.4.5 Rear Yard Setback	
minimum	20 ft
2.4.6 Alley Setback	
minimum	5 ft
2.4.7 Frontage Coverage	
minimum - Edinger/Beach/Main	60%
minimum - all other streets	60%
2.4.8 Space Between Buildings	
minimum	30 ft
2.4.9 Build-to-Corner	
required or not required	not required
2.5 Street Regulations	
Standards	
2.5.1 Improvements to Existing Streets	
7) Neighborhood Streets	required
2.5.2 Provision of New Streets	
(see section 2.5.2)	
2.5.3 Block Size	
Maximum Block Size	2000 ft
Maximum Edinger Block Face	n/a
2.5.4 Street Connectivity	
required or not required	required
2.5.5 Required East-West Street Connection	
required or not required	required
2.5.6 Residential Transition-Boundary Street	
required or not required	required
2.5.7 Street Types (New Street Design)	
1) City Street	---
2) Public Open Space w/ City Street	---
3) Neighborhood Street	permitted
4) Public Open Space w/ Neighborhood Street	permitted
5) Alley	permitted

2.6 Open Space Regulations	Standards
2.6.1 Provision of Public Open Space	
Retail	n/a
Civic & Cultural	n/a
Office	n/a
Lodging	n/a
Live Work	n/a
Residential	50 +100 s.f. / unit (C9)
2.6.2 Special Public Open Space Requirement	
	n/a
2.6.3 Provision of Private Open Space	
Retail	n/a
Civic & Cultural	n/a
Office	n/a
Lodging	n/a
Live Work	n/a
Residential	
Attached & Multi-Family	60 s.f. / unit
Detached Single-Family Homes	200 s.f. / unit
2.6.4 Public Open Space Types	
1) Park	permitted
2) Linear Green	permitted
2) Square	permitted
4) Plaza	---
5) Mid-Block Green	permitted
6) Courtyard Plaza	permitted
7) Passage/Paseo	permitted
8) Pocket Park/Playground	permitted
2.6.5 Private Open Space Types	
1) Courtyard	permitted
2) Private Yard	permitted
3) Porch	permitted
4) Rooftop Deck or Garden	permitted
5) Balcony	permitted
2.6.6 Stormwater Management Best Management Practices	
required or not required	required
2.6.7 Stormwater BMP Types	
Source Control BMPs	required
Site Design BMPs	required
Treatment Control BMPs	PP / N-PP
2.6.8 Open Space Landscaping	
required or not required	required
2.6.9 Setback Area Landscaping	
1) Perimeter Block Setback Areas	
a) Sidewalk Extension	---
b) Parkway Landscaping	---
c) Boulevard Landscaping	required (L2)
d) Neighborhood Street Landscaping	permitted
2) Interior Block Setback Areas	
a) Groundcover	required
b & c) Moderate or Heavy Screening	permitted

2.7 Parking Regulations	Standards
2.7.1 Provision of Parking	
Retail Anchors	
spaces per 1000 s.f.	n/a
location	n/a
Eating & Drinking Establishments	
spaces per 1000 s.f.	n/a
location	n/a
Specialty Foods / Goods	
spaces per 1000 s.f.	n/a
	n/a
Entertainment & Recreation	
spaces per 1000 s.f.	n/a
location	n/a
Convenience Uses	
spaces per 1000 s.f.	4 max
location	on street only
Personal & Business Services	
spaces per 1000 s.f.	5 max
location	on street only
Personal Enrichment Services	
spaces per 1000 s.f.	n/a
location	n/a
Commercial Goods & Vehicle Sales	
spaces per 1000 s.f.	n/a
location	n/a
Civic & Cultural	
spaces per 1000 s.f.	n/a
location	n/a
Office - Professional	
spaces per 1000 s.f.	n/a
location	n/a
Office - Medical	
spaces per 1000 s.f.	n/a
location	n/a
Lodging	
spaces per guest room	n/a
location	n/a
Live-Work	
spaces per unit	n/a
spaces per employee	n/a
location	n/a
Residential Uses	
spaces per studio unit	1 min / 1 max
spaces per 1br unit	1 min / 1.5 max
spaces per 2br+unit	1.5 min / 2 max
guest spaces per 10 units	2 min / 3 max (C12)
location	on site
Neighborhood Center Exceptions	
spaces per 1000 s.f.	0 min / 3 max
Corner Store Exceptions	
spaces per 1000 s.f.	0 min
location	on street only
2.7.2 Parking Types	
1) Surface Lot - Front	---
2) Surface Lot - Side	---
3) Surface Lot - Rear	permitted
4) Surface Lot - Exposed	---
5) Structure - Exposed	res garage/driveway
6) Structure - Wrapped: Ground Level	---
7) Structure - Wrapped: All Levels	permitted
8) Partially Submerged Podium	permitted
9) Structure - Underground	permitted

2.8 Architecture Regulations	Standards
2.8.1 Facade Height Articulation Regulations	
Top	required
Base	---
2.9 Signage Regulations	Standards
2.9.1 Freestanding Sign Setbacks	(see section 2.9.1)
2.9.2 Total Sign Area	(see section 2.9.2)
2.9.3 Sign Type Regulations	
Grand Projecting Sign	---
maximum height	n/a
Marquee Sign	---
maximum number of faces	n/a
maximum area	n/a
Wall Sign	permitted (S6)
maximum size	200 s.f. (S1 & S5)
Monument Sign & Ground Sign	permitted
maximum number of faces	2
maximum height	4 ft
maximum area	32 s.f. (S1)
secondary sign	---
bonus sign	---
Pole Mounted Sign & Tower Sign	---
maximum number of faces	n/a
maximum height	n/a
secondary sign	n/a
bonus sign	n/a
maximum area	n/a
secondary sign	n/a
bonus sign	n/a
Projecting Sign	---
maximum area	n/a
Awning Face Sign	permitted (S6)
maximum area	20 % of awning face
Awning Valance Sign	permitted (S6 & S7)
lines of lettering	1
letter height (whichever is less)	2/3 valance height : 8 in
Awning Side Sign	permitted (S6 & S7)
lines of lettering	1
letter height	8 in
Canopy Fascia Sign	permitted (S6 & S7)
maximum height (whichever is less)	2/3 fascia height : 12 in
maximum width	2/3 canopy width
lines of lettering	1
Above Canopy Sign	permitted (S6 & S7)
maximum height (whichever is less)	1 1/2 fascia height : 24 in
maximum width	2/3 canopy width
lines of lettering	1
Café Umbrella Sign	---
maximum area	n/a
Recessed Entry Sign	permitted
maximum area	20 s.f.
Window Sign	permitted
maximum area	20% of window (S3)

2.2 BUILDING USE REGULATIONS

For the purposes of this Plan, all permitted and conditionally permitted building uses have been classified into Use Types. Each Use Type is defined in text below and includes uses such as those listed in the accompanying Use Charts. The Use Charts include specific permitted, conditional and prohibited uses for each Use Type.

Uses listed as "permitted" in the Development Standards Charts are further regulated herein and are defined as uses permitted by right **subject to approval of a Site Plan Review**. Uses listed as *conditional* in this section are defined as those which require special consideration either of their impacts on the neighborhood and land uses in the vicinity and/or of their physical organization and design. A conditional use shall be considered for approval if the proposed use conforms with all requirements specified in the conditional use policy, and if it conforms with the goals and vision of the Plan.

All permitted uses for a single Center or Segment are allowed either alone or in combination with any other permitted uses within a parcel. Proposed uses that are not explicitly listed in the Use Charts may be permitted if it is determined by the Planning Director that the proposed uses meet the purpose and intent of the Plan.

Legend:

---	Not Permitted
•	Included Use, these uses are allowed by right, as indicated. <i>Subject to Site Plan Review</i>
c	Conditional Use, these uses require a conditional use permit. They are allowed if they are deemed by the Planning Manager / Designer <i>approving body</i> to meet the purpose and intent of the plan

2.2.1 Use Types

1) Retail

i) General Retail Requirements

- Minimum interior height for ground level retail of all types is fourteen (14) feet from floor to ceiling. Use conversions in an existing building may not be required to meet this requirement.
- Any uses featuring outdoor sales or outdoor storage not clearly ancillary to use shall require a Conditional Use Permit

a) Specialty Goods Anchors

Definition: A "regional destination" non food retail store that is at least 30,000 square feet in size that is a proven generator of significant pedestrian traffic and sales-generator such as those listed.	Department Stores	•
	General Merchandize Stores	•
	Book Superstores	•
	Electric Superstores	•
	Quality Home Department Superstores	•

b) Community Oriented Anchors

Definition: A "local destination" convenience store that is at least 15,000 square feet in size that is a proven generator of significant pedestrian traffic and sales-generator such as those listed.	Super Markets	•
	Specialty Food Markets	•
	Pharmacies & Convenience Superstores	•
	Community Oriented Anchors over 65,000 s.f.	c

c) Entertainment Anchors

Definition: Establishments providing resources or activities for exercise, relaxation, or enjoyment that is at least 15,000 square feet in size that is a proven generator of significant pedestrian traffic and sales-generator such as those listed.	Movie theaters	•
--	----------------	---

d) Eating & Drinking Establishments

Definition: Restaurants, bars, clubs, or other drinking/entertainment establishments such as those listed.	Full Service	•
	W/ Outdoor Dining	•
	W/ Live Entertainment	c
	W/ Dancing	c
	W/ Alcohol	c
	Vendor carts, spaces or stands	•
	Adult entertainment facilities	---

Special Conditions for Eating & Drinking Establishments

- Vendor Carts, spaces, or stands within the public right-of-way shall require a conditional use permit.
- Chairs and tables for outdoor dining shall be permitted on sidewalks within the setbacks zone and within the public right-of-way provided that:
 - The use maintains a minimum five-foot wide unobstructed portion of sidewalk corridor which is clear and unimpeded for pedestrian traffic.
 - The use keeps the full width of the building entrance clear and unimpeded for building access.

e) Specialty Goods & Foods

Definition: General retail establishments selling quality/specialty goods such as those listed.	Apparel & accessory stores	•
	Book stores	•
	Art galleries	•
	Open air markets	c
	Second hand / antique stores	•
	Appliance & electronic stores	•
	Sporting goods stores	•
	Furniture & home furnishings stores	•

f) Commercial Recreation & Entertainment

Definition: Establishments providing resources or activities for exercise, relaxation, or enjoyment such as those listed.	Small Scale movie theaters	•
	Bowling centers and billiard parlors	•
	Health & Exercise Clubs	•
	Amusement arcades	•

g) Convenience Uses

Definition: Small businesses selling food and goods or providing convenience services, to serve nearby residential neighborhoods such as those listed. <i>Add to list</i> <i>Eating and Drinking w/ less than 12 seats</i>	Small Scale Pharmacies	•
	Small Scale Grocery or Food Sales	•
	Convenience stores	•
	Delicatessens, cafés, bakeries	•
	Florists	•
	Hardware stores / lock & key shop	•
	Video rentals	•

h) Business Services

Definition: Small to medium sized businesses providing services to local businesses and residents such as those listed.	Banks	•
	Mail / shipping services	•
	Office supply	•
	Photo copying, and printing	•
	Financial services	c

Special Conditions for Business Services

- Financial services shall be permitted in this category providing that they offer services that cater to and generate pedestrian traffic. Other financial services uses are to be considered under "3) Office," in this section.

i) Personal Services

Definition: Small to medium sized businesses providing services to local households such as those listed.	Barbershops/hair & nail salons	•
	Tanning salons & spas	•
	Dry cleaning establishments	•
	Lock & key services	•
	Self-service laundromats	•

j) Personal Enrichment Services

Definition: Provision of instructional services or facilities.	Driver Education	•
	Yoga, Dance, Martial Arts, or other Fitness Studios	•
	Fine Arts & Crafts	•

k) Service Commercial & Repair

Definition: Businesses providing services to industry, services that are industrial in nature, or services that are best suited to an auto-oriented environment such as those listed.	Plumbing Services	•
	Vacuum cleaner & sewing repair	•
	Gas Stations	•

l) Large Scale Commercial Goods

Definition: Businesses whose primary activity is the sale or repair of large scale / commercial goods that are not particularly well suited to pedestrian districts and that require close access by cars and trucks such as those listed.	Warehouse Retail	•
	Equipment Retail	•
	Construction Supply	•
	Restaurant Supply	•
	Auto supply stores	•



m) Vehicle Sales

Definition: Businesses that sell any kind of motorized vehicle such as those listed.	Motor Vehicle Sales	•
--	----------------------------	---

2) Civic and Cultural

Definition: Services (including education and utilities), cultural institutions and recreational facilities made available to the general public for free or at a reasonable cost such as those listed.

Religious Assembly	•
Baseball, football, soccer, tennis and other sports fields and courts	•
Community centers	•
Educational Facilities	•
Indoor public recreation facilities	•
Libraries	•
Exhibition, convention, or conference centers	•
City Halls	•
Hospital	c
Courthouses	•
Museums	•
Performing arts facilities	•
Stadiums, not including stadiums for professional sports teams	•
Swimming pools	•
Post Offices	•
Transit Facilities, Terminals and Stations	•
Fire & Police Stations	•

3) Office

a) Professional Services

Definition: Workplace uses including professional, administrative, research and development, financial and educational activities for businesses, individuals and non-profit organizations such as those listed.

Research and development offices	•
Educational and institutional offices	•
Print and electronic media offices (newspaper, magazine, radio, television)	•
Data or telecommunications offices	•
Any other professional, executive or administrative office use	•

b) Medical Services

Definition: Medical workplace uses and establishments with employees with medical licenses such as those listed.

Medical & Dental Offices or facilities	•
Indoor veterinary clinics	c
Acupuncture, Physical Therapy, Chiropractor	•
Psychiatric	•
Mortuary services	•

4) Lodging

Definition: Short-term commercial lodging facilities such as those listed.

Bed and breakfast guest houses	•
Hostels	•
Hotels and motels	•

5) Live-work

Definition: A dwelling unit in which the occupant conducts a home-based business or enterprise.

Live-work units	•
------------------------	---

i) Special Conditions for Live-Work

- (1) Work activities that require hazardous assembly, including fabrication, manufacturing, repair; or processing operations such as welding and woodworking; or venues including the handling of animals shall require a Conditional Use Permit
- (2) The maximum number of employees not including the owner/occupant is limited to two per unit.
- (3) Once established, Live-Work may not be converted to a solely commercial or business use. However, Live-Work units may revert to solely residential use.

6) Residential

Definition: All owner- and renter-occupied dwelling units, including attached and detached houses, multi-unit buildings, manufactured and mobile homes.

a) Multi-Family with Common Lobby Entry

Definition: Buildings designed as residence for multiple households where some dwelling units are accessed from a common lobby entry or shared hallway.

Dwelling units, accessory	•
Dwelling units, primary, two or more households per structure	•

b) Multi-Family with Individual Entry

Definition: Buildings designed as a residence for multiple households where all dwelling units have a dedicated entrance accessed directly from a public sidewalk.

Dwelling units, accessory	•
Dwelling units, primary, two or more households per structure	•

c) Attached Single-Family Homes

Definition: Attached homes on separate parcels sharing common walls with each home featuring an entrance accessed directly from a public sidewalk.

Dwelling units, accessory	•
Dwelling units, primary, one household per structure	•

d) Detached Single-Family Homes

Definition: A detached building designed as a residence for one household.

Dwelling units, accessory	•
Dwelling units, primary, one household per structure	•

2.2.2 Special Retail Configurations

1) Definition

Special Retail Configurations limit the size of individual tenants and the total amount of retail permitted for Neighborhood Center and Corner Store retail “clusters” as well as the provision of drive-through services.

2) Regulation

i) Where retail is permitted as part of a Neighborhood Center, Corner Store, or drive-through it shall conform to the following size and location requirements.

a) Neighborhood Center

Definition: A retail cluster (two or more abutting retail establishments) consisting of (permitted) convenience uses, small-scale shopping, and personal services that provide goods and services amenities to nearby residential neighborhoods.

i) Special Conditions for Neighborhood Serving Retail

- (1) Limited to a maximum of two community oriented anchors.
- (2) Limited to a maximum of 25,000 square feet of non-anchor retail.
- (3) Limited to a maximum size of ~~2,500~~ **5,000** square feet per Eating and Drinking establishments.
- (4) Conditional Use Permit: Development including non-anchored retail uses exceeding a total of 25,000 square feet

b) Corner Store

Definition: A small store or cluster of stores integrated into a larger building on the corner of a city block. Corner Stores consist of (permitted) convenience uses, small-scale shopping, and personal services that serve homes or businesses located within easy walking distance.

i) Special Conditions for Corner Store Retail

- (1) A maximum size of 2,500 square feet per use.
- (2) A maximum size of 5,000 square feet total per cluster.
- (3) Conditional Use Permit: Individual uses larger than 2,500 square feet, provided that the use is unique and not already provided within one (1) mile trade area.
- (4) Corner Store Retail must be located on the corner of a block, and the entrance must face a public street, square, or plaza space.

ii) Parking spaces intended for Corner Store Uses must be located on streets. Off-street parking is discouraged for corner store and shall require a conditional use permit.

c) Drive-Through

Definition: Service from a building to persons in vehicles through an outdoor service window.

2.2.3 Affordable Housing Requirement

This section contains standards and guidelines to ensure that affordable housing is provided throughout the Specific Plan area, consistent with the City's General Plan Housing Element.

1) Regulation

a) General

This section shall apply to new residential projects three (3) or more units in size.

b) Requirements (or some other appropriate title)

- i) A minimum of 10 percent of all new residential construction shall be affordable housing units, unless the project is within the redevelopment project area, in which case the equivalent of 15 percent of all new residential construction shall be affordable housing units.
- ii) ~~Rental units included in the project shall be made available to low income households as defined by California Health and Safety Code Section 50079.5, or a successor statute.~~ **A City Development Agreement shall be required for projects that include rental units.**
- iii) For sale units included in the project shall be made available to moderate income households as defined by California Health and Safety Code Section 50093, or a successor statute.
- iv) Developers of residential projects may elect to pay a fee in lieu of providing the units on-site to fulfill the requirement of this section as allowed and pursuant to the requirements of Section 230.26 of the Huntington Beach Zoning and Subdivision Ordinance.
- v) Developers of residential projects may elect to provide the affordable units at an off-site location. If affordable units are off-site, they must be under the full control of the applicant, or other approved party and must be located within the Beach Edinger Corridors Specific Plan area boundary.
- vi) New residential projects shall include construction of an entirely new project or new units added to an existing project. For purposes of determining the required number of affordable housing units, only new units shall be counted.

c) Off-site Construction of Affordable Units

- i) Except as may be required by California Government Code Section 65590 or a successor statute, developers may provide the required affordable housing off-site, at one or several sites, within the City of Huntington Beach in the Beach Edinger Corridors Specific Plan area.
- ii) Off-site projects may be new construction or substantial rehabilitation, as defined by the Code Section 33413 affordable housing production requirements, of existing non-restricted units conditioned upon being restricted to long-term affordability. "At Risk" units identified in the Housing Element or mobile homes may be used to satisfy this requirement.

- iii) All affordable off-site housing shall be constructed or rehabilitated prior to or concurrently with the primary project. Final approval (occupancy) of the first market rate residential units shall be contingent upon the completion and public availability, or evidence of the applicant's reasonable progress towards attainment of completion, or the affordable units.

d) Miscellaneous Provisions

- i) The conditions of approval for any project that requires affordable units shall specify the following items:
 - (1) ~~The density bonus being provided pursuant to Section 230.14 of the Huntington Beach Zoning and Subdivision Ordinance, if any;~~
 - (2) **(1)** The number of affordable units;
 - (3) **(2)** The number of units at each income level as defined by the California Health and Safety Code; and
 - (4) **(3)** A list of any other incentives offered by the City.
- ii) An Affordable Housing Agreement outlining all aspects of the affordable housing provisions shall be executed between the applicant and the City and recorded with the Orange County Recorder's Office prior to issuance of the first building permit. **For rental projects, the City Development Agreement shall be used.**
- iii) The Agreement shall specify an affordability term as specified by Section 230.26 of the Huntington Beach Zoning and Subdivision Ordinance.
- iv) All affordable on-site units in a project shall be constructed concurrently with or prior to the construction of the primary project units unless otherwise approved through a phasing plan. Final approval (occupancy) of the first market rate residential units shall be contingent upon the completion and public availability, or evidence of the applicant's reasonable progress towards attainment of completion, of the affordable units.
- v) All affordable units shall be reasonably dispersed throughout the project unless otherwise designed through a master plan, shall contain on average the same number of bedrooms as the market rate units in the project and shall be comparable with the market rate units in terms of exterior appearance, materials and finished quality.
- vi) New affordable units shall be occupied in the following manner:
 - (1) If residential rental units are being demolished and the existing tenant(s) meets the eligibility requirements, he/she shall be given the right of first refusal to occupy the affordable units(s); or
 - (2) If there are no qualified tenants, or if the qualified tenant(s) chooses not to exercise the right of first refusal, or if no demolition of residential rental units occurs, then qualified households or buyers will be selected.

e) Price of Affordable Units

Affordable housing cost shall be calculated in accordance with the Code Section 50052.5 standards for ownership units and Code Section 50053 standards for rental units.

f) Reduced Fees for Affordable Housing

Projects that exceed inclusionary requirements on-site will be eligible for reduced City fees, pursuant to an Affordable Housing Fee Reduction Ordinance, upon adoption by the City Council.

g) Density Bonus Incentives

Projects that meet the affordability provisions of Section 230.14 of the Huntington Beach Zoning and Subdivision Ordinance for density bonus shall be granted an incentive(s) or concession(s) pursuant to Section 230.14.

2.3 BUILDING SCALE REGULATIONS

2.3.1 Building Height

1) Definition

Building height is defined as the vertical extent of a structure as measured from finished grade to the top of cornice, parapet, or eave line of a peaked roof. Height for buildings with mansard roofs shall be measured from finished grade to the top of the mansard roof ridge line.

2) Regulation

a) General

- i) Height for buildings is regulated by the number of stories permitted (see Fig.2.3.1 Building Height). New structures must conform to the minimum and maximum number of stories as specified in section 2.1 – Development Standards.
- ii) Story Vertical Height Dimensions. Story heights shall not exceed twelve (12) feet from interior finished floor to ceiling. Ground floor retail, office, hotel or residential lobby use may not exceed sixteen (16) feet from floor to ceiling. Ground floor retail must be a minimum of fourteen (14) feet from floor to ceiling.
- iii) Inhabitable floor area located in attics shall be counted as stories.
- iv) Mezzanines covering more than one third of the space of a story shall be counted as stories.
- v) The number of stories shall include all stories located above the finished grade.
- vi) Parking podiums that extend more than five (5) feet above finished grade shall be counted as a story.
- vii) Rooftop equipment must be set back a minimum of ten (10) feet from building walls, screened on all sides, and integrated into the overall building design.

b) Exceptions

- i) Habitable attics, inhabited spaces located above a roof's eave line, are only permitted for detached single-family homes.
- ii) Portions of the building that extend above the primary building mass, such as dormers, roof-top cupolas, elevator and mechanical equipment enclosures, roof deck trellises, gazebos, and other special features, shall not exceed the maximum height requirement by more than ten (10) feet.
- iii) Accessory buildings, including non-dwelling units such as freestanding garages for individual residential units, service structures and tool sheds, shall not exceed one and one-half stories or fourteen (14) feet.
- iv) Towers and other prominent special architectural features shall not exceed the permitted maximum height by more than twenty (20) feet.

2.3.2 Special Building Height Limits

1) Along Edinger Ave. / Beach Blvd. / Main St.

The height of development along Edinger Ave., Beach Blvd, and Main St. shall be limited for a distance of sixty-five (65) feet measured from the Back-of-Sidewalk as shown in Fig. “2.3.2. Special Building Height Limits – 1) /Edinger Ave. /Beach Blvd/ Main St” (to locate Back-of-Sidewalk see section 2.4.2.b).

2) Across the Street From Housing

The height of new development (excluding Edinger Ave., Beach Blvd., or Main St. block faces) across the street from existing, approved, or zoned residential buildings three (3) floors tall or less shall not exceed the height of the lowest building along the block face by the number of stories specified in section 2.1 – Development Standards within sixty-five (65) feet of the Back-of-Sidewalk as shown in Fig.2.3.2 “Special Building Height Limits – 2) Across the Street From Housing” (to locate Back-of-Sidewalk see section 2.4.2.b).

3) Adjacent to Housing

- i) The height of new development on a parcel abutting a parcel with existing, approved, or zoned residential buildings three (3) floors tall or less shall be limited as follows and shown in Fig. 2.3.2. Special Building Height Limits – 3) Adjacent to Housing:
 - (1) Originating at a height of one (1) floor above the height of the adjacent building's eave line
 - (2) Extending through a point located along the new development's side façade.
 - (3) With a forty-five (45) degree slope (creating a one (1) to one (1) height to stepback relationship).
- ii) The height of new development shall not exceed a line

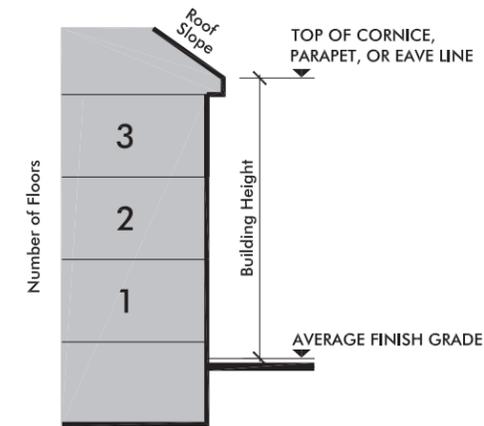


Fig.2.3.1 Building Height

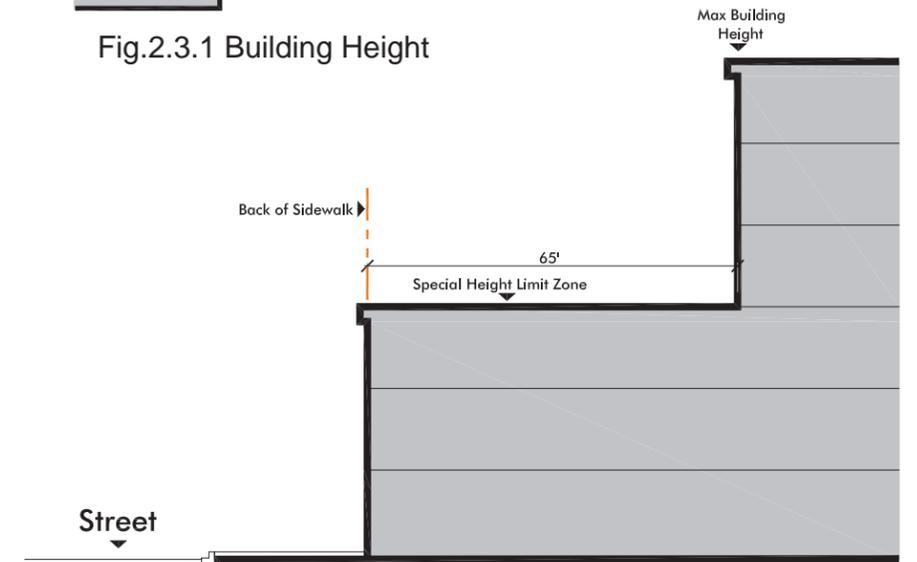


Fig.2.3.2 Special Building Height Limits -
1) Edinger Ave. / Beach Blvd. / Main St. and 2) Across the Street From Housing

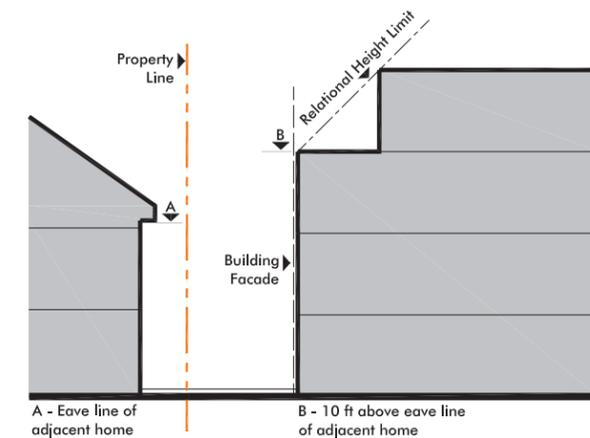


Fig.2.3.2. Special Building Height Limits -
3) Adjacent to Housing

2.3.3 Building Length

1) Definition

Building length is defined as the total length of a primary building mass lining a street or open space as shown in Fig.2.3.3 Building Length.

2) Regulation

- i) New buildings shall not exceed the specified Maximum Length as specified for each Corridor Center and Segment in section 2.1. – Development Standards.
- ii) A developer may build multiple buildings, each with an individual length that does not exceed the Maximum Building Length.

3) Exceptions

- (1) Where specified in section 2.1. – Development Standards, building volumes shall be measured as separate buildings as shown in Fig.2.3.3. Building Length if they are separated by:
 - (a) A Paseo (see section 2.6.4 – Open Space Types for the definition of a Paseo).
 - (b) A forecourt with a minimum depth of forty (40) feet.

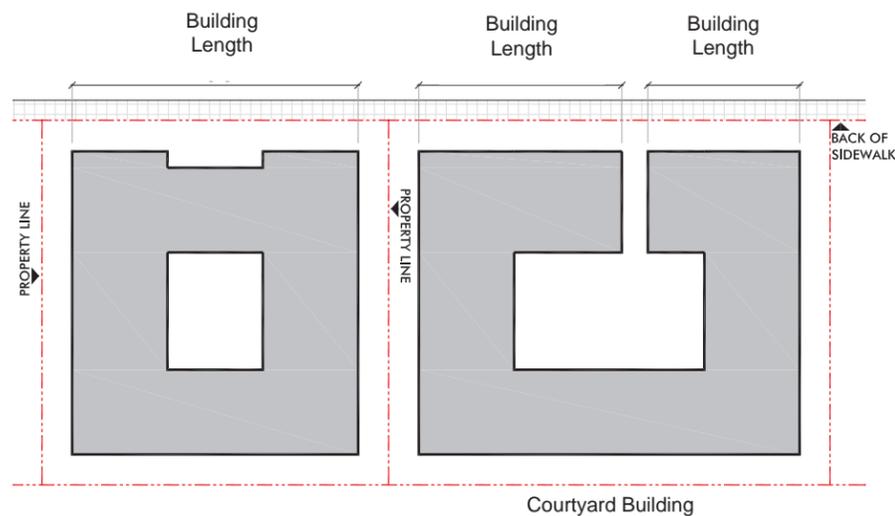


Fig.2.3.3 Building Length

2.3.4 Special Building Length Limits

1) Definition

Special Building Length Limits apply to new development along any block face (excluding Edinger Ave., Beach Blvd., or Main St. block faces) where there are existing or proposed residential buildings with front facades shorter than sixty (60) feet as shown in Fig.2.3.4 Special Building Length Limits.

2) Limited Corner Buildings

The maximum length of buildings that extend to the corner of the block shall be as specified for each Corridor Center and Segment in section 2.1. – Development Standards.

3) Limited Mid-Block Buildings

The maximum length of Limited Mid-Block Buildings that do not extend to the corner of the block shall be as specified for each Corridor Center and Segment in section 2.1. – Development Standards.

- A - Residential building with a front facade shorter than 60 feet
- B - Limited Mid-Block Building
- C - Limited Corner Building
- D - Public Open Space
- X - Special Building Length Limits Do Not Apply

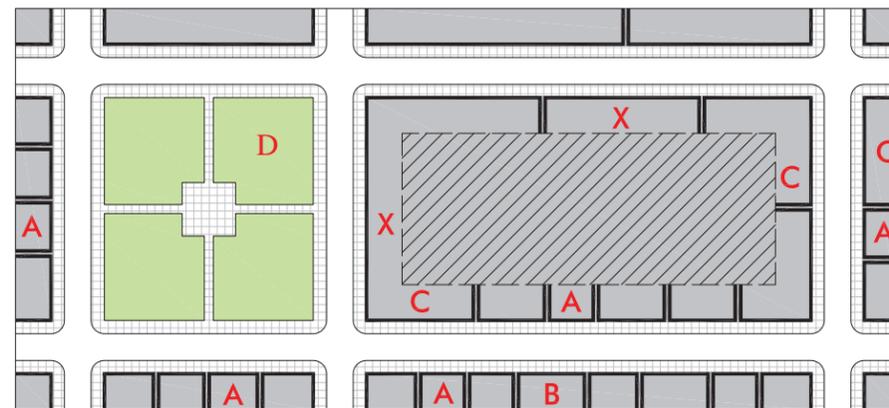


Fig.2.3.4 Special Building Length Limits

2.3.5 Building Massing

1) Definition

- i) A building's visual or apparent mass consists of one or more individual 3-dimensional volumes.
- ii) A primary volume is a 3-dimensional volume that extends the entire height of a building (it does not include porches, bay windows, or other sub-volumes).
- iii) A Primary Volume's proportions are the ratio of the length of the volume relative to its height as shown in Fig.2.3.5 Building Mass Proportions.

2) Regulation

- i) Buildings shall be composed of at least one Primary Volume that conforms to Building Massing regulations. The Primary Volume must be the longest volume on the building.
- ii) The range of proportions permitted for Primary Volumes shall be as specified for each Corridor Center and Segment in section 2.1. – Development Standards.
- iii) See section 2.8. – Architecture Regulations for additional façade articulation requirements and regulations related to architectural elements.

3) Building Massing Elements

Primary Volumes shall be defined with the following elements:

a) Major Façade Offset

- i) A Major Façade Offset is a substantial vertical plane break in a façade.
- ii) The depth of a Major Façade Offset shall be a minimum of five (5) percent of the width of the largest adjacent horizontal façade segment.

b) Notch

- i) A Notch is a substantial recess in a façade.
- ii) The width of a façade notch shall be a minimum of five (5) feet. The depth of the notch shall be a minimum of three (3) feet.

c) Façade Composition Change

- i) A Façade Composition Change is a substantial change in architectural elements on adjacent segments of an otherwise flat façade. The result is the impression of separate volumes.
- ii) To qualify as a Façade Composition Change, adjacent volumes shall feature a changed roof form and/or height variation in addition to one of the following:
 - (1) Incorporate a prominent central feature or sub-volume such as a balcony, bay window, porch, or portico.
 - (2) Feature changed wall cladding materials/colors
 - (3) Feature changed window pattern/form
- iii) Utilizing a vertical expression line such as a pier, molding, downspout, minor façade offset, or butt joint simulating a party wall between adjacent volumes is recommended.

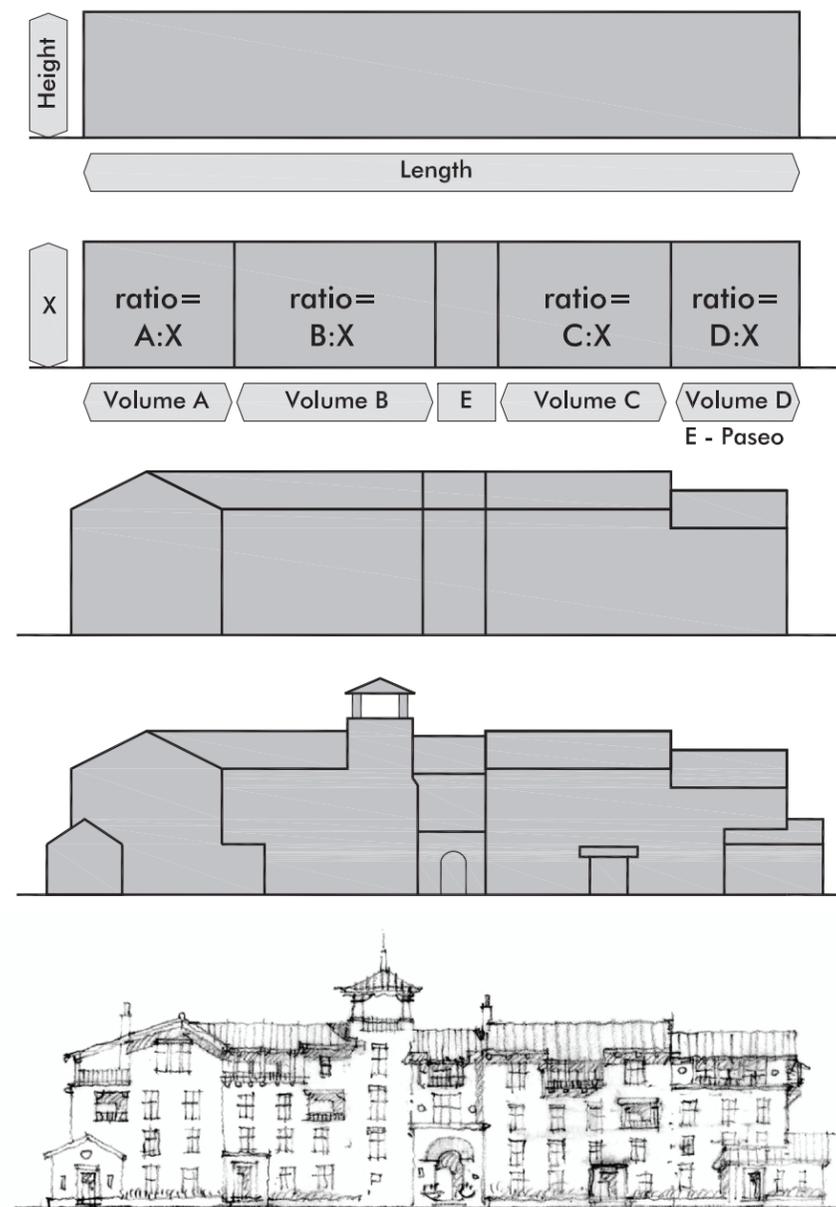


Fig.2.3.5 Building Massing Proportions

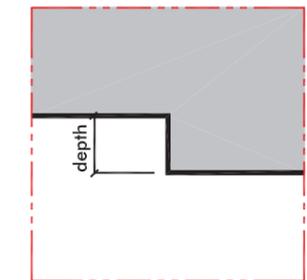
- Building Envelope

- Primary Volumes

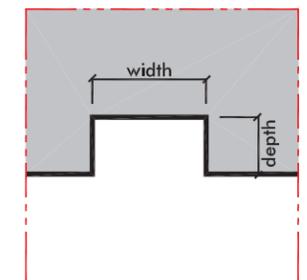
- Introduce Roofs

- Introduce Porches and other sub volumes

- Resulting Building Elevations



a) Façade Offset - Plan View



b) Notch - Plan View

Fig.2.3.5 Building Massing - 3) Elements

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2.4 FRONTAGE & BUILDING PLACEMENT REGULATIONS

2.4.1 Building Orientation to Streets and Public Open Spaces

1) Definition

A building is oriented to a street or public open space if it has a building entrance configured as a Private Frontage Type that faces that street or open space, as shown in Fig.2.4.1 Building Orientation to Streets and Public Open Spaces.

2) Regulation

a) General

- i) Where building orientation to streets and public open spaces is required, all buildings shall have primary entrances that face and open directly on to publicly accessible streets or public open spaces.
- ii) In instances where a choice must be made between orientation toward a primary public street or a public open space, the primary public street should be given precedence.
- iii) Parking structures, garages, carriage houses, and accessory buildings are permitted and should be located along alleys and not along streets or public open spaces.

b) Corner Parcels

Buildings on Corner Parcels shall have an entrance(s) oriented towards at least one street or incorporated into a Corner Entry Private Frontage Type (see section 2.4.3).

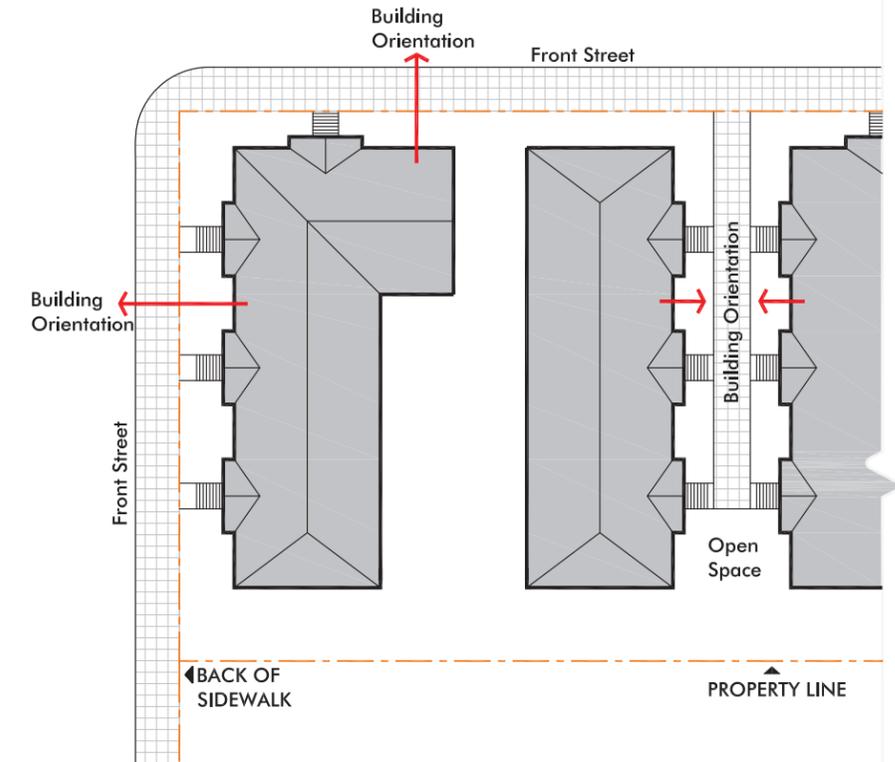


Fig.2.4.1 Building Orientation to Streets and Public Open Spaces

2.4.2 Private Frontage Types

1) Definition

- i) Portions of a property between the back-of-sidewalk line and the primary building façade along any Street .
- ii) Portions of all primary building facades up to the top of the first or second floor, including building entrances, located along and oriented toward streets as shown in Fig.2.4.2.Private Frontage Types – 1) Definition.

2) Regulation

a) General

- i) Private Frontage types regulate the configuration of a building's primary entrance, the treatment of its front and side setback zones, as well as the type of features permitted to encroach into the required setback zones.
- ii) All buildings shall be designed to incorporate a Private Frontage Type configured in compliance with the regulations is contained in this section.
- iii) Every Primary Building Volume (see section 2.3.5 – Building Massing) shall have at least one Private Frontage Type.
- iv) A property's permitted and/or required Private Frontage Types shall be limited to those frontage types specified for each Corridor Center and Segment in section 2.1. – Development Standards.
- v) All permitted frontage types are allowed either alone or in combination with any other permitted frontage type within a single building.
- vi) The disposition of the Front Yard Setback zone is further illustrated in section 2.4.4.
- vii) Private frontage regulations apply along the full length of the property frontage, even where there is no building façade.
- viii) Where building orientation toward public streets/public open spaces is not required, buildings must still satisfy Private Frontage and Edge Treatment requirements but are not required to locate an entrance that opens directly on to a street or public open space.
- ix) *Reminder:* Private Frontage Types that incorporate stairs must also refer to access and visibility requirements of the Americans with disabilities Act by means of providing alternate entrance(s) with level or ramped connections to the sidewalk, or by incorporating an ADA-compliant ramp additively to the design of the required Private Frontage Type.
- x) Transformers, backflow devices, etc. will be allowed in the front yard setbacks as long as it is screened with landscaping or architectural details (see section 2.6.8.7 Utility and Service Area Sitting and Screening).

b) Corner Parcels

On corner parcels, frontage treatments shall extend along the entire length of the back-of-sidewalk line for both street frontages as shown in Fig.2.4.2. Private Frontage Types – 2) Corner Parcels.

c) Edge Treatments

- i) Fenced Edge, Terraced Edge, and Flush Edge are edge treatments that are combined with other Private Frontage Types and establish a desirable relationship between front setback areas and the public sidewalk.
- ii) When landscaping Grand Portico, Forecourt, Grand Entry, Common Lobby Entry, Stoop, Porch, and Front Door setback areas, an edge treatment must be selected from those permitted for the given Corridor Center and Segment and applied to the setback area in accordance with the specified edge treatment's regulations.

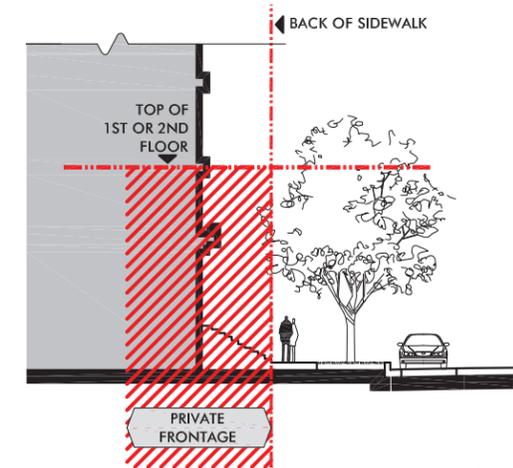


Fig.2.4.2 Private Frontage Types - 1) Definition

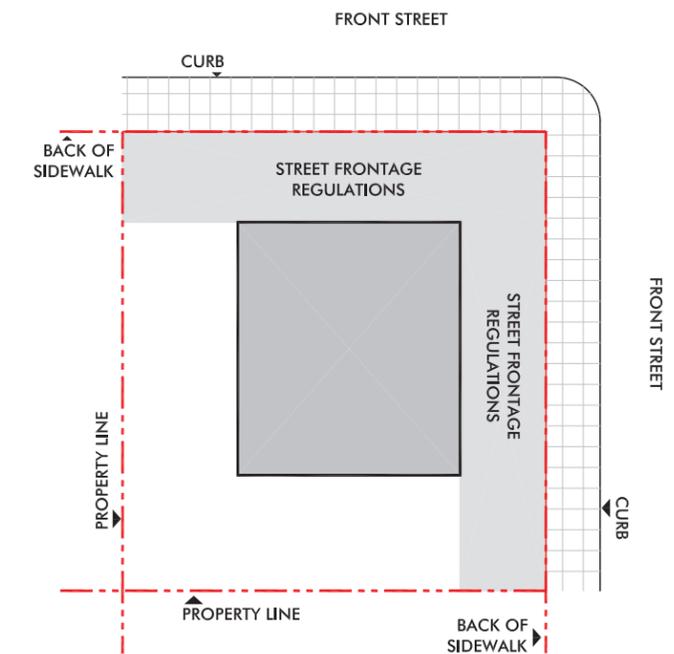


Fig.2.4.2 Private Frontage Types - 2) Corner Parcels

3) Private Frontage Specifications

a) Shopfront

i) Definition

A frontage type featuring a multiplicity of welcoming entrances and display windows built at the edge of and projecting directly on to the public sidewalk.

ii) Application

Shopfronts are the appropriate treatment for ground-level retail and service uses oriented to display and access directly from public sidewalks.

iii) Façade & Entrance Treatment

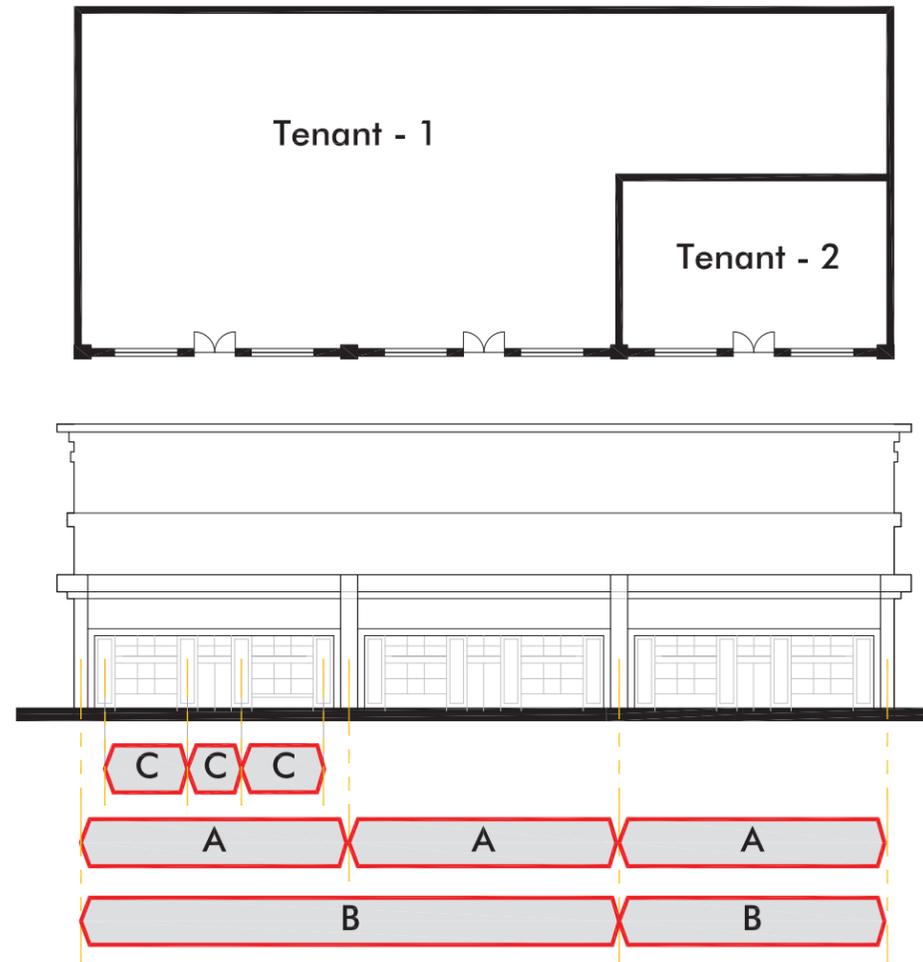
- (1) Each shopfront shall contain:
 - a) At least one prominent building entrance that is always unlocked during regular business hours.
 - b) A minimum of 70% of the storefront façade must feature clear-glass display windows framed within storefront pilasters and base.
 - c) A minimum 3 foot zone behind the window glazing that provides an unobstructed view of the establishment's goods & services, either via display oriented to the sidewalk, or via a direct view into the store.
- (2) Recessed entrances are permitted up to a maximum width of 15 feet.
- (3) Restaurant shopfronts that are not located on street corners may set back a portion of the shopfront façade to create an outdoor dining alcove that is a maximum of 12 feet deep.
- (4) Shopfront and awning design should vary from shopfront to shopfront.
- (5) Close proximity to high volumes of pedestrian traffic make attention to craft and visual interest within the Shopfront façade important.
- (6) Shopfront composition should include well-designed projecting signs, window signs and awning signs.

iv) Shopfront Length

- (1) Along key pedestrian streets, shopfront and tenant length is strictly limited to insure a variety of entrances to occur at ground level. Shopfronts shall not exceed the lengths shown in Section 2.1 – Development Standards Charts.
 - a) Larger retail space may be enabled by being set behind a row of smaller shopfront spaces; this technique is often referred to as “liner retail.”
- (2) Shopfront lengths are defined using Pilasters/Piers.
 - a) The horizontal width of a protruding pilaster or pier shall be a minimum of five (5) percent of the width of the largest adjacent horizontal façade segment. The adjacent wall surface shall setback from the face of the pilaster or pier a minimum of twenty (20) percent of the pier width. Pilasters/Piers shall not protrude into the public right-of-way.

v) Setback Area Treatment

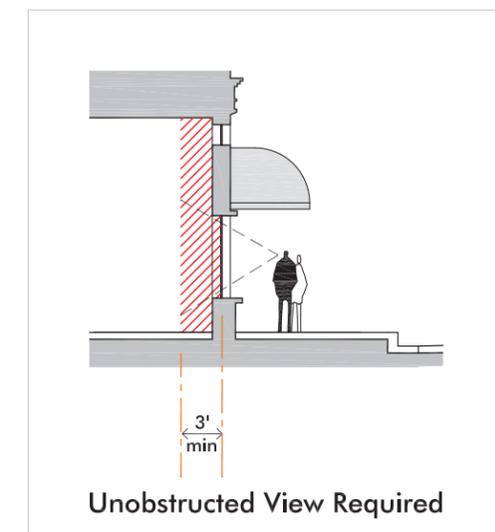
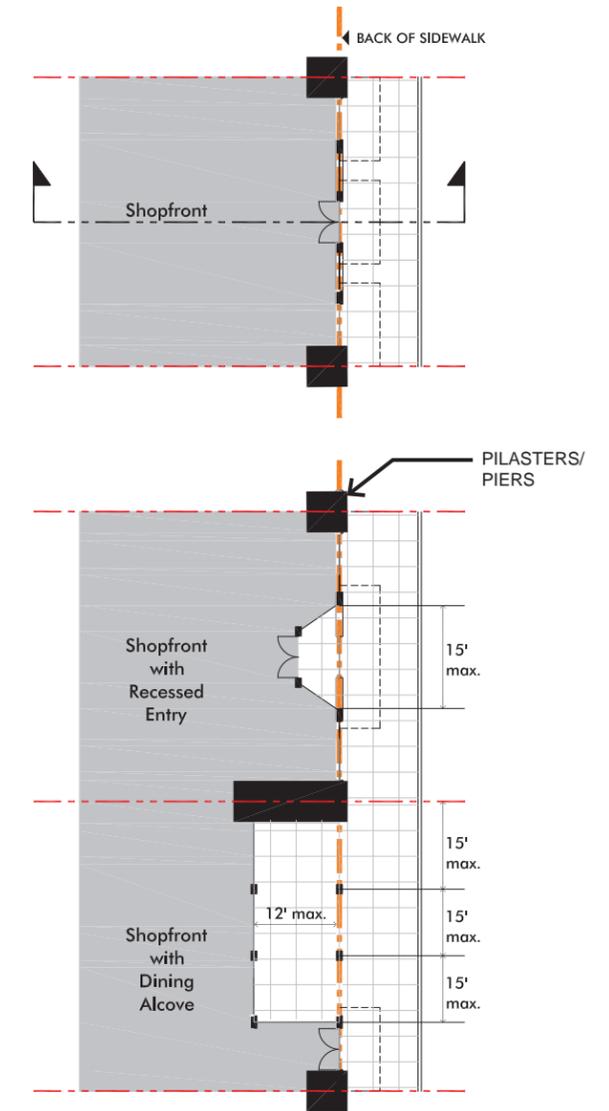
- (1) Shopfronts shall be built up to the back of the public sidewalk at sidewalk grade
- (2) Setback areas shall be treated as Paved/Sidewalk Extension per section 2.6.9.



A - Shopfront Length is the length of each Shopfront Frontage Type segments as measured from centerline of the articulations elements at either edge of the Shopfront segments.

B - Tenant Length is the length of each Tenant Frontage that faces directly onto a Front or Side Street.

C - Articulation Increment is the length between each Articulation Element in a Shopfront segment as measured from centerline to centerline of permitted Shopfront Length Articulation Elements.



3) Private Frontage Specifications (cont.)

b) Corner Entry

i) Definition

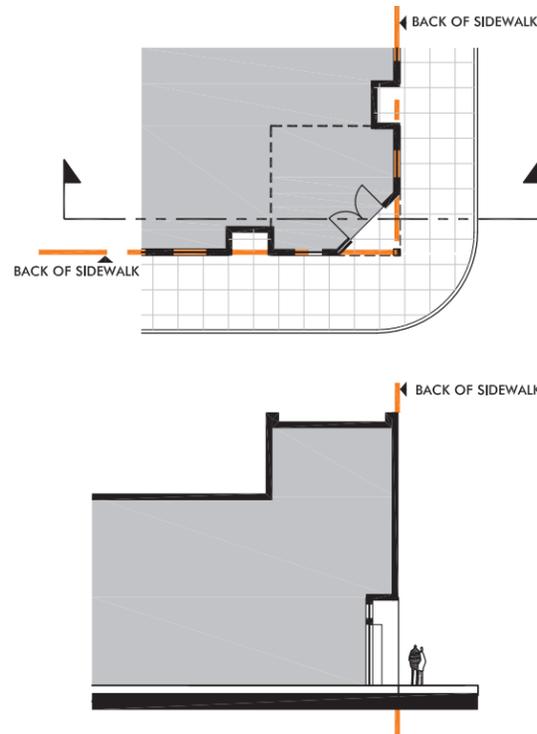
A frontage type featuring a building entrance and an associated or detached treatment to visually emphasize the corner of a building.

ii) Façade & Entrance Treatment

A Corner Entry draws prominent visual attention to the corner of the building primarily through vertical massing and articulation with elements such as a corner tower and by “flatiron” shapes.

iii) Setback Area Treatment

- (1) Setback areas shall be treated as Paved/Sidewalk Extension per section 2.6.9.
- (2) A corner entry mass may encroach into the required setback areas but may not encroach into the public right-of-way.



c) Arcade

i) Definition

A frontage type featuring a colonnaded space at the base of a building created by setting back the ground-floor further than the upper floors, and resulting in a covered sidewalk space.

ii) Application

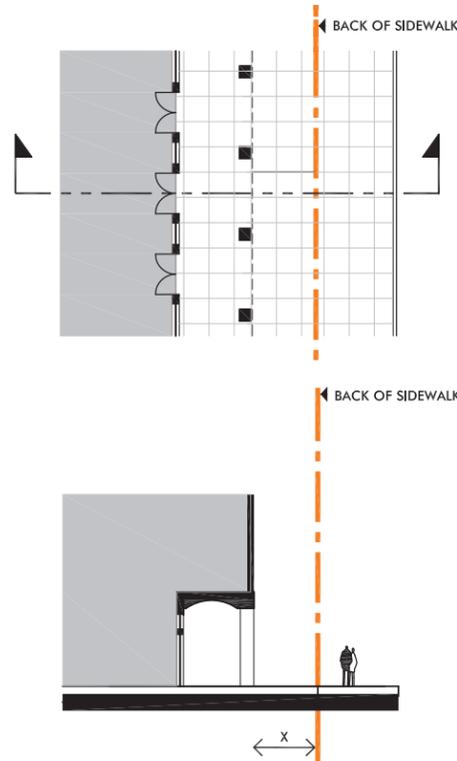
- (1) When applied to buildings featuring ground level shopfronts, the arcades should overlap the sidewalk within 2 ½ feet of the curb face.
- (2) Arcades are not appropriate for buildings with ground-level residential units.

iii) Façade & Entrance Treatment

- (1) Arcade columns should be attractively proportioned and detailed.
- (2) Ceiling beams and light fixtures that are located within the column spacing geometry greatly enhance the quality of the space and are recommended.

iv) Setback Area Treatment

- (1) Setback areas (indicated by an “x” in the illustration below) for arcades built to the back of sidewalk shall be treated as paved/sidewalk extension per section 2.6.9.
- (2) Setback areas (indicated by an “x” in the illustration below) for arcades that are not built to the back of sidewalk shall be landscaped per section 2.6.9.



d) Grand Portico

i) Definition

A frontage treatment featuring a roofed entrance supported by columns appended to the primary plane of the building’s front façade. A “Grand Portico” is a portico expressed at a civic scale, meant to project the image of an important community building.

ii) Application

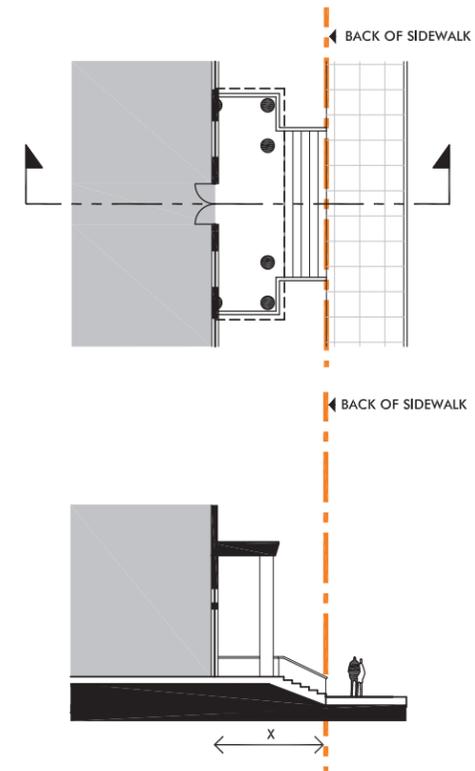
- (1) A Grand Portico is an appropriate frontage for civic buildings such as city halls, libraries, post offices, as well as for quasi-civic buildings such as hotels with ground level convention facilities, or movie theaters.
- (2) This frontage type is not conventional for residential buildings.

iii) Façade & Entrance Treatment

A “grand stair” makes an excellent appendage to a grand portico frontage.

iv) Setback Area Treatment

- (1) The portico and stair may encroach into the front setback area.
- (2) Setback areas (indicated with an “x” in the illustration below) for non-commercial buildings shall be landscaped per section 2.6.9.
- (3) Setback areas for commercial buildings may be treated as Paved/Sidewalk Extension per section 2.6.9.



3) Private Frontage Specifications (cont.)

e) Forecourt

i) Definition

A frontage type featuring a courtyard forming an entrance and lingering space for a single building or several buildings in a group, and opening onto the public sidewalk. The forecourt is the result of setting back a portion of the primary building wall.

ii) Application

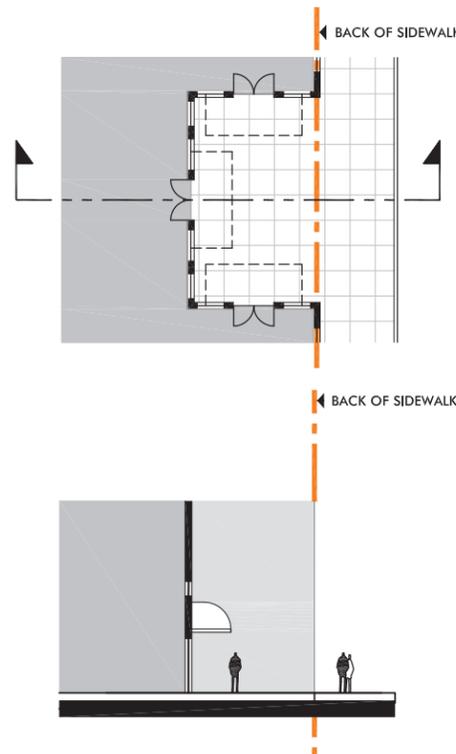
- (1) A forecourt can be applied appropriately to any use. It is not recommended in instances where there is insufficient street wall definition.
- (2) Forecourt frontage treatment must be combined with stoops, flush single entries, or with shopfront frontage types.

iii) Façade & Entrance Treatment

- (1) The courtyard must be enclosed on three sides by building masses on the same property, and therefore cannot be built on corners, or adjacent to a building already set back from the sidewalk.
- (2) The forecourt opening shall be a maximum of 30 feet wide.
- (3) When combined with stoops, the courtyard may be slightly raised from sidewalk grade and landscaped or paved, with a low decorative wall along the sidewalk edge.
- (4) When combined with retail, restaurant and service uses, all three sides of the courtyard must feature shopfront entrances and display windows and the forecourt must be treated as an extension of the sidewalk space.

iv) Setback Area Treatment

Any setback area treatment is determined by the development's primary frontage type.



f) Common Lobby Entry

i) Definition

A frontage type featuring a type of building entrance that provides access to a multiplicity of private residential units, office spaces or hotel rooms via a semi-public building lobby space. The private spaces are accessible via private entrances are typically not accessible from a public outdoor space.

ii) Application

- (1) This Frontage types is generally appropriate for office, residential or hotel buildings.
- (2) *Limited* Application permitted in Development Standards: Where common lobby entry is specified in (Section 2.1 – Development Standards) as “limited” this private frontage type may only interrupt continuous ground level shopfronts up to two locations per block face, and may not be applied to building facades as the sole private frontage treatment along any façade elevation.

iii) This frontage type is appropriate for office, multi-family residential, and lodging uses where:

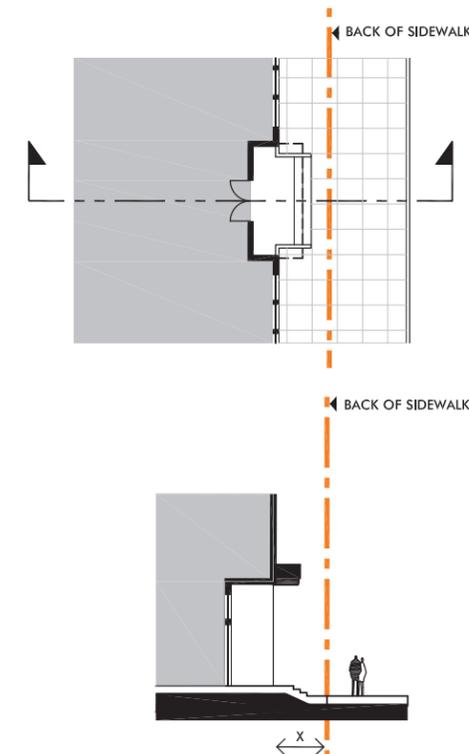
- (1) Such uses are positioned above a ground-level retail and parking podium.
- (2) Where direct access to/from such uses from streets and other public spaces is not a priority

iv) Façade & Entrance Treatment

- (1) A common lobby entry should be visually prominent and easy to identify
- (2) Multi-family residential buildings featuring Common Lobby Entry treatments shall have a Common Lobby Entry a minimum of every 100 feet
- (3) Entrances may be inset up to 5 feet from the primary building wall and are typically raised above the sidewalk.

v) Setback Area Treatment

- (1) Setback areas (indicated with an “x” in the illustration below) may be landscaped, paved, or be a combination of landscaping and paving per section 2.6.9.
- (2) Where specified in Development Standards Charts as *limited* the setback areas shall be treated as Paved/Sidewalk Extension per section 2.6.9.



3) Private Frontage Specifications (cont.)

g) Stoop

i) Definition

A frontage treatment featuring an entrance stairway to a residence typically constructed close to the sidewalk.

ii) Application

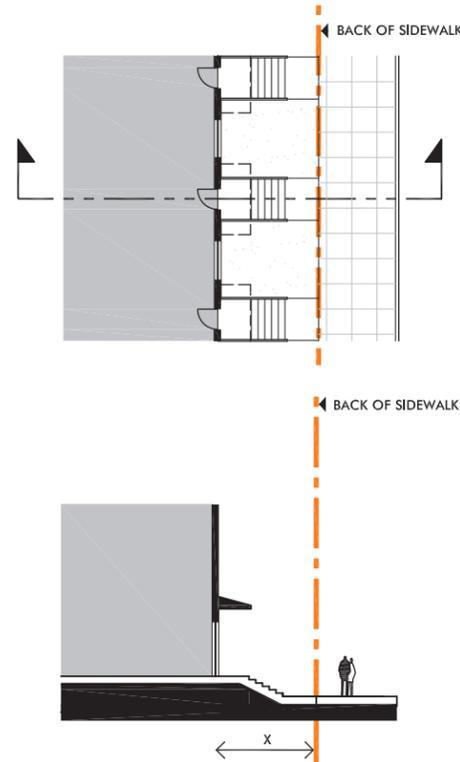
This frontage type is suitable only for residential use.

iii) Façade & Entrance Treatment

- (1) Stoops may feature a portico entrance at the top of the stair, and may encroach into the front setback area.
- (2) Stoops may serve multiple entrances.
- (3) Multiple stoops may be combined to increase the scale of the entrance.

iv) Setback Area Treatment

Setback areas (indicated with an “x” in the illustration below) may be landscaped, paved, or be a combination of landscaping and paving per section 2.6.9.



h) Porch

i) Definition

A frontage type featuring is a roofed space, open along two or more sides and adjunct to a building, commonly serving to shelter an entrance and provide a private outdoor space appended to a residence.

ii) Application

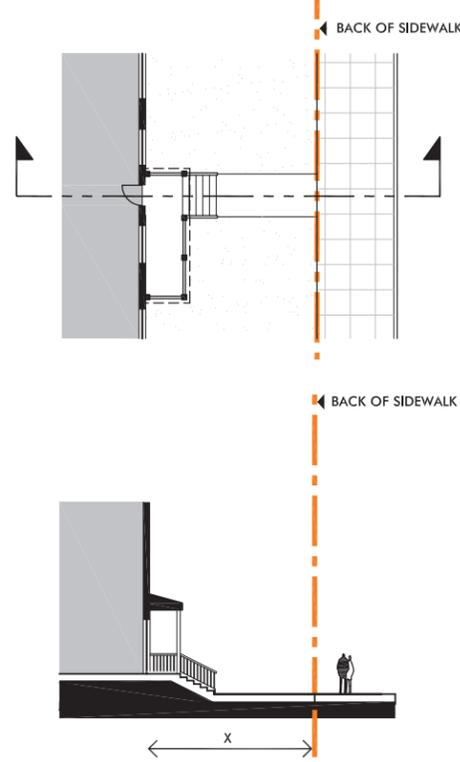
This frontage type is appropriate for residential use only.

iii) Façade & Entrance Treatment

Porches may serve multiple entrances.

iv) Setback Area Treatment

- (1) When expressed as a separate mass appended to the primary front building plane, the porch may encroach into the front setback zone.
- (2) Setback areas (indicated with an “x” in the illustration below) shall be landscaped per section 2.6.9.



i) Front Door

i) Definition

A frontage type featuring the main entrance to a residence, in combination with a deep landscaped setback.

ii) Application

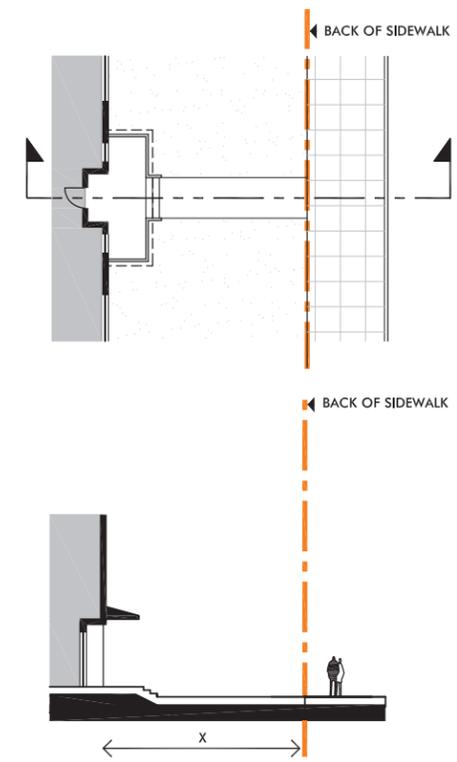
This frontage type is appropriate for residential use only.

iii) Façade & Entrance Treatment

Front Doors may feature a covered entrance or entrance platform that may encroach into the front setback area.

iv) Setback Area Treatment

Setback areas (indicated with an “x” in the illustration below) shall be landscaped per section 2.6.9.



3) Private Frontage Specifications (cont.)

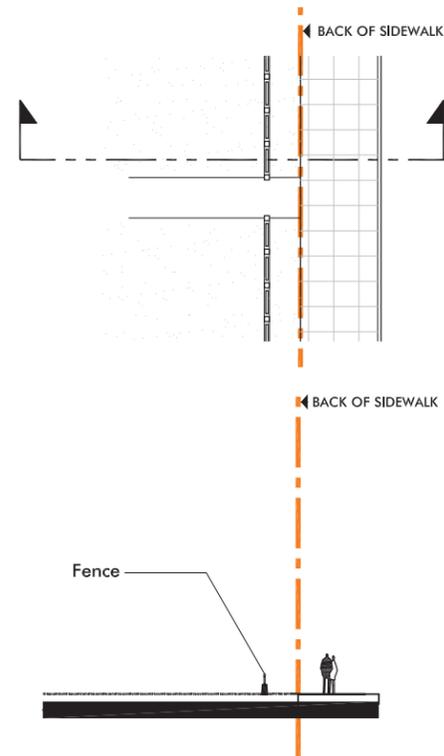
j) Edge Treatment: Fenced

i) Definition

An edge treatment characterized by a low decorative fence constructed at or very close to the edge of the public sidewalk.

ii) Setback Area Treatment

- (1) A low masonry base makes an excellent addition to the decorative fence.
- (2) The fence may be located along the public sidewalk or setback as shown.
- (3) Any setback area treatment is determined by the development's primary frontage type.



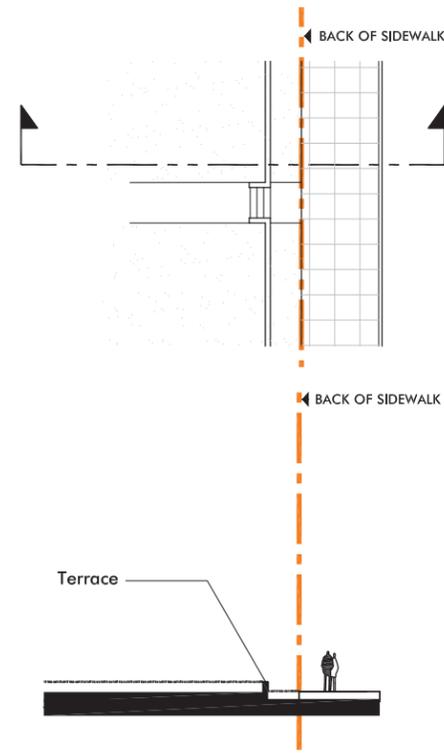
k) Edge Treatment: Terraced

i) Definition

An edge treatment characterized by a raised planted front yard and decorative low retaining wall at or very close to the edge of the public sidewalk.

ii) Setback Area Treatment

- (1) The retaining wall may be located along the public sidewalk or setback as shown.
- (2) Any setback area treatment is determined by the development's primary frontage type.



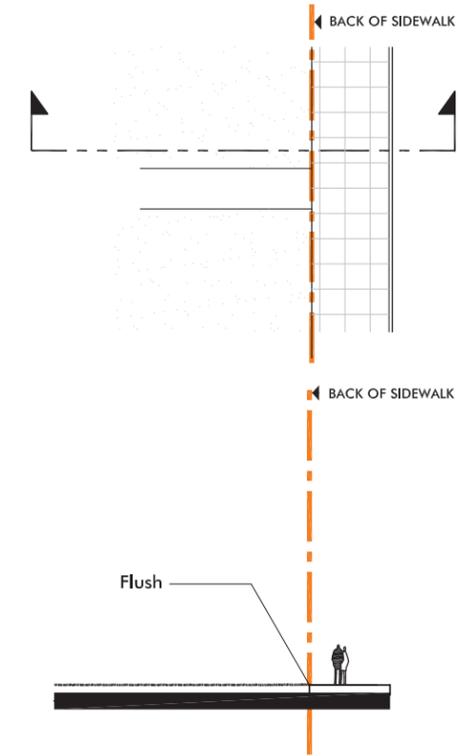
l) Edge Treatment: Flush

i) Definition

An edge treatment built at sidewalk grade and that extends to the edge of the public sidewalk.

ii) Setback Area Treatment

Any setback area treatment is determined by the development's primary frontage type.



2.4.3 Front Yard Setback

1) Definition

Front Yard Setback is defined as the required minimum or permitted (maximum) distance from the back-of-sidewalk line to the primary building façade as shown in Fig.2.4.3 Front Yard Setback. (see section 2.4.2. – Public Frontage Types to determine how to locate back-of-sidewalk)

2) Regulation

a) General

- i) All buildings must be located to conform to the minimum and maximum Front Yard Setback Standards specified for each Corridor Center and Segment in section 2.1. – Development Standards.
- ii) The Front Yard Setback for each Private Frontage Type shall be located as depicted by the Private Frontage Type Illustrations in Section 2.4.2.
- iii) Portions of a building that are not part of the primary building mass, such as entrance porticos, bays and stoops, are not required to meet minimum height requirements.

b) Additional Requirements

- i) At required setback areas, arcades, awnings, entrance porticos, porches, stoops, stairs, balconies, bay windows, eaves, covered and entrance overhangs, are permitted to encroach up to six feet within the required front street setback as shown in the frontage type illustrations.
- ii) At zero-setback areas, building overhangs such as trellises, canopies and awnings may extend horizontally beyond the back-of-sidewalk, but may not under any circumstances encroach further than within two and half (2 ½) feet of the face-of-curb.
 - (1) Encroachments may extend up to a maximum of six (6) feet into the public frontage areas.
 - (2) These overhangs must provide a minimum of eight (8) feet clear height above sidewalk grade.

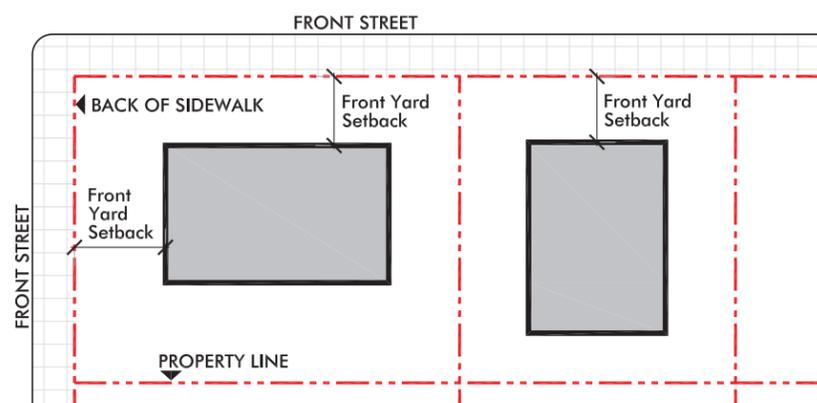


Fig.2.4.3 Front Yard Setback

iii) The disposition and treatment of Front Yard Setbacks is further regulated in the following sections:

- (1) Private Open Space Types provides addition specific regulation for the treatment of setback zones in conjunction with various private open space types.
- (2) Section 2.6.8 – Open Space Landscaping establishes landscape standards and guidelines for the treatment of front yard setback zones

2.4.4 Side Yard Setback

1) Definition

Side Yard Setback is defined as the required distance from the side property line to any building as shown in Fig.2.4.4. Side Yard Setback.

2) Regulation

a) General

- i) All buildings must be located to conform to the minimum Side Yard Setback standards as specified for each Corridor Center and Segment in section 2.1. – Development Standards.
- ii) The required Side Yard Setback shall depend upon whether or not the side facade has windows into active living spaces.
- iii) The side yard setback area must be landscaped per section 2.6.8 – Open Space Landscaping.

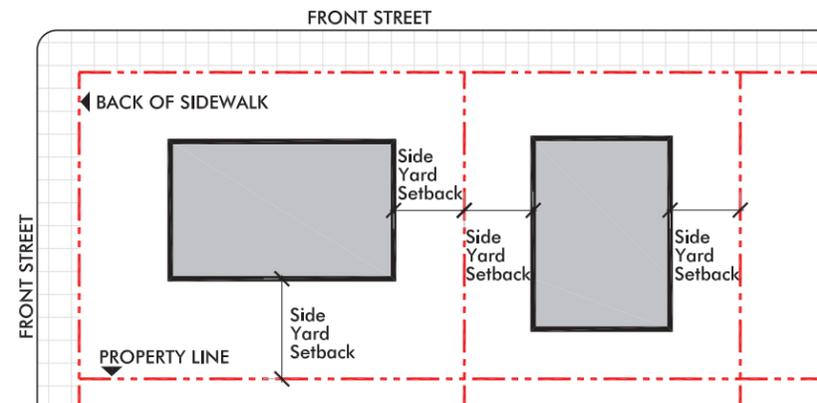


Fig.2.4.4 Side Yard Setback

2.4.5 Rear Yard Setback

1) Definition

Rear Yard Setback is defined as the required distance from the rear property line to any building as shown in Fig.2.4.5. Rear Yard Setback.

2) Regulation

a) General

- i) All buildings must be located to conform to the minimum Rear Yard Setback standards as specified for each Corridor Center and Segment in section 2.1. – Development Standards.
- ii) The rear yard setback area must be landscaped per section 2.6.8 – Open Space Landscaping.

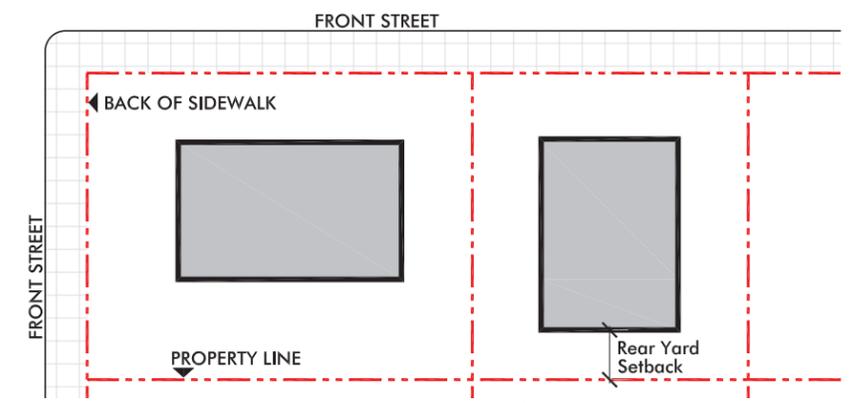


Fig.2.4.5 Rear Yard Setback

2.4.6 Alley Setback

1) Definition

Alley Setback is defined as the distance from an alley right-of-way to any building as shown in Fig.2.4.6. Alley Setback.

2) Regulation

a) General

- i) All buildings shall be sited to conform to the minimum Alley Setback dimensions. As specified for each Corridor Center and Segment in section 2.1. – Development Standards.
- ii) The alley setback area must be landscaped per section 2.6.8 – Open Space Landscaping.

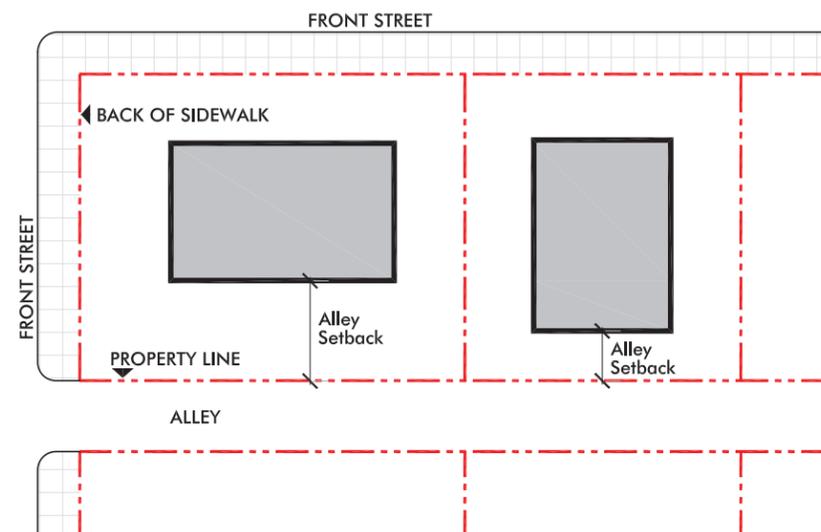


Fig.2.4.6 Alley Setback

2.4.7 Frontage Coverage

1) Definition

- i) Frontage Coverage is defined as the minimum percentage of the length of the frontage coverage zone that shall be occupied by a primary building façade(s).
- ii) The Frontage Coverage Zone is defined as the space between the minimum and maximum front yard setback lines and the minimum side yard or front yard setback lines as shown in Fig.2.4.7. Frontage Coverage.

2) Regulation

a) General

All development shall include buildings located within the Frontage Coverage Zone such that minimum frontage coverage requirements are met, as specified for each Corridor Center and Segment in section 2.1. – Development Standards.

b) Exceptions

- i) In order to provide vehicular access to parking areas in the interior or at the rear of a parcel if no other access is available, a vehicular breezeway may count toward frontage coverage requirements:
 - (1) A vehicular breezeway is a covered driveway penetrating the building.
 - (2) The width of a vehicular breezeway shall not exceed the width of the curb cut plus the width of an adjacent ADA compliant pedestrian sidewalk.
- ii) In order to connect the public sidewalk with publicly accessible spaces such as courtyards, parking areas, and alleys in the interior or at the rear of a parcel, a pedestrian breezeway may count toward frontage coverage requirements:
 - (1) A pedestrian breezeway is covered walkway penetrating the building for pedestrian use only.
 - (2) The width of a pedestrian breezeway shall not exceed fifteen (15) feet.

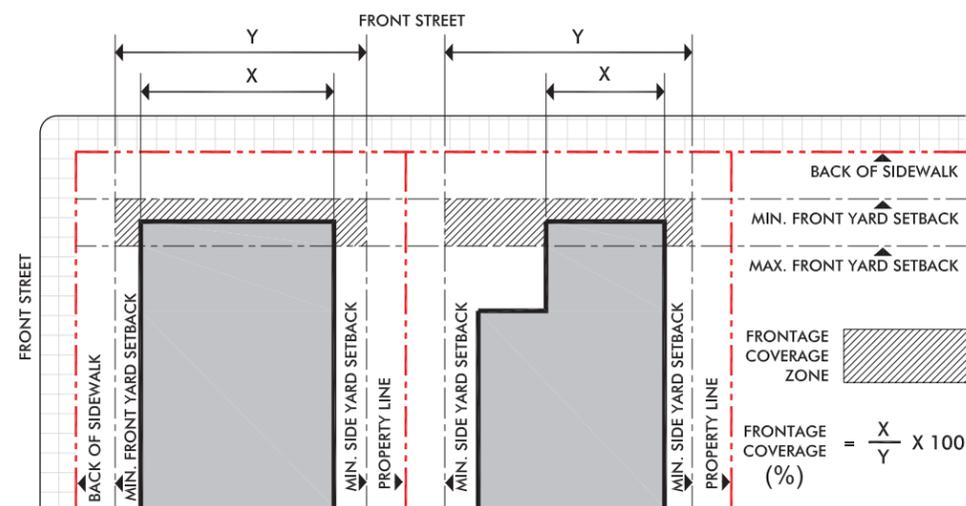


Fig.2.4.7 Frontage Coverage

2.4.8 Space Between Buildings

1) Definition

Space between buildings is defined as the distance measured between the primary building mass of two adjacent buildings on a single property as shown in Fig.2.4.8 Space Between Buildings.

2) Regulation

If a developer is building multiple buildings on a single property, the required minimum space between buildings shall be as specified for each Corridor Center and Segment in section 2.1. – Development Standards.

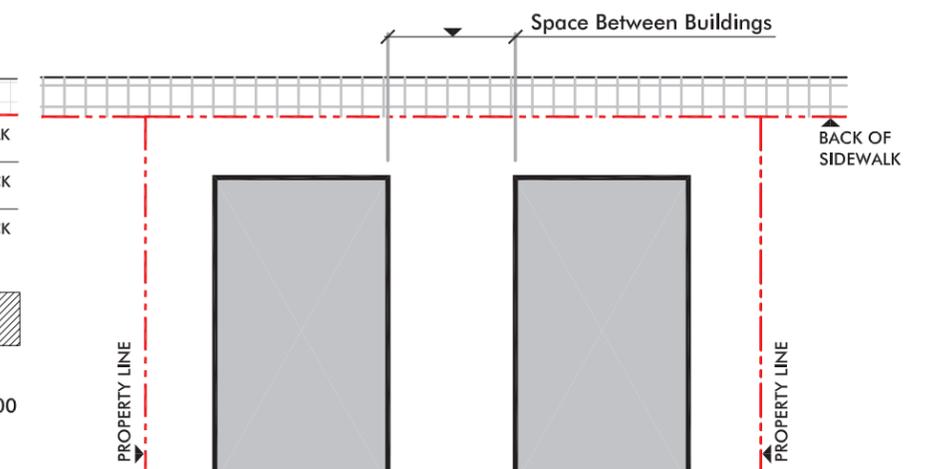


Fig.2.4.8 Space Between Buildings

2.4.9 Build-to-Corner

1) Definition

- i) Build-to-Corner is defined as a portion of a building that occupies the build-to-corner zone at the intersection of two streets.
- ii) The Build-to-Corner Zone is defined as the space between the required minimum and maximum front yard setback lines for each intersecting streets as shown in Fig.2.4.9 Build-To-Corner.

2) Regulation

All development shall include buildings sited within the build-to-corner zone such that minimum build-to-corner requirements are met as specified for each Corridor Center and Segment in section 2.1. – Development Standards.

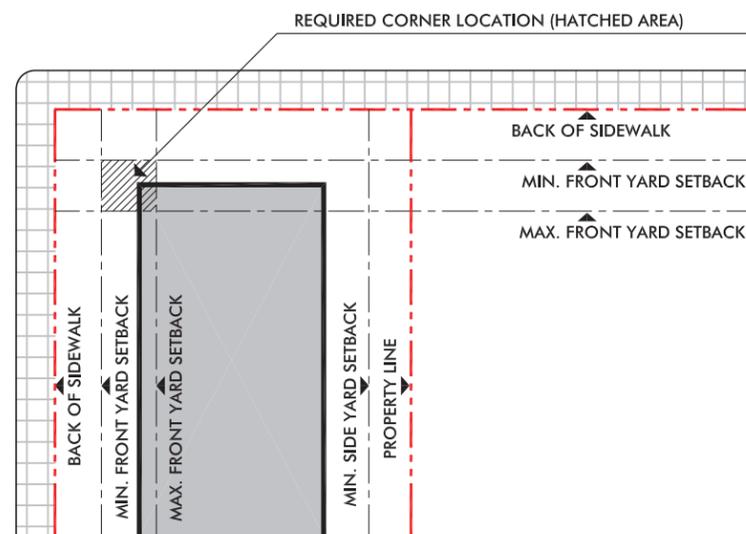


Fig.2.4.9 Build-to-Corner

2.5 STREET REGULATIONS

This section contains Regulations and Guidelines for the improvement, provision, configuration, and design of streets. Implementation of improvements required along *existing streets* is also addressed in Book III Public Improvements.

Street Regulations are set forth to ensure that streets and blocks throughout the Plan Area are upgraded or built with the quality and care necessary to enhance the connectivity of streets, to create safe and attractive streetscape environments, and to encourage walking throughout the plan area as it intensifies.

The *Street* is defined as the area between back-of-sidewalk lines. It includes the moving lanes, parking lanes and medians as well as the sidewalk and any sidewalk landscape areas (see Fig. 2.5 Corridor Definition of Terms).

Streets can be publicly or privately owned and maintained. All new streets within the Plan Area, both public and private, shall be designed and configured according to the following regulations.

2.5.1 Improvements to Existing Streets

Streetscape improvements to existing streets are required to promote the type of change envisioned by the community by providing attractive and compatible environments for the desired types of new development, as well as for highly valued existing development.

The design of specific streetscape improvements is integrated with the configuration of Centers and Segments established in Fig. 2.1. Corridor Centers and Segments Map. This coordination results in the organization of streetscape improvements into three primary segment improvement types: “Classic Boulevard” improvements along Edinger Avenue, “Palm Tree Boulevard” improvements along Beach Boulevard north of Main Street and “Parkway” improvements along Beach Boulevard south of Main Street. Further detail on the extent and implementation of streetscape improvements can be found in Book III.

1) Definition

- i) The Thoroughfare is the area between a street’s curbs. It includes the moving lanes, parking lanes, and central medians.
- ii) Public Frontage is the area between the thoroughfare curb face and the back-of-sidewalk line, including the sidewalk and any sidewalk landscape areas as shown in Fig. 2.5 Corridor Definition of Terms.

2) Regulation

a) General

- i) Improvements to existing streets are required for each Corridor Center and Segment as specified in section 2.1. – Development Standards along all street frontages.
- ii) Street Improvements along Beach Blvd., Edinger Ave., and all other existing streets shall be designed and constructed as illustrated in the Streetscape Specifications established in this section.
- iii) In instances where existing streets areas already contain Public Frontage of Thoroughfare features that are sufficiently similar to those required in the Plan and depending on the condition of those features, all or part of the required Street Improvements may be waived by the Public Works Director.
- iv) In instances where the City of Huntington Beach has preceded the proposed new development with the installation of the required Street Improvements, the property owner shall reimburse the City for the costs of that portion of the installation along the length of the private property. Funding mechanisms such as a reimbursement agreement, Community Facilities District, or other mechanism may be considered.
- v) In instances where new streets must be constructed – that is, in instances where there are no existing public frontage or thoroughfare conditions – the public frontage and thoroughfare will be installed as part of the required new street standards specified in Section 2.5.2. Street Types (New Street Design).

The developer will be responsible for the design and construction of the public frontage and the thoroughfare along these streets.

vi) All development applications shall clearly identify fire access routes subject to Fire Department Review. *Note: Developers must reference Huntington Beach Fire Department City Specification # 401 (Minimum Standards for Fire Apparatus Access) and City Specification #415 (Fire Lanes Signage and Markings on Private, Residential, Commercial and Industrial Properties) for Fire Access Road requirements.*

b) Thoroughfare Improvements

- i) Thoroughfare Improvements along existing streets from the face of curb to the thoroughfare centerline shall be paid for by the developer as development occurs.
- ii) Responsibility for and timing of the installation of Thoroughfare Improvements shall be determined by the Public Works Director.

c) Public Frontage Improvements

- i) The installation of new Public Frontage Improvements (from the back-of-sidewalk to the face of curb) is required as development occurs.
- ii) In instances where installation of required public frontage improvements as part of on-site construction are found to be impractical - for example in instances where the private frontage is particularly narrow or fragmented, the property Owner/Developer may request to the City that an in-lieu fee be paid for the required public frontage improvements when they can be combined with those on adjacent properties or as part of a city-sponsored street improvement program. If the city agrees, a cost estimate shall be submitted to the City by the developer for review and acceptance.

d) Locating Back-of-Sidewalk

- i) All Existing Street Improvement diagrams are installed behind the location of the face of curb existing at the time of property development. Therefore, the location of the back of the newly installed sidewalk (the back of the sidewalk is furthest from the curb) is determined by adding up the cross-section dimensions of the required Public Frontage Improvements in-board of the existing face-of-curb.

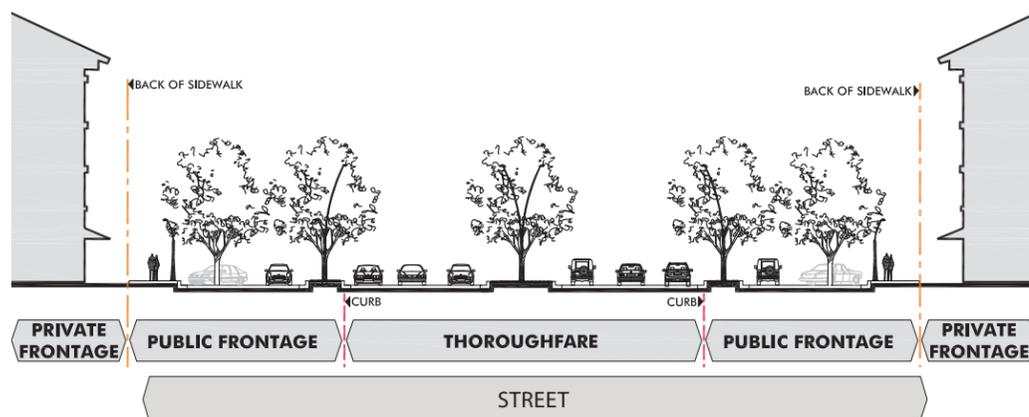


Fig.2.5 Corridor Definitions of Terms

3) Classic Boulevard Specifications

Classic Boulevard improvements, thoroughfare and public frontage must include the following specifications (see diagrams):

i) Thoroughfare Configuration:

Three (3) through lanes in each direction, a landscaped center median with left turn pockets at select intersections.

ii) Center Median:

- (1) Curbed landscaped median with six (6) inch curbs and twelve (12) inch stamped concrete safety stepping areas on both sides.
- (2) Iconic double arm boulevard-scale street lighting located along centerline of the median at approximately ninety (90) feet on-center. Light source should be located twenty-five to thirty (25-30) feet above finished grade and centered between street trees. Finish color: fresh green.
- (3) Moderately large single species tree – Jacaranda mimosifolia – located along the centerline of the median approximately thirty (30) feet on-center and aligned across the street with other trees as much as possible. Tree canopy to be trained into a round-shaped form with an open habit. Special sub-surface construction is required to allow for proper tree growth and health.
- (4) Median to be planted with native/ water efficient, low groundcover of green foliage, which requires minimal irrigation and a low level of maintenance.

iii) Access Lane Configuration

- (1) Protected access lanes with a row of angled parking oriented at forty-five (45) degrees to the curb are separated from the through lanes by curbed landscaped separators.
- (2) Moderately large single species tree – Jacaranda mimosifolia – located in flush tree grates in the angled parking zone at approximately thirty (30) feet on-center and aligned across the street with other trees as much as possible. Tree canopy to be trained into a round-shaped form with an open habit. Special sub-surface construction is required to allow for proper tree growth and health.

iv) Access Lane Separator:

- (1) A nine (9) foot curbed landscape separator (six (6) inch curbs and twelve (12) inch stamped concrete safety stepping areas on both sides) located between the thoroughfare and access lanes.
- (2) Iconic double arm boulevard-scale and pedestrian-scale street lighting located within the curbed landscaped separators with a spacing of approximately ninety (90) feet on-center. Light source should be located twenty-five to thirty (25-30) feet above finished grade for boulevard-scale street lighting and twelve to fourteen (12-14) feet above finished grade for pedestrian-scale street lighting. Finish color: fresh green.
- (3) Moderately large single species tree – Jacaranda mimosifolia – located along the centerline of the curbed landscaped separators with a spacing

of approximately thirty (30) feet on-center and aligned across the street with other trees as much as possible. Tree canopy to be trained into a round-shaped form with an open habit. Special sub-surface construction is required to allow for proper tree growth and health.

- (4) Separator to be planted with native/ water efficient, low groundcover of green foliage, which requires minimal irrigation and a low level of maintenance.

v) Pedestrian Zone

- (1) A minimum twelve (12) foot wide sidewalk.
- (2) Iconic single arm, pedestrian-scale street lighting located on the sidewalk at back-of-curb and spaced approximately at sixty (60) feet on-center and centered between trees in the access lane. Finish color: fresh green.
- (3) Picket fence style benches with Jarrah wood or FSC certified Ipe wood slats and steel frame, and steel trash receptacles with an aesthetic that evokes the beach and surf culture. Metalwork finish color: fresh green.

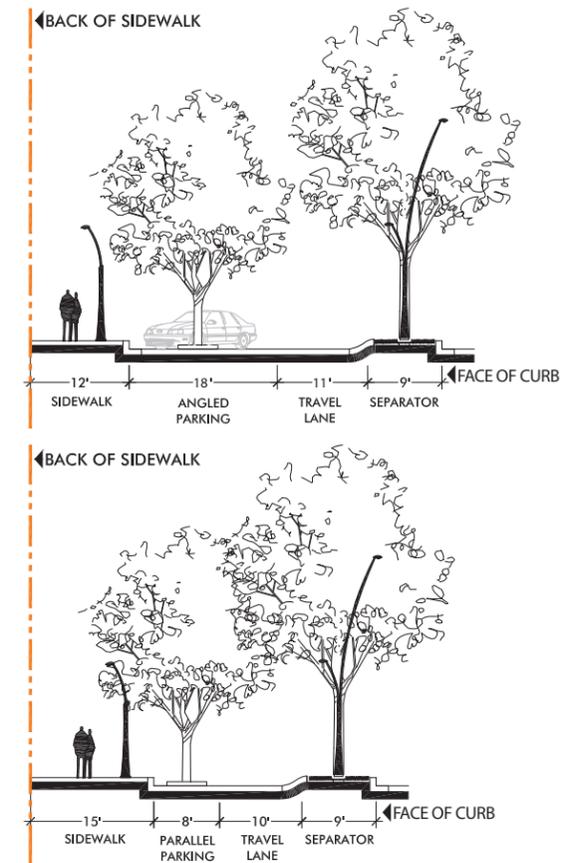
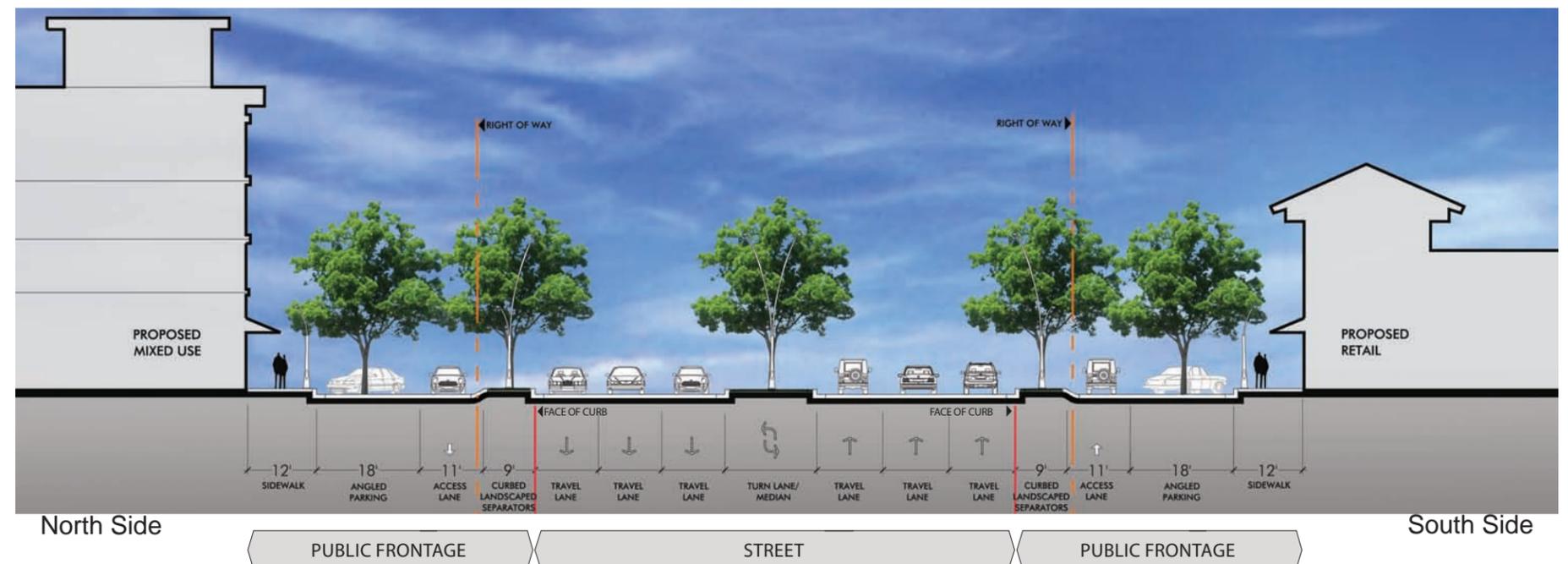


Fig.2.5.1. - 3) Classic Boulevard Public Frontage



4) Palm Tree Boulevard Specifications

Palm Tree Boulevard improvements, thoroughfare must include the following specifications (see diagram):

i) **Thoroughfare Configuration:**

- (1) Four (4) through lanes in each direction and a landscaped center median with left turn pockets at select intersections.

ii) **Center Median:**

- (1) Curbed landscaped median with six (6) inch curbs and twelve (12) inch stamped concrete safety stepping areas on both sides.
- (2) Iconic double arm boulevard-scale street lighting located along centerline of the median at approximately ninety to one hundred and twenty (90-120) feet on-center (or every three (3) clusters of palm trees). Street lighting to be the first vertical element at the ends of the median and light source should be located twenty-five to thirty (25-30) feet above finished grade. Finish color: fresh green.
- (3) Clusters of three single-species, tall palm trees – *Roystonea regia* - arranged roughly every thirty to thirty-five (30-35) feet. Trees to be uplit at night.
- (4) Median to be planted with native/ water efficient, low groundcover of green foliage, which requires minimal irrigation and a low level of maintenance.

a) Typical Configuration:

Palm Tree Boulevard improvements, public frontage must include the following specification (see diagram):

- (1) A minimum six (6) foot wide sidewalk separated from the back of curb by a four (4) foot continuous planter strip.
- (2) Iconic double arm boulevard-scale and pedestrian-scale street lighting located within the planter strip at approximately ninety (90) feet on-center. Light source should be located twenty-five to thirty (25-30) feet above finished grade for boulevard-scale street lighting and twelve to fourteen (12-14) feet above finished grade for pedestrian-scale street lighting. Finish color: fresh green.
- (3) Planter strip to be planted with native/ water efficient, low groundcover of green foliage, which requires minimal irrigation and a low level of maintenance.
- (4) Picket fence style benches with Jarrah wood or FSC certified Ipe wood slats and steel frame, and steel trash receptacles with an aesthetic that evokes the beach and surf culture. Metalwork finish color: fresh green.

b) Neighborhood Center Streetfront

Where Neighborhood Center Streetfront improvements are required, public frontage must include the following specification (see diagram below):

i) **Pedestrian Zone**

- (1) A minimum eighteen (18) foot wide sidewalk shall provide ample room for pedestrians to walk, and to encourage activities including outdoor dining, locations for kiosks, food carts, and flower stalls.
- (2) Iconic double arm boulevard-scale and pedestrian-scale street lighting at approximately eighty (80) feet on-center. Light source should be located twenty-five to thirty (25-30) feet above finished grade for boulevard-scale street lighting and twelve to fourteen (12-14) feet above finished grade for pedestrian-scale street lighting. Finish color: fresh green.
- (3) Light standards selection to be specified by Planning Director and Public Works Director/Designee.
- (4) Furnishings

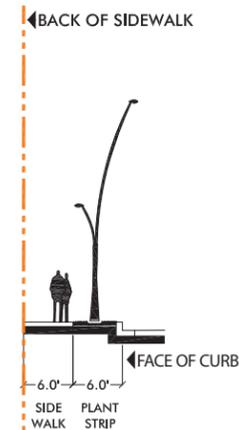


Fig.2.5.1. - 4a) Typical Public Frontage

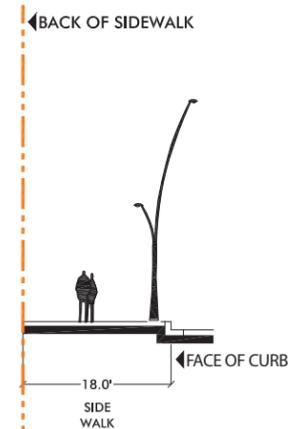
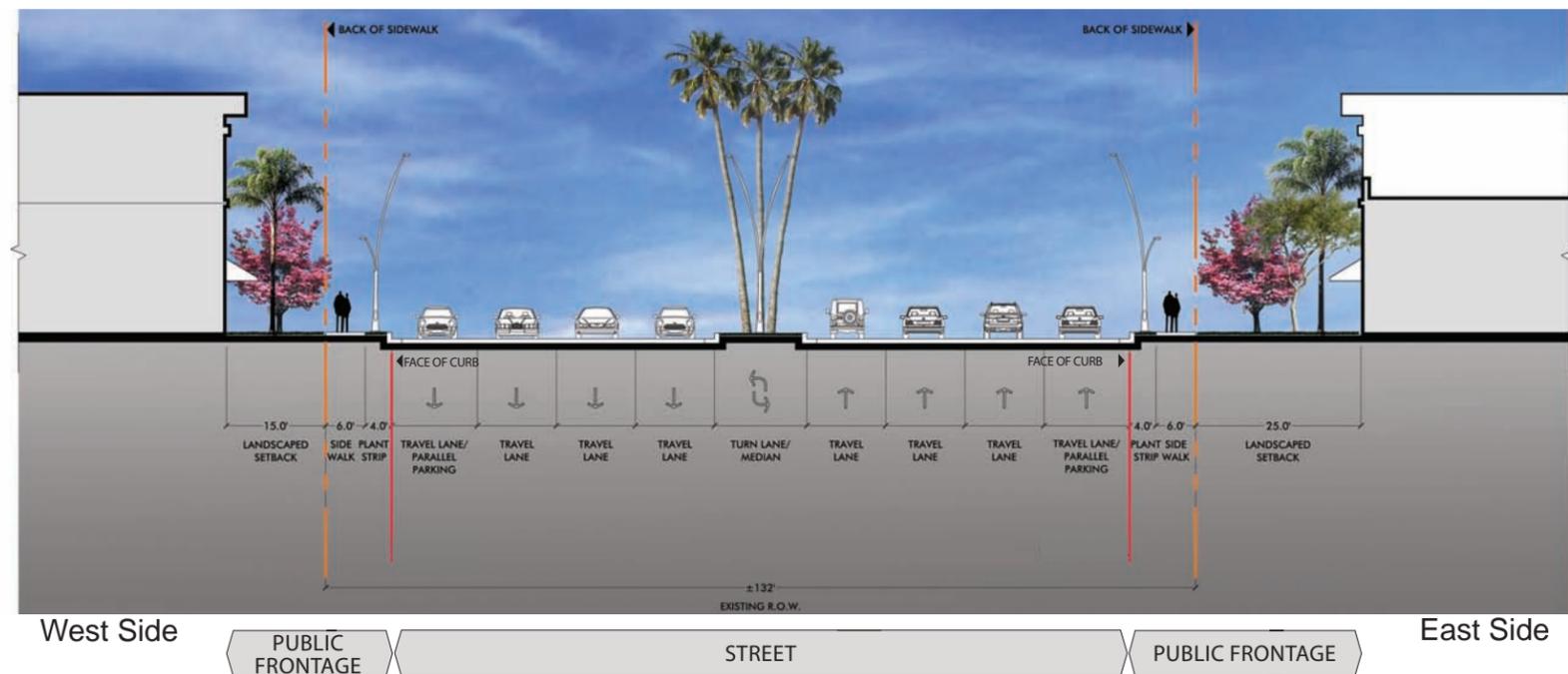


Fig.2.5.1. - 4.)b) Neighborhood Center Streetfront Public Frontage



5) Parkway Specifications

Parkway improvements, thoroughfare must include the following specifications (see diagram):

i) **Thoroughfare Configuration:**

- (1) Three (3) through lanes in each direction with occasional parallel parking along the sidewalk curb, and a landscaped center median with left turn pockets at select intersections.

ii) **Center Median:**

- (1) Curbed landscaped median with six (6) inch curbs and twelve (12) inch stamped concrete safety stepping areas on both sides.
- (2) An arrangement of alternating, informally shaped clusters of vegetation (Type A and Type B – described below) planted on within the median roughly every fifty to sixty (50-60) feet on-center. Strategically selected clusters of vegetation to be uplit at night. Low, native/water efficient groundcover of green foliage to be intermittent with the vegetation clusters.

(a) *Type A cluster: a single multi-trunk palm tree - Phoenix reclinata - broad-leaf tall native/ water efficient grasses and medium-height native/ water efficient groundcover with flowers.*

(b) *Type B cluster: a cluster of single-trunk, medium-height palm trees - Wodyetia bifurcata (trees selected from nurseries that seeded the trees in California) - small accent pigmy palms – Phoenix roebelenii - and low native/ water efficient grasses and/or groundcover, preferably with flowers.*

a) Typical Configuration:

Parkway improvements, public frontage must include the following specification (see diagram):

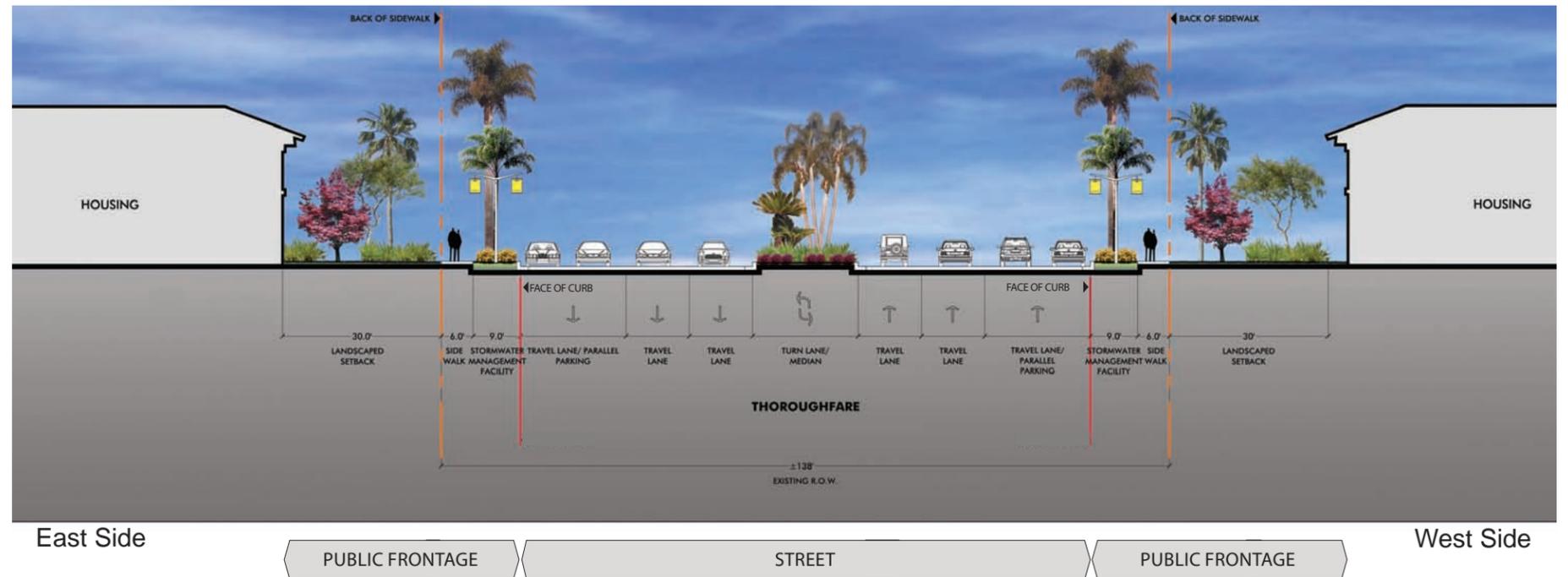
i) **Pedestrian Zone**

- (1) A minimum six (6) foot wide sidewalk separated from the back of curb by a seven and a half (7 ½) inch continuous planter strip with twelve (12) inch wide stamped concrete safety strip along the back of curb.
- (2) Unique double arm pedestrian-scale street lighting (reminiscent of colored Venetian lanterns that speaks to the romance and festive atmosphere of the beach in a modern way) located within the planting strip with a spacing of roughly eighty to ninety (80-90) feet on-center. The light source should be located at fourteen (14) feet from the finished grade with filters to create colored effects through a wrap-around foliage mask. Finish color: gun-metal.

- (3) Within planter strip, arrangements of two tall palm trees, with thick and very straight trunks - Roystonea regia – thirty (30) feet apart with a street light centered in between, are intermittent with an informal composition of medium-height palm trees - Wodyetia bifurcata and small accent pigmy palm trees - Phoenix roebelenii.
- (4) Planter strips to be built as functional stormwater management facilities whenever possible, landscaped with a mix of native/ water efficient, low groundcover of green foliage, which requires minimal irrigation and a low level of maintenance.
- (5) When parallel parking along the curb occurs, provide for breaks across the planting strip with stepping stones, in order to allow for passengers to reach the sidewalk.
- (6) Picket fence style benches with polysite slats and steel frame, and steel trash receptacles with an aesthetic that evokes the beach and surf culture. Metalwork and polysite finish color: white.



Fig.2.5.1. - 5a) Typical Configuration Public Frontage



b) Neighborhood Center Streetfront with Access Lane

Neighborhood Center with Access Lane improvements must include the following specification (see diagram below):

i) Access Lane Configuration:

- (1) Protected access lane with a row of angled parking, in between the sidewalk and the existing curb face, is separated from the through lane by a curbed landscaped separator.
- (2) Palm trees located in flush tree wells centered in the parking lane approximately forty (40) feet on-center or every two to three (2-3) parking stalls. Tree species to be specified by Planning Director and Public Works Director/Designee.

ii) Access Lane Separator:

- (1) A nine (9) foot curbed landscape separator with six (6) inch curbs and twelve (12) inch stamped concrete safety stepping areas on both sides located between the throughfare and access lane.
- (2) Unique double arm pedestrian-scale street lighting (reminiscent of colored Venetian lanterns that speaks to the romance and festive atmosphere of the beach in a modern way) located within the separator with a maximum spacing of eighty (80) feet on-center. The light source should be located at fourteen (14) feet from the finished grade with filters to create colored effects through a wrap-around foliage mask. Finish color: gun-metal.
- (3) Palm trees planted at a maximum spacing of forty (40) feet on-center. Tree species to be specified by Planning Director and Public Works Director/Designee.
- (4) Separator to be planted with native/ water efficient, low groundcover of green foliage, which requires minimal irrigation and a low level of maintenance.

iii) Pedestrian Zone

- (1) A minimum twelve (12) foot wide sidewalk.
- (2) Unique single arm pedestrian-scale street lighting (reminiscent of colored Venetian lanterns that speaks to the romance and festive atmosphere of the beach in a modern way) at a maximum spacing of eighty to ninety (80-90) feet on-center along the sidewalk back of curb and placed between trees in the access lane. The light source should be located at fourteen (14) feet from the finished grade with filters to create colored effects through a wrap-around foliage mask. Finish color: gun-metal.
- (3) Picket fence style benches with polysite slats and steel frame, and steel trash receptacles with an aesthetic that evokes the beach and surf culture. Metalwork and polysite finish color: white.

c) Neighborhood Center Streetfront with Palm

Neighborhood Center Streetfront with Palm improvements must include the following specification (see diagram below):

i) Pedestrian Zone

- (1) A minimum eighteen (18) foot wide sidewalk shall provide ample room for pedestrians to walk, and to encourage activities including outdoor dining, locations for kiosks, food carts, and flower stalls.
- (2) Unique double arm pedestrian-scale street lighting (reminiscent of colored Venetian lanterns that speaks to the romance and festive atmosphere of the beach in a modern way) located along the back of curb with a maximum spacing of eighty (80) feet on-center. The light source should be located at fourteen (14) feet from the finished grade with filters to create colored effects through a wrap-around foliage mask. Finish color: gun-metal.
- (3) Tall palm trees located in flush tree wells along the back of curb with an average spacing of forty (40) feet on center. Tree species to be specified by Planning Director and Public Works Director/Designee.
- (4) Picket fence style benches with polysite slats and steel frame, and steel trash receptacles with an aesthetic that evokes the beach and surf culture. Metalwork and polysite finish color: white.

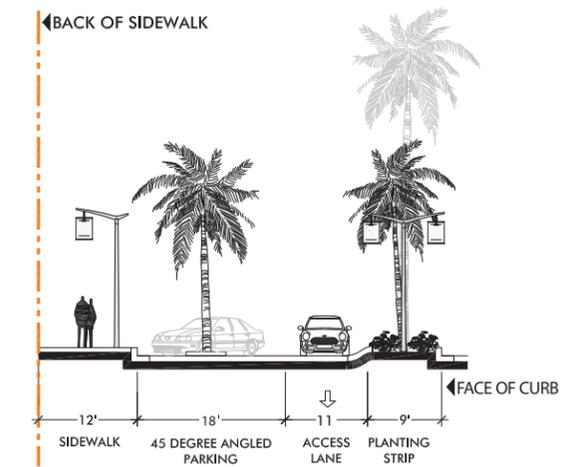


Fig.2.5.1. - 5)b)Neighborhood Center Streetfront with Access Lane Public Frontage



Fig.2.5.1. - 5)c) Neighborhood Center Streetfront with Palm Public Frontage

6) Standard Avenue

Standard Avenue improvements must include the following specification (see diagram below):

i) Pedestrian Zone

- (1) A minimum eighteen (18) foot wide sidewalk shall provide ample room for pedestrians to walk, and to encourage activities including outdoor dining, locations for kiosks, food carts, and flower stalls.
- (2) Decorative double arm boulevard-scale and pedestrian-scale street lighting at maximum spacing of eighty (80) feet on-center. Light source should be located eighteen to twenty-five (18-25) feet above finished grade for boulevard-scale street lighting and twelve to fourteen (12-14) feet above finished grade for pedestrian-scale street lighting. Light standards selection to be specified by Planning Director and Public Works Director/Designee.
- (3) Palm trees to be planted in flush tree wells at back of curb with a maximum spacing of forty (40) feet on-center. Tree species to be specified by Planning Director and Public Works Director/Designee.
- (4) Trees should be maintained in a way that provides unobstructed views to showroom windows and building signage.

7) Neighborhood Streets

Neighborhood Street improvements must include the following specification (see diagrams below):

i) Pedestrian Zone

- (1) A minimum six (6) feet wide sidewalk with a minimum six (6) feet wide continuous planting strip or twelve (12) feet wide sidewalk without continuous planting strip.
- (2) Streets with five (5) lanes or more shall provide pedestrian-scale/boulevard-scale decorative street lighting at a maximum spacing of ninety (90) feet on-center. Pedestrian-scale light source should be located twelve to fourteen (12-14) feet above finished grade and boulevard-scale light sources should be located eighteen to twenty-five (18-25) feet above finished grade.
- (3) Streets with four (4) lanes or less shall provide pedestrian-scale decorative street lighting at a maximum spacing of ninety (90) feet on-center. Light source should be located twelve to fourteen (12-14) feet above finished grade.
- (4) Light standards selection to be specified by Planning Director/Designee.
- (5) Each block shall have a single species of moderately large shade tree with a maximum spacing of thirty (30) feet on-center. Palm trees can be used as accents. Special sub-surface construction is required to allow for proper tree growth and health. Tree species to be specified by Planning Director/Designee.
- (6) Where no on street parking is present: trees must be located in continuous planting strips located along the back of curb (to buffer pedestrians from the adjacent roadway).
- (7) Where parallel parking is present: trees may be located in planting wells (with flush mounted tree grates as an option), or in continuous planting strips located along the back of curb.
- (8) Where angled parking is present: Trees shall be located in planting wells (with flush mounted tree grates as an option) at the back of curb.
- (9) Native/ water efficient, low groundcovers and shrubs, which require minimal irrigation and a low level of maintenance, must be located within planting strips.

ii) Landing Zone

- (1) The planting strip shall include a one (1) foot wide, paved auto passenger landing located along the back of curb.



Fig.2.5.1. - 6) Standard Avenue

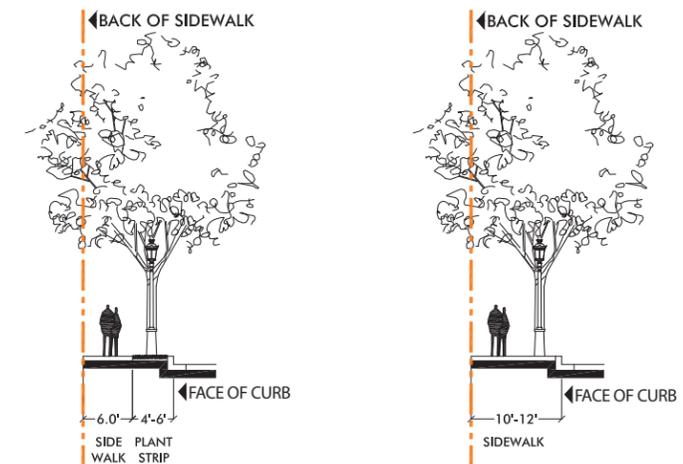


Fig.2.5.1 - 7) Neighborhood Streets

2.5.2 Provision of New Streets

1) Regulation

- i) The construction of new publicly accessible streets is required in instances where:
 - (1) The acreage of land to be developed exceeds the Maximum Block Size development standard.
 - (2) The satisfaction of East-West Street Connection requirements result in the required construction of a new street.
 - (3) The satisfaction of Residential Transition Boundary Street requirements result in the required construction of a new street.
 - (4) The satisfaction of Building Orientation to Streets and Public Open Spaces result in the required construction of a new street.
- ii) A single new street may satisfy multiple new street requirements if the street conforms to all regulations for each requirement.
- iii) New streets intended for public access may also be constructed voluntarily to fulfill the design and development objectives of the private property owner.
- iv) The provision, location, design and configuration of new streets shall conform to the regulations specified in the following sections.
- v) All development applications shall clearly identify fire access routes subject to Fire Department Review. *Note: Developers must reference Huntington Beach Fire Department City Specification # 401 (Minimum Standards for Fire Apparatus Access) and City Specification #415 (Fire Lanes Signage and Markings on Private, Residential, Commercial and Industrial Properties) for Fire Access Road requirements.*

2.5.3 Block Size

1) Definition

- i) Block Size is a measure of the total length of the street-fronting property lines along all block faces enclosed within the nearest surrounding publicly accessible streets.
- ii) Block Face is a measure of the length of the public right-of-way line between two street intersections.

2) Regulation

a) Maximum Block Size

- i) The Maximum Block Size regulation specifies the maximum total linear perimeter of contiguous property lines that form an individual city block.
- ii) Maximum Block Size regulations result in limitations on the amount of contiguous property that may be developed within the boundaries of publicly accessible streets.
- iii) Single properties or assemblages of contiguous properties - that exceed the specified Maximum Block Size standard must as part of new development, construct new publicly accessible streets in locations that result in the creation of city blocks that do not exceed the Maximum Block Size.
- iv) New streets must be designed, configured, and located in accordance with the standards specified in the following sections.
- v) The Maximum Block Size shall be as specified for each Corridor Center and Segment in section 2.1. – Development Standards.
- vi) In no case do alleys or passages qualify as defining edges of a block. For the purposes of determining block size, alleys and passages must always be considered as part of the interior of a block.

b) Maximum Edinger Avenue Block Face

- i) Any development proposed on a single parcel or assembled parcel 1) with Edinger Avenue frontage, 2) with a perimeter greater than 1900 feet and 3) located on a block with a block face longer than the Maximum Edinger Avenue Block Face shall provide:
 - (1) At least one new street perpendicular to Edinger Avenue
 - (2) The new street shall create a connection to a street parallel to Edinger Avenue.

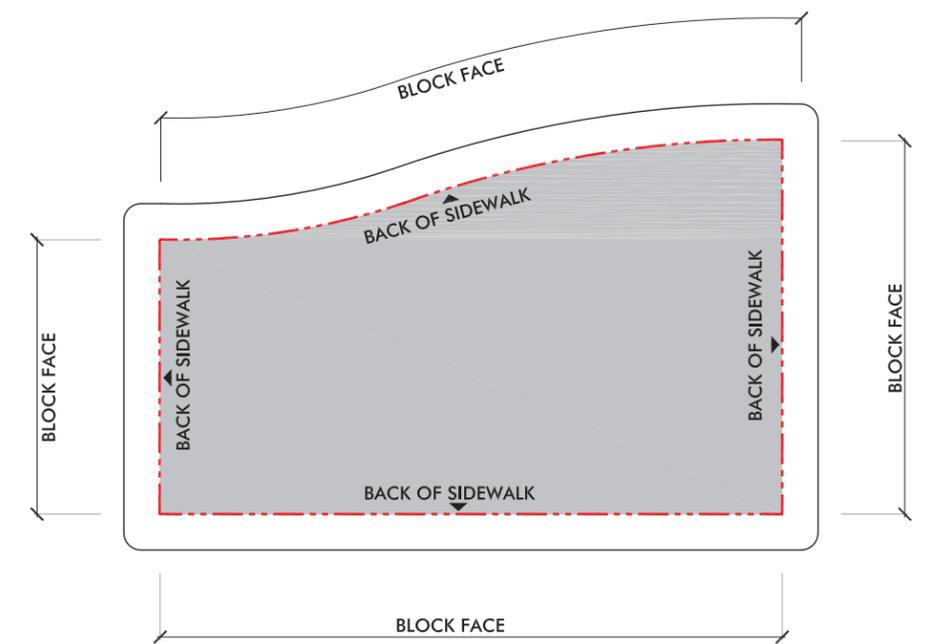


Fig.2.5.3 Block Size

2.5.4 Street Connectivity

1) Regulation

- i) All new Streets shall connect with existing streets and be configured to allow for future extension whenever possible.
- ii) Dead end streets and new gated internal streets shall not be permitted.
- iii) In order to maintain the accessibility provided by the block structure of the corridor, existing public streets or alleys may not be closed permanently unless the closure is part of the provision of a network of new streets that provide equivalent mobility and satisfy all street regulations.

2.5.5 Required East-West Street Connection

1) Regulation

- i) All properties with a side or rear property line along the plan area boundaries and indicated in the map below shall contribute to a connected vehicular through street parallel to Edinger Avenue.
- ii) Newly constructed segments of this street shall establish vehicular connections with segments previously constructed on adjacent properties.
- iii) Street segments shall be configured to allow for future extension whenever possible.
- iv) Coordinate transition of the street segments for each section.

2.5.6 Residential Transition Boundary Street

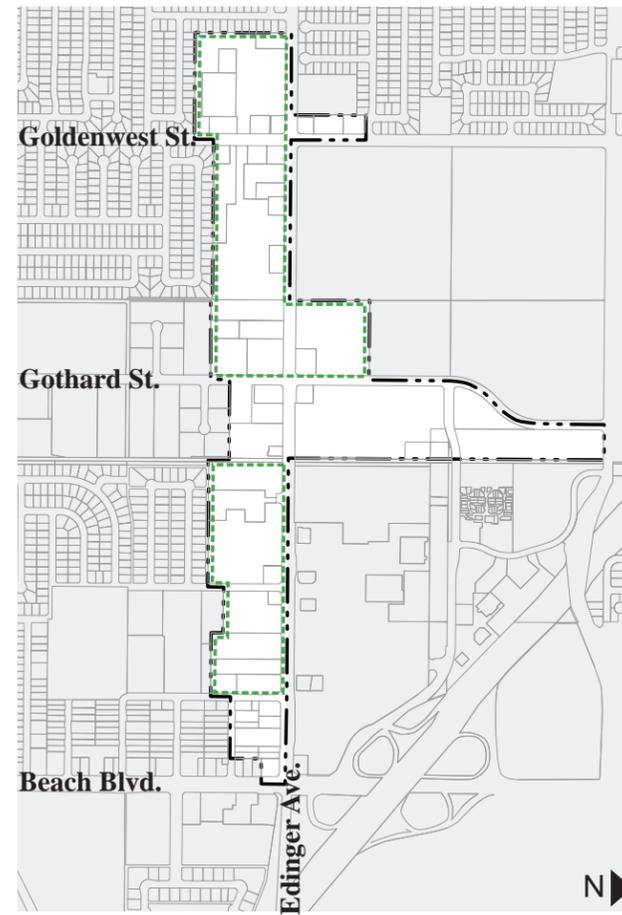
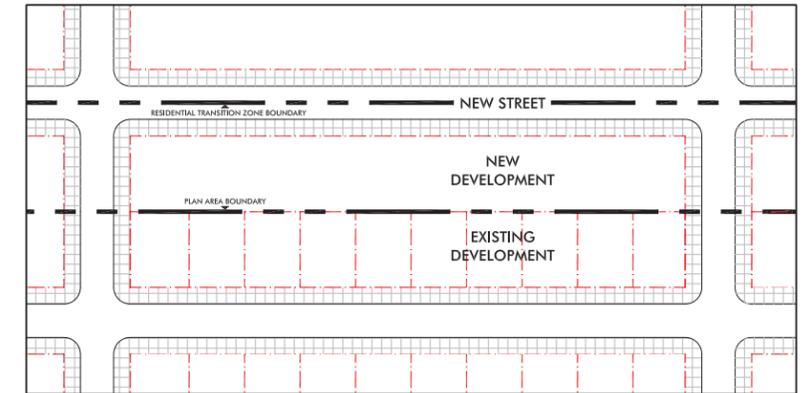


Fig.2.5.5 Required East-West Street Connection

1) Regulation

- i) A street shall be located along the Residential Transition Zone boundary within the Plan area. As shown in Fig.2.5.6 Residential Transition Boundary Street.
- ii) Newly constructed segments of this street shall establish vehicular connections with segments previously constructed on adjacent properties.
- iii) The provision of this street satisfies the required east-west street connection requirement.



2.5.6 Residential Transition Boundary Street



Residential Transition Near Edinger Ave.



Residential Transition Near 5-Points

2.5.7 Street Types (New Street Design)

In instances where *new streets* are required (e.g. to satisfy the Maximum Block Size regulations) as well as in instances where new streets are voluntarily provided by property developers, such new streets shall be designed in accordance with the regulations provided in this section.

The configuration and design of new streets is regulated by specifying a range of permitted Street Types that fit contextually within each Corridor Center and Segment. Any of the permitted Street Types may be selected for application on a property within a single Corridor Center and Segment, provided that 1) a single street type is employed continuously for the entire block; 2) streets being installed to satisfy Maximum Block Size requirements may not be Alleys or Passages; and 3) coordinate transition of the street segments for each section.

The range of Street Types permitted within each Corridor Center and Segment is specified in the Development Standards Chart for each Corridor Center and Segment. The design standards specified for each permitted Street Type are detailed in the text and illustrations set forth for each Street Type in the sections below.

Note: Construction of all street sections requires Fire Department approval. See the Planning Director.

1) City Street - illustrated in Figure 2.5.7 - 1)

a) Purpose:

Organize the primary public realm to create an environment suitable for shopping and strolling along active retail, eating, and entertainment uses. City Street sidewalks should be wide and unobstructed to provide ample room for pedestrians to walk, and to encourage activities including outdoor dining, locations for kiosks, food carts, and flower stalls.

b) Pedestrian Zone

i) Each block shall have a single species of moderately large, open-habit deciduous trees.

- (1) Trees shall be located in planting wells with flush mounted tree grates at the back of curb with a maximum spacing of forty (40) feet on-center or in the parking zone. Special sub-surface construction is required to allow for proper tree growth and health
- (2) Trees shall be selected and maintained in a way that provides unobstructed views to showroom windows and building signage.

ii) Decorative pedestrian-scale street lighting in sidewalk with a maximum spacing of 80 feet on-center. Light source should be located twelve to fourteen (12-14) feet above finished grade.

c) Parking Zone

i) On-street parking oriented parallel or at a forty-five (45) degree angle to the curb.

ii) Each block shall have a single species of moderately large, open-habit deciduous trees.

- (1) Trees shall be located in curbed planting wells or flush tree grates every two (2) parking spaces at forty-eight (48) feet on-center.

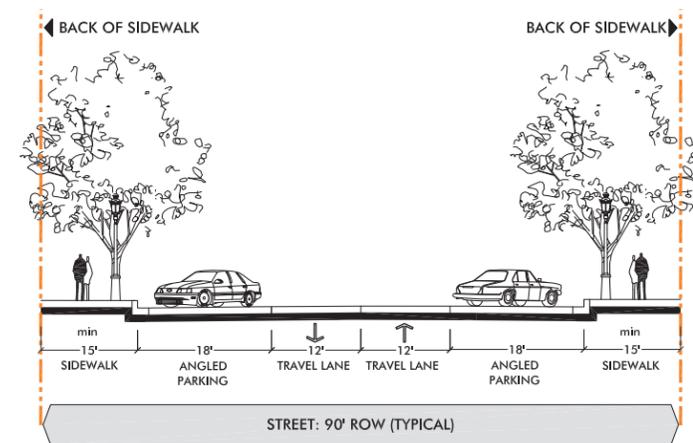
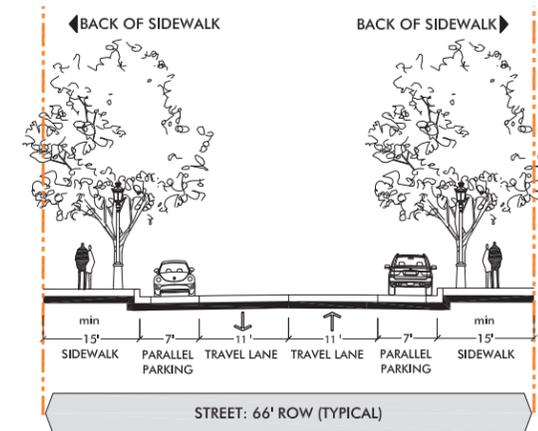


Fig.2.5.7. - 1) City Street

2) Public Open Space with City Street – illustrated in Figure 2.5.7 - 2)

a) Purpose:

Physically define the edges of linear green, square, or plaza with a streetscape environment that enhances the value of its surroundings.

b) Pedestrian Zone

- i) Each block shall have a single species of moderately large, open-habit deciduous trees.
 - (1) Trees shall be located in planting wells with flush mounted tree grates at the back of curb with a maximum spacing of forty (40) feet on-center. Special sub-surface construction is required to allow for proper tree growth and health.
 - (2) Trees shall be maintained in a way that provides unobstructed views to showroom windows and building signage.
- ii) Decorative pedestrian-scale street lighting in sidewalk with a maximum spacing of 80 feet on-center. Light source should be located twelve to fourteen (12-14) feet above finished grade.

c) Parking Zone

- i) The street shall include on-street parking oriented parallel to the curb.

d) Landing Zone

- i) Where open space is along a travel lane, a one (1) foot wide, paved safety stepping area along the curb shall be included.

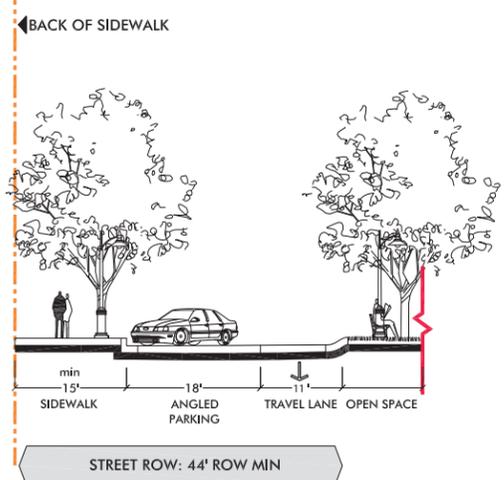
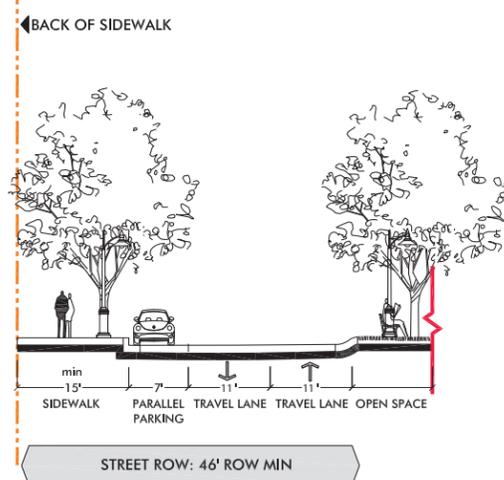
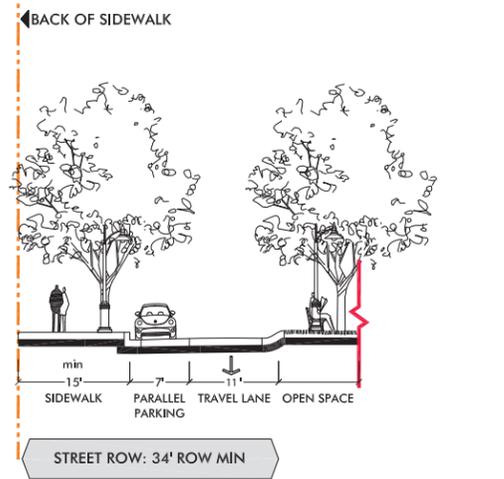


Fig.2.5.7. - 2) Public Open Space with City Street

3) Neighborhood Street – illustrated in Figure 2.5.7 - 3)

a) Purpose:

Provide an intimate and attractive neighborhood street that is intended as a narrow street to ensure slow moving vehicular traffic and create a livable environment.

b) Pedestrian Zone

- i) Each block shall have a single species of moderately large shade trees with maximum spacing of thirty (30) feet on-center.
 - (1) Trees may be located in planting wells (with or without flush mounted tree grates) at the back of curb, in continuous planting strips a maximum of eight (8) feet wide located along the back of curb, and/or in the Parking Zone. In all instances special sub-surface construction is required to allow for proper tree growth and health.
- ii) Native/ water efficient, low groundcovers and shrubs, which require minimal irrigation and a low level of maintenance, must be located within planting strips.
- iii) Decorative pedestrian-scale street lighting shall be provided within the sidewalk at a maximum spacing of ninety (90) feet on-center and staggered in relation to the street lights on the sidewalk across the street. Light source should be located twelve to fourteen (12-14) feet above finished grade.

c) Parking Zone

- i) The street shall include on-street parking oriented parallel to the curb.
- ii) Each block shall have a single species of moderately large, open-habit deciduous trees.
 - (1) Trees shall be located in curbed planting wells or flush tree grates every two (2) parking spaces at forty-eight (48) feet on-center. Special sub-surface construction is required to allow for proper tree growth and health.
 - (2) Where trees are located in the Parking Zone, trees in the Pedestrian Zone are encouraged to be staggered between the trees in parking lanes and evenly spaced for the length of the street.

d) Landing Zone

- i) The planting strip shall include a one (1) foot wide, paved auto passenger landing located along the back of curb.
- ii) The median shall include a one (1) foot wide, paved safety stepping area along the curbs on both sides.

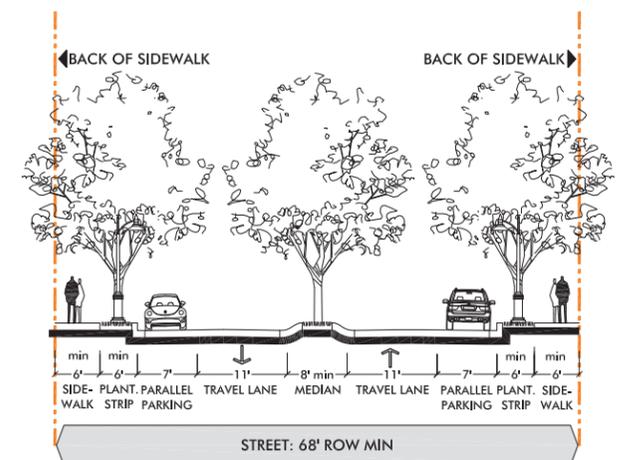
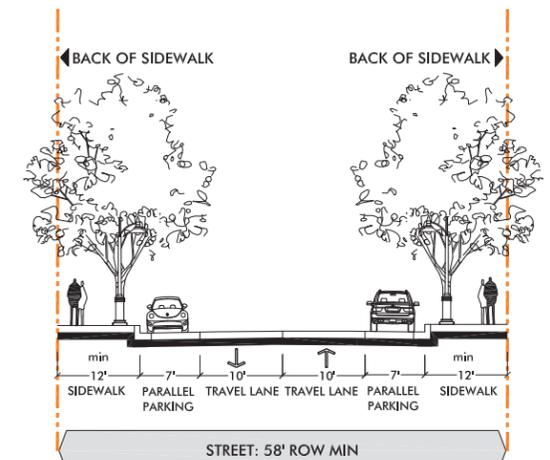
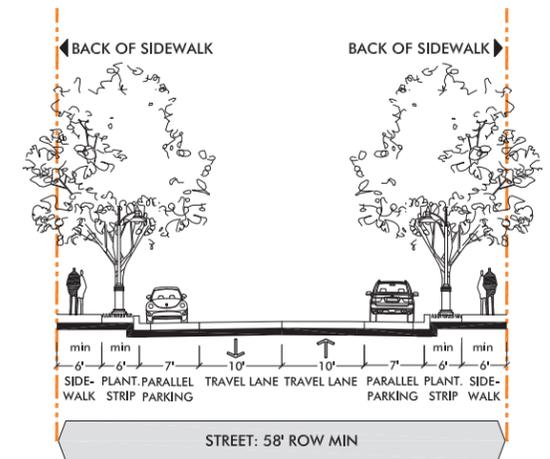


Fig.2.5.7. -3) Neighborhood Street

4) Public Open Space with Neighborhood Street – illustrated in Figure 2.5.7 - 4)

a) Purpose:

Physically define the edges of linear green or square with a streetscape environment that enhances the value of its surroundings.

b) Pedestrian Zone

- i) Each block shall have a single species of moderately large shade trees with maximum spacing of thirty (30) feet on-center.
 - (1) Trees may be located in planting wells (with or without flush mounted tree grates) at the back of curb or in continuous planting strips a maximum of eight (8) feet wide located along the back of curb. In both instances special sub-surface construction is required to allow for proper tree growth and health.

- ii) Native/ water efficient, low groundcovers and shrubs, which require minimal irrigation and a low level of maintenance, must be located within planting strips.
- iii) Decorative pedestrian-scale street lighting shall be provided within the sidewalk at a maximum spacing of ninety (90) feet on-center and staggered in relation to the street lights on the sidewalk across the street. Light source should be located twelve to fourteen (12-14) feet above finished grade.

c) Parking Zone

- i) The street shall include on-street parking oriented parallel to the curb.

d) Landing Zone

- i) The planting strip shall include a one (1) foot wide, paved auto passenger landing located along the back of curb.
- ii) Where open space is along a travel lane, a one (1) foot wide, paved safety stepping area along the curb shall be included.

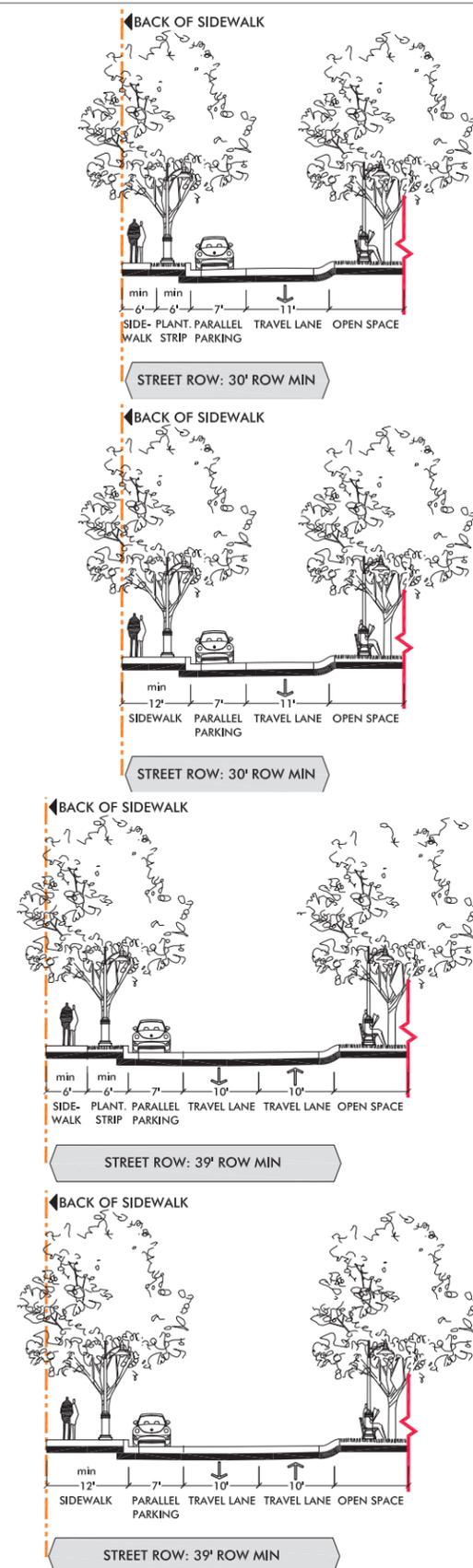


Fig.2.5.7. - 4) Public Open Space with Neighborhood Street

5) Alley – illustrated in Figure 2.5.7 - 5)

a) Purpose:

New Alleys may be constructed to provide vehicular and pedestrian access to rear yard garages, carriage homes and service areas.

b) Components

- i) Alley right-of-way shall be a minimum of twenty (20) feet when serving residential development.
- ii) Alley right-of-way shall be a minimum of twenty-four (24) feet when serving commercial development.
- iii) The Alley must be entirely paved (Permeable/Pervious Paving materials are highly recommended for alley paving).
- iv) Street lights compatible with those required on Neighborhood Streets shall be provided at a minimum spacing of one hundred (100) feet. Lighting fixtures may be freestanding in alley setback areas, or may be attached to garage structures.
- v) When used to provide pedestrian access, state and federal ADA requirements shall be met.

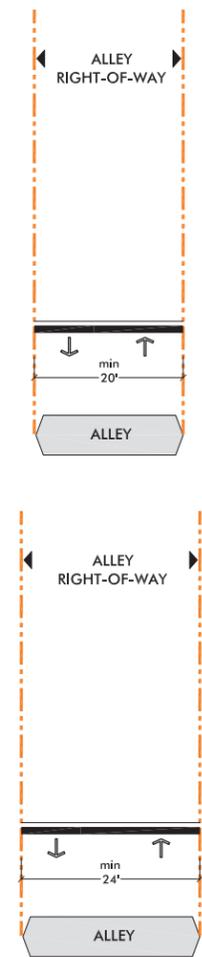


Fig.2.5.6. - 5) Alley

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2.6 OPEN SPACE REGULATIONS

This section contains Regulations and Guidelines for the provision and design of open spaces and landscaping elements other than new streets which are covered in Section 2.5. They are designed to ensure that publicly accessible open spaces are provided and built with the quality and care necessary to ensure the development of a varied network of well used, inter-connected public spaces that enhance the livability of the Plan Area.

2.6.1 Provision of Public Open Space

1) Definition

- i) Public Open Spaces are outdoor spaces that are accessible to the public and include seating, lighting and landscaping. They may or may not be sheltered from the elements.
- ii) Public Open Spaces can be publicly or privately owned and maintained.

2) Regulation

- i) The amount of Public Open Space required shall be as specified for each Corridor Center and Segment in section 2.1. – Development Standards.
- ii) Public Open Spaces shall be designed as one of the Public Open Space Types defined in section 2.6.4.
- iii) Public Open Space shall be built within the development area by developers as development occurs.
- iv) In instances where small or awkwardly shaped properties make the provision of on-site public open space impractical, the Planning Director may permit the in-lieu payment of the cost to construct the required amount of usable open space off site.
- v) At the discretion of the Planning Director, required open space may be constructed off site and/or as part of a larger public open space being provided by the City or other private developments.

vi) Except properties with a Special Public Open Space Requirement pursuant to Section 2.6.2 on-site public open space shall not be used to satisfy compliance with park dedication or park in-lieu fee requirements pursuant to the Huntington Beach Zoning and Subdivision Ordinance Chapters 230 and 254.

3) General Requirements

- i) All Public Open Spaces shall abut public rights-of-way or be otherwise connected to public sidewalks and shall be open to the public twenty-four (24) hours a day. At the discretion of the Public Works Director/Designee, public access to a Public Open Space may be restricted after dark.
- ii) Unless otherwise specified in 2.6.4. Public Open Space Types, the minimum width of a Public Open Space shall be twenty (20) feet.
- iii) All Public Open Spaces shall be visible from surrounding streets and avoid masses of shrubs around edges.

2.6.2 Special Public Open Space Requirement

The following special requirement applies to development within the area shown in Fig.2.6.2 Town Center Neighborhood Map

1) Primary Open Space

- i) At least one Primary Public Open Space larger than a ½ acre shall be provided.
- ii) The Primary Open Space shall count toward all affected developments' Provision of Public Open Space requirements.
- iii) All affected properties shall contribute to the construction cost of the Primary Open Space.
- iv) The Primary Public Open Space shall be centrally located within the Town Center Neighborhood (The exact location of the Primary Open Space may be determined by developers but must be determined before development occurs).
- v) The Primary Public Open Space shall be a green, square, or plaza, see Section 2.6.4 – Public Open Space Types.
- vi) The Primary Public Open Spaces shall abut public streets, alleys or passages or abut a public easement for vehicular/pedestrian access on at least three sides.
- vii) The Primary Public Open Space may be used towards the park dedication or park in-lieu fee requirements pursuant to Huntington Beach Zoning and Subdivision Ordinance Chapters 230 and 254.

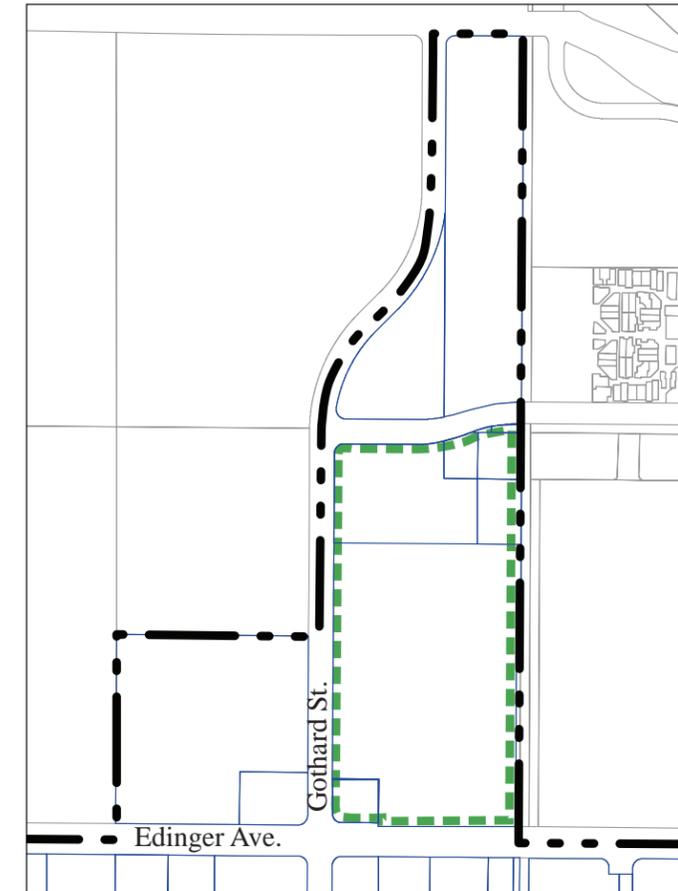


Fig.2.6.2 Town Center Neighborhood Map

2.6.3 Provision of Private Open Space

1) Definition

- i) Private Open Spaces are privately controlled outdoor spaces that are extensions of private indoor open space.
- ii) Private Open Spaces are privately owned and maintained.

2) Regulation

- i) The amount of Private Open Space required shall be as specified for each Corridor Center and Segment in section 2.1. – Development Standards.
- ii) Private Open Spaces shall be designed as one of the Private Open Space Types defined in section 2.6.5 – Private Open Space Types.
- iii) Private Open Space shall be built by developers as development occurs.
- iv) Required maximum setback areas shall not be counted towards Provision of Private Open Space requirements.
- v) Private Open Space shall not be exposed to utility, service, or loading areas.

2.6.4 Public Open Space Types

Public open spaces within the Plan Area shall be designed as one of the Public Open Space Types defined in this section. Guidelines for design are provided in Section 2.6.8.

1) Park

- i) An open space available for community recreation, and respite from the city.
- ii) A park may be independent of surrounding building frontages.
- iii) Landscaping consists of naturalistic / informal paths and trails, meadows, water-bodies, woodland and open shelters.
- iv) Parks are larger than the maximum block size. They typically separate districts; large parks are districts in their own right
- v) Park shall be adjacent to a public street or an easement for vehicular/pedestrian access

2) Linear Green

- i) A long, narrow open space available for community recreation and civic purposes.
- ii) A linear green shall be surrounded by streets on all sides.
- iii) Landscaping consists of lawns or ornamental grasses and shrubs, paths, and trees.
- iv) Linear greens shall not exceed the maximum block size.
- v) A linear green must be at least fifteen (15) feet wider than either of its flanking streets. In shopping districts linear greens should not exceed 100 feet.

3) Square

- i) An open space available for community recreation and civic purposes.
- ii) A square is a free standing city block; it shall be spatially defined by building frontages and streets on all sides.
- iii) Landscaping consists of paths, lawns or ornamental grasses and trees.
- iv) Squares shall be located at the intersection of important streets.
- v) Squares shall not exceed the maximum block size.

4) Plaza

- i) An open space available for civic purposes, commercial activities, and community recreation.
- ii) A plaza shall be open to by a public street on at least one side.
- iii) Plazas should be located at the intersection of primary pedestrian routes.
- iv) Landscaping is primarily enhanced/enriched hardscape.
- v) Plazas shall not exceed one (1) acres.

- vi) The ground level frontage(s) not separated from the plaza by public streets shall be primarily lined with shopfronts.

5) Mid-Block Green

- i) A square located in the “middle” of a block for community recreation.
- ii) A Courtyard Square shall be spatially defined by building frontages on all sides.
- iii) Landscaping consists of paths, lawns or ornamental grasses, and trees.
- iv) Courtyard Squares shall connect to a public right of way through a network of Passages/paseos and/or stairways and shall be ADA accessible.
- v) Courtyard Squares shall be a minimum of thirty (30) feet along the East-West axis and twenty (20) feet along the North-South axis.
- vi) Courtyard Squares shall not exceed the maximum block size.

6) Courtyard Plaza

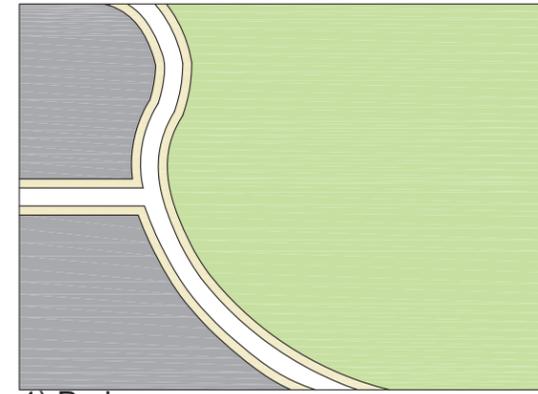
- i) A plaza located in the “middle” of a block for community recreation and commercial activities
- ii) A Courtyard Plaza shall be spatially defined by buildings on at least three (3) sides.
- iii) Landscaping is primarily enhanced/enriched hardscape.
- iv) Courtyard Plazas shall connect to a public right of way through a network of Passages/paseos and/or stairways and shall be ADA accessible.
- v) Courtyard Plazas shall be a minimum of thirty (30) feet along the East-West axis and twenty (20) feet along the North-South axis.
- vi) Courtyard Plazas shall not exceed a size of one fifth (1/5) acre.

7) Passage/paseo

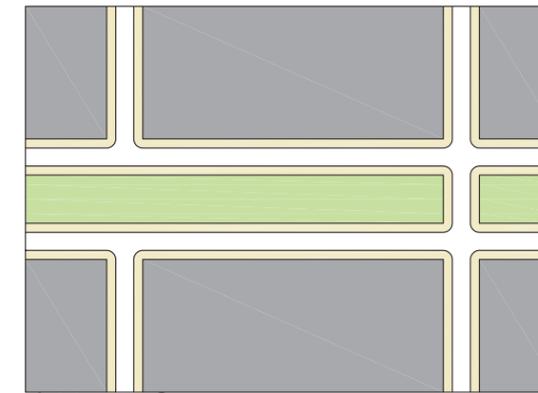
- i) A pedestrian only connector passing between buildings to provide shortcuts through long blocks and access to rear parking areas or courtyards.
- ii) Passages/Paseos shall link two or more public spaces.
- iii) Passages/Paseos shall be a minimum of ten (10) feet and a maximum of twenty (20) feet in width.
- iv) Walking surface is primarily enriched/enhanced hardscape

8) Pocket Park/playground

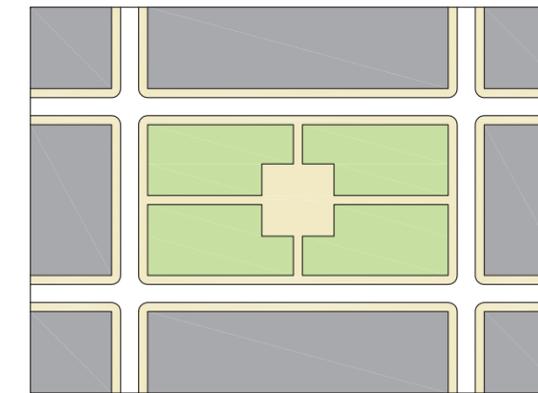
- i) A pocket park is a small open space designed for recreation of nearby residents; a playground is a small open space equipped for children to play in while being supervised by adults.
- ii) A Pocket Park/Playground shall be a minimum of thirty (30) feet along the East-West axis and twenty (20) feet along the North-South axis.
- iii) A Pocket Park/Playground shall not be located on the corner of a block where build-to-corner is required (see section 2.4.9)



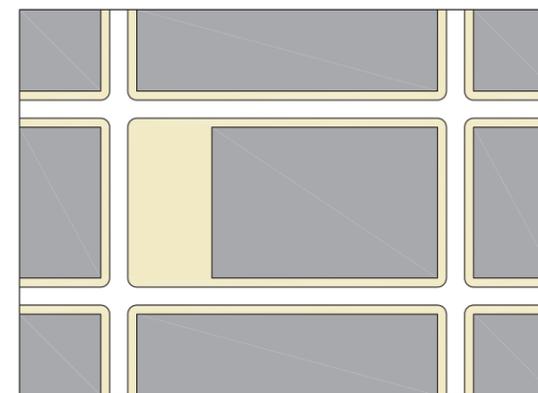
1) Park



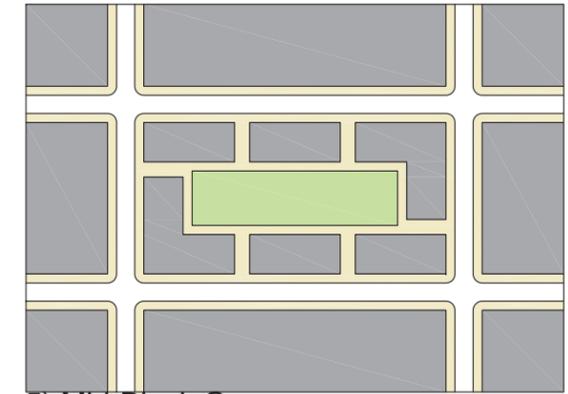
2) Linear Green



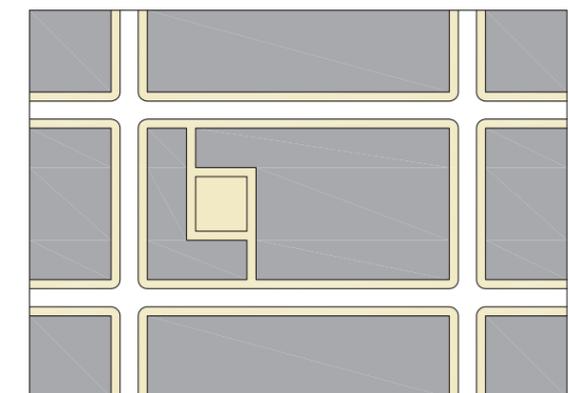
3) Square



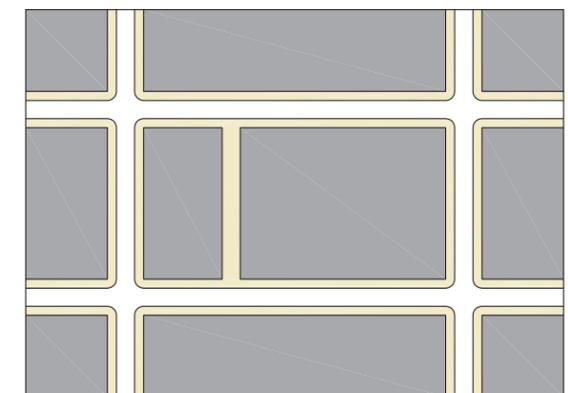
4) Plaza



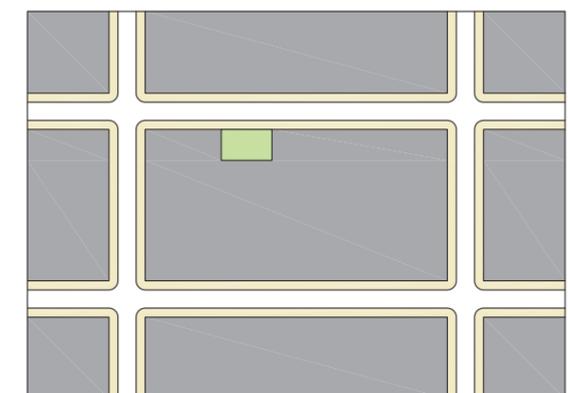
5) Mid-Block Green



6) Courtyard Plaza



7) Passage/Paseo



8) Pocket Park/Playground

- iv) A pocket park may be primarily paved with enriched/enhanced hardscape or landscaped; a playground should have the character of a small park.

2.6.5 Private Open Space Types

Private Open Spaces shall be designed as one of the Public Open Space Types defined in this section.

1) Courtyard

- i) A private or privately shared internal open space enclosed by buildings on at least 2 sides, and by buildings or walls on at least three (3) sides.
- ii) Courtyards shall be a minimum of thirty (30) feet along the East-West axis and twenty (20) feet along the North-South axis.
- iii) Landscaping may consist of enriched/enhanced hardscape and/or planted areas including water efficient lawns, trees, plants in pots, fountains, etc.
- iv) Courtyards located over parking podiums shall be designed to avoid the sensation of forced podium hardscape through the use of ample landscaping and enriched paving with planters.
- v) Private yard spaces may include edge walls or fences, provided that their inclusion does not violate Building Orientation or Private Frontage Treatment requirements.

2) Private Yard

- i) A side yard or rear yard (excluding required setback areas) which is accessed by secondary unit entrance(s).
- ii) The primary access to a Private Yard shall be from the dwelling(s) served.
- iii) The minimum dimensions for a Private Yard in any single direction shall be eight (8) feet.
- iv) Landscaping consists primarily of planted areas including water efficient plantings of, lawns, trees, plants in pots, etc. and may be combined with a Porch.
- v) Private yard spaces may include edge walls or fences, provided that their inclusion does not violate Building Orientation or Private Frontage Treatment requirements.

3) Porch

- i) A patio, porch, terrace, or other platform extending from or adjacent to a building at the ground floor which is accessed by secondary unit entrance(s).
- ii) The primary access to a Patio/Terrace shall be from the dwelling(s) served.
- iii) The minimum dimensions for a Patio/Terrace in any single direction shall be eight (8) feet.

4) Rooftop Deck or Garden

- i) A private or privately shared deck or yard on the roof of a building.
- ii) The minimum dimensions for a Rooftop Deck or Garden in any single

direction shall be eight (8) feet.

- iii) Gardens and green roofs are encouraged to help minimize heat sinks and to pre-treat water from storms prior to it entering the storm drain system

5) Balcony

- i) An outdoor space extending from a private upper floor of a building, which is accessed directly from a secondary unit entrance.
- ii) Access to a Balcony shall be limited to the dwelling served.
- iii) The minimum dimensions for a Balcony in any single direction shall be four (4) feet.

2.6.6 Stormwater Best Management Practices

Water pollution degrades surface waters making them unsafe for drinking, fishing, and swimming. The 1972 amendments to the Federal Water Pollution Control Act prohibit the discharge of any pollutant to navigable waters unless the discharge is authorized by a National Pollutant Discharge Elimination System (NPDES) permit. Since 1990, the City of Huntington Beach has been required to: 1) develop & implement a stormwater management program designed to prevent harmful pollutants from being washed by stormwater runoff, into the storm drain system, and 2) obtain a NPDES permit. The City's NPDES Permit requires new development and significant redevelopment to minimize short and long-term impacts on receiving water quality to the maximum extent practicable.

The City's General Plan and Local Coastal Program also include development goals and policies that include stormwater management; including landscaping policies and requirements, open space goals and policies, preservation or integration with natural features, and water conservation policies.

1) Definition

Stormwater Best Management Practices (BMPs) are methods minimizing the effect of urbanization on site hydrology, urban runoff flow rates, or velocities, and pollutant loads.

2) Regulation

- i) As outlined in Section 2.6.7, new developments and significant redevelopments are required to incorporate a minimum level of stormwater management Best Management Practices (BMPs) that will allow for the implementation of innovative, effective, cost effective, multi-beneficial BMPs.
- ii) Stormwater management facilities shall be designed as one of the Stormwater BMP Types defined in section 2.6.7 Stormwater BMP Types and illustrated in Fig.2.6.7 Stormwater Management Types.
- iii) Priority Projects shall include Source Control and Treatment Control BMPs.
- iv) Priority Projects shall include Site Design BMPs where applicable and feasible.
- v) Non-Priority Projects shall include Source Control BMPs.
- vi) Non-Priority Projects shall include Site Design BMPs where applicable

and feasible.

- vii) Non-Priority projects are encouraged to include Treatment Control BMPs
- viii) Refer to www.ocwatersheds.com/stormwaterprogram for further information about Source Control BMPs, Site Design BMPs and Treatment Control BMPs

3) Priority Projects

- i) A project is a Priority Project if it meets any of the following criteria
 - (1) Residential development of 10 units of more
 - (2) Commercial and industrial development greater than 100,000 square feet including parking area
 - (3) Automotive repair shops (SIC codes 5013, 5014, 5541, 7532-7534, and 7536-7539)
 - (4) Restaurants where the land area of development is 5,000 square feet or more including parking area (SIC code 5812)
 - (5) Hillside development on 10,000 square feet of more, which are located on areas with known erosive soil conditions or where natural slope is twenty-five percent or more
 - (6) Impervious surface of 2,500 square feet or more located within, directly adjacent to (within 200 feet), or discharging directly to receiving waters within Environmentally Sensitive Areas
 - (7) Parking Lots 5,000 square feet of more, or with 15 parking spaces or more, potentially exposed to urban stormwater runoff
 - (8) Gas Station modification (Underground storage tank, fuel islands, canopy replacement of installations)
 - (9) New/raw land (previously underdeveloped) that includes 5,000 or more square feet of pervious surface.
 - (10) All Significant Redevelopment projects, where Significant Redevelopment is defined as the addition of 5,000 or more square feet of impervious surface on an already developed site. Significant Redevelopment includes, but is not limited to:
 - (a) Expansion of a building footprint
 - (b) Addition of a building and/or structure
 - (c) Addition of an impervious surface, such as construction of a new parking lot that is not part of a routine maintenance activity.
 - (d) Replacement of impervious surfaces, building and/or structures when 5,000 or more square feet of soil is exposed during replacement construction. Replacement does not include routine maintenance activities, trenching and resurfacing associated with utility work, resurfacing and reconfiguring the surface of parking lots (unless 5,000 or more square feet of impervious is added to the existing parking lot area) or reconfiguration of pedestrian ramps and replacement of damaged pavement.

2.6.7 Stormwater BMP Types

Stormwater management facilities shall be designed as one of the following Stormwater BMP Types. Additional information on the design, construction, and functionality of stormwater management facilities can be found in the California Stormwater BMP (Best Management Practices) Handbook.

1) Source Control BMPs

Minimize or prevent potential pollutants from contacting rainwater or stormwater runoff or to prevent discharge of contaminated runoff to the storm drain system or receiving waters.

a) Routine Non-Structural BMPs

Prevent pollution by educating the public on proper disposal of hazardous or toxic wastes, regulatory approaches, street sweeping and facility maintenance, and detection and elimination of illicit connections and illegal dumping.

b) Routine Structural BMPs

Prevent potential pollutants from contacting rainwater or stormwater runoff or to prevent discharge of contaminated runoff to the storm drain system or receiving waters. Reduce the creation or severity of potential pollutant sources or to reduce the alteration of the project site's natural flow regime.

2) Site Design BMPs

Create a hydrologically functional project design that attempts to mimic the natural hydrologic regime.

a) Landscaped Setback Areas & Open Spaces

Coordinate the site design and landscaping of Front Yard, Side Yard, or Rear Yard setback areas and Public or Private Open Spaces to function as part of the stormwater "treatment train" that reduces run-off rates, volumes, quality as much as possible (see section 2.6.4 and 2.6.5 for open space types and 2.6.8 for Open Space Landscaping)

3) Treatment Control BMPs

Remove pollutants from stormwater runoff prior to discharge to the storm drain system or receiving waters.

Stormwater management Facilities include, but are not limited to, the following types:

a) Retention

i) Retention Basin/Pond

- (1) An open system with a permanent pool of water that captures stormwater and retains it between storms. Excess water held in the system is slowly released at pre-development rates.

ii) Waterscape

- (1) An open and sculpted pool, fountain or other permanent civic water feature that can capture stormwater and retain it between storms. Excess water captured by the system during storms can be stored for reuse or slowly released at pre-development rates.
- (2) Water stored in the system can be used for irrigation or treated for other potable water uses.

iii) Rainwater Harvesting / Retention Vault

- (1) A structure with a permanent pool of water that captures stormwater and retains it between storms. Water held in the system can be stored for reuse or slowly released at pre-development rates.
- (2) This management type is useful when there is insufficient space on the site to infiltrate the runoff or build a surface facility.
- (3) Water captured in underground vaults can be used for irrigation or treated for other potable water uses.

b) Detention

i) Detention Basin/Pond

- (1) An open system that captures stormwater temporarily. Water held in the system is slowly released at pre-development rates. Permanent pools of water are not held between storm events

ii) Rainwater Harvesting / Detention Vault

- (1) A structure that captures stormwater temporarily. Water held in the system is slowly released at pre-development rates. Permanent pools of water are not held between storm events
- (2) This management type is useful when there is insufficient space on the site to infiltrate the runoff or build a surface facility.
- (3) Water captured in underground vaults can be used for irrigation or treated for other potable water uses.

c) Infiltration

i) Rain Garden

- (1) A vegetated depression designed and maintained to receive runoff from adjacent impervious areas and slowly infiltrate the water into the ground.

ii) Landscaped Tree Well

- (1) A landscaped area which can accommodate a tree in an otherwise paved area. The landscaped area is constructed to absorb stormwater as soil infiltration rates permit.

iii) Grated Tree Well

- (1) A hole that is covered by a grate which can accommodate a tree in an otherwise paved area used. The hole is constructed to absorb stormwater as soil infiltration rates permit.

iv) Permeable/Pervious Paving

- (1) Paving materials that allow some stormwater to infiltrate through the paving and into the ground. Types of paving include pervious asphalt, pervious concrete, and permeable unit pavers.

d) Transportation & Filtration

i) Green Roof

- (1) A roof of a building that is partially or completely covered with vegetation and soil. The soil reduces run-off rates and the vegetation reduces runoff volume. The roof includes a waterproofing membrane and may also include additional layers such as a root barrier and drainage and irrigation systems.

ii) Vegetated Swale/Strip

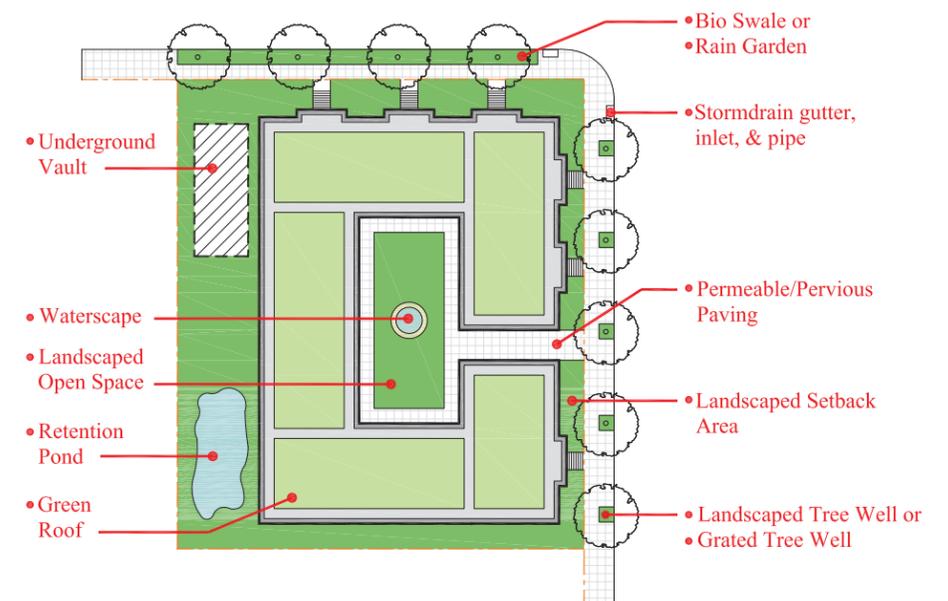


Fig.2.6.7 Storm Water Management Types

- (1) A vegetated channel designed and maintained to transport shallow depths of runoff slowly over vegetation. In most soils, a bio swale also allows stormwater infiltration.

2.6.8 Open Space Landscaping

1) Public Spaces

- i) Public spaces should provide a variety of seating options, areas of sun and shade for year-round climatic comfort, shelter, and night lighting to encourage public activity and ensure safety.
- ii) Public spaces should be visible from public streets and sidewalks.

2) Paved Areas

- i) The grading of all paved areas and adjacent non-paved areas, the selection of paving materials, and the design of drainage facilities should maximize paving permeability and be configured to allow water run-off to percolate back into native soil as much as possible.
- ii) Paved areas should incorporate best management practices to control stormwater as outlined in the National Pollution Discharge Elimination System (NPDES) Guidelines – for more information refer to <http://epa.gov/npdes/>

3) Planted Areas

a) Plant Materials

- i) Plant materials should always be incorporated into new development site design.
- ii) Mature, existing trees should be preserved whenever possible.
- iii) Tree sizes should be suitable to the proximity to utility lines and the planting areas provided.
- iv) The use of C.U. Structural Soil as the sub-surface construction element for street trees within paved areas, planter islands and medians is required.
- v) Plant and landscape materials should be selected from native species as well as non-native/non-invasive species that are well adapted to the local climatic conditions. They should be resistant to local parasites and plant diseases. Turf is highly discouraged.
- vi) In general, deciduous trees with open branching structures are recommended in shopping areas to ensure visibility of shopfronts. More substantial shade trees are recommended in front of private residences. Tree selection shall be made based upon the volume of root space provided and the size of the root flare at maturity.
- vii) Evergreen shrubs and trees should be used for screening along rear property lines, around trash/recycling areas and mechanical equipment, and to obscure

grillwork and fencing associated with subsurface parking garages. However, screening should also be designed to maintain clear views of crossing streets and sidewalks for safety.

b) Stormwater Management

All landscaped areas including those constructed as part of street or sidewalk improvements should be designed to allow aquifer filtration and minimize stormwater run-off utilizing Stormwater Management BMP Types see section 2.6.7.

4) Walls and Fences

a) Decorative Frontage Walls and Fences

- i) Fences along front yards and along side yards lining public sidewalks should employ a combination of thick and thin structural elements with thicker elements for supports and/or panel divisions. Fence posts and/or support columns should be defined using additional trim, caps, finials, and/or moldings.
- ii) All walls should have a cap and base treatment.
- iii) Frontage walls may occur as garden walls, planter walls, seat walls, or low retaining walls.
- iv) Entrances and pedestrian “gateways” should be announced by posts or pilasters, and may be combined with trellises, special landscaping, decorative lighting, public art or other special features.
- v) Chain link fencing, barbed wire, razor-wire, and corrugated metal fencing shall not be permitted

b) Screening/ Wing Walls and Fences

- i) Side yards - defined as the portion of side setback areas behind the front setback area - and rear yards may contain landscape features that protect the privacy of the property’s occupants such as landscaping, trees and screening/wing walls. Screening/wing walls may not exceed a height of six (6) feet, and must be constructed of materials that are compatible with the architecture and character of the site. Natural colors, a cap or top articulation, and related dimensional post spacing increments should be used at screening fences to enhance compatibility.
- ii) Design elements should be used to break up long expanses of uninterrupted walls, both horizontally and vertically. Walls should include design elements such as textured concrete block, interlocking “diamond” blocks, formed concrete with reveals, or similar materials. Landscape materials should also be used to provide surface relief.
- iii) Electric boxes and trees should not be placed next to walls. These can be used to climb over the wall quickly and unnoticed

c) Security Fences

- i) Use of security fences should be minimized, and limited to special locations where additional security is necessary, such as adjacent to the railroad tracks. Such security fences should not exceed eight (8) feet in height.

ii) Security fences should be designed to maintain a visually open character to the extent possible. This may be accomplished by using metal picket or open grille fencing or by mounting metal picket or open grille fencing on top of a low masonry wall.

iii) Screening and security walls and fences shall not be located such that they separate adjacent Front Yards.

iv) **KNOX® Fire Department Access Key Box** shall be provided. Main secured building entry shall utilize a KNOX® Fire Department Access Key Box, installed and in compliance with *City Specification # 403, Fire Access for Pedestrian or Vehicular Security Gates & Buildings*

d) Seating Walls

When designing seat walls with straight edges of more than six (6) feet in length, use detailing to prevent damage from skateboarding.

e) Materials and Colors

- i) All fences and walls should be built with attractive, durable materials that are compatible with the character of the locality (see Section – 2.8 Architecture Regulations).
- ii) Appropriate fence materials include, masonry, and metal.
 - (1) Wood picket fences are only recommended along residential streets. For wood picket fences, a paint finish or vinyl coating should be applied. Along other streets wood should not be used.
 - (2) For iron or metal fences, recommended materials include wrought iron, cast iron, welded steel, tubular steel, anodized aluminum or aluminum. Metal fences should be mounted on a low masonry wall, and/or between masonry piers.
- iii) Appropriate wall materials include stone, brick, precast concrete, textured concrete block, or formed concrete with reveals. A stucco finish may be used over a masonry core.
 - (1) Exposed block walls should be constructed with a combination of varied height block courses and/or varied block face colors and textures (e.g. a combination of split-face and precision-face blocks). Plain gray precision-face concrete block walls are not recommended. Design treatments and

finishes previously described should be applied to these walls for improved visual compatibility with building architecture.

- iv) Piers and posts should be constructed of the same or a compatible material as the principal building(s).

5) Lighting

a) Design

- i) Street light furnishing installed as part of the Public Frontage treatment requirements shall be as specified by the Public Works Director/Designee.
- ii) Lighting fixtures should generally be directed downward from the horizontal plane of the light source to preserve a dark sky and prevent unnecessary light pollution. Exceptions may be made for uplit trees and architectural lighting.
- iii) Pedestrian-oriented areas, including walkways and paths, plazas, parking lots, and parking structures shall be illuminated to increase safety and provide clear views both to and within the site.
- iv) All on-site and building-mounted lighting fixture design should be architecturally compatible with building design and with the character of the corridor.
- v) Unnecessary glare from unshielded or undiffused light sources should be avoided. Commercial buildings and landscaping can be illuminated indirectly by concealing light features within buildings and landscaping to highlight attractive features and avoid intrusion into neighboring properties.
- vi) Lighting and planting plans for Public and Private Frontage areas should be visually and aesthetically coordinated.

b) Height

- i) For building-mounted lights, maximum mounting height should be approximately twelve (12) feet above finished grade.
- ii) For pole-mounted lighting at pedestrian plazas, walkways, and entry areas, a pedestrian-height fixture ten to fourteen (10 to 14) feet in height from grade to light source should be used.
 - (1) Taller, grand-scale lighting may be used to accent gateways or as supplementary lighting.
- iii) Bollard mounted lighting and stair lighting are also recommended for low-level illumination of walkways and landscaped areas.

- iv) Bollard illumination should be shielded or kept at a sufficiently low level to prevent glare impacts for passing motorists.

- v) In general, height of light sources should be kept low to maintain pedestrian scale and prevent spill light from impacting adjacent properties.

c) Material and Color

- i) Color and finish of lighting metalwork should match that of other site furnishings, and/or of the building's metalwork or trim work.
- ii) For powdercoated finishes, a chemically compatible ultraviolet protectant clear coating is recommended to prevent color fading.
- iii) Color of lighting source types: in pedestrian-intensive areas, warm white, energy efficient source types (with color temperatures specified as 2700 degrees Kelvin to 3200 degrees Kelvin) such as metal halide, induction lighting, compact fluorescent, and light-emitting diode (LED) are strongly encouraged.

d) Luminaire Types

- i) New area lighting fixtures shall be of the cutoff type to prevent light from being emitted above a horizontal line relative to the point of light source.
- ii) New fixtures should use a reflector and/or a refractor system for efficient distribution of light and reduction of glare.
- iii) New fixtures should not cause glare or transmit it to upper stories of buildings. House-side shields and internal reflector caps should be used to block light from illuminating residential windows.
- iv) Small decorative "glow" elements within a luminaire are permitted to emit a low amount of light above the horizontal.

e) Uplighting

- i) Building facade uplighting, roof "wash" lighting, and landscape uplighting should be operated on timers that turn off illumination entirely after midnight nightly.
- ii) Shielding and careful placement should be used to prevent spill light from being visible to pedestrians, motorists, and nearby residential dwelling windows.
- iii) Adjacent to single family homes, a combination of lower mounting height and

luminaire shields should be used to protect residences from spill-light and glare.

- iv) Illumination levels of facade uplighting, roof wash lighting and landscape uplighting should use lower brightness levels where the illuminated facades, roofs or landscaping face residential buildings, except across wider streets or boulevards with landscaped medians and street trees.

6) Other Site Furnishings

a) Selection and Design

- i) Public gathering places and other publicly accessible areas should be detailed with decorative, pedestrian-scaled site furnishings and equipment.
- ii) Seating, freestanding planters, ornamental trash and recycling receptacles, bike racks, drinking fountains, pergolas, trellises, heaters, umbrellas, wind screening, and decorative bollards are recommended.
- iii) Landscape structures and sculptural objects should reference the human scale in their overall massing and detailing.

b) Materials and Colors

- i) Components should be made of durable high quality materials such as painted fabricated steel, painted cast iron, painted cast aluminum, and integrally colored precast concrete.
 - (1) Bollards should be cast iron, cast aluminum, cast anodized aluminum, and precast concrete.
 - (2) Recycled materials should be used so long as the finish or look of the material is consistent with or similar to the finishes prescribed above.
- ii) Colors and finishes of mechanical enclosures and equipment should be coordinated with colors and finishes of streetlights, fencing and other painted metal surfaces to be used on site, or with the associated building's material and color scheme.
- iii) Masonry surfaces should be treated with an anti-graffiti coating.
- iv) Metal surfaces should be powdercoated or painted with Waterborne Acrylic Polyurethane.
- v) For powdercoated finishes, a chemically compatible ultraviolet protectant clear coating is recommended to prevent color fading.

7) Utility and Service Area Sitting and Screening

- i) For safety, screening devices shall be designed to maintain visibility of movement behind the screen.
- ii) Utility, Trash, Recycling, Food Waste and Service Equipment, including satellite receiving dishes, transformers, and backflow devices, shall be enclosed or screened from view by landscaping, fencing or other architectural means. Backflow devices shall be built to the City's latest standards

iii) Trash facilities and recycling containers must always be within structural enclosures.

iv) Rooftop equipment must be set back a minimum of ten (10) feet from building walls, screened on all sides, and integrated into the overall building design.

2.6.9 Setback Area Landscaping

Setback areas shall be landscaped in accordance with the following regulations.

1) Perimeter Block Setback Areas

The following setback area treatments are permitted or required as specified for each Corridor Center and Segment in Section 2.1 – Development Standards for front and side yard setback areas located between buildings and public streets other than alleys. The disposition of the front setback zone is further illustrated and addressed in Section 2.4.3 – Private Frontage Types.

a) Sidewalk Extension

i) Where minimum sidewalk widths established in Public Frontage Types standards result in the extension of the sidewalk width on to private property, such sidewalk extensions must be at the same grade and provide no obstructions, edges or barriers to access between portions of the public and private property, a Public Access Easement shall be provided for the sidewalk extension and must be granted to the City.

ii) Construction staging should be organized to allow the construction of the entire sidewalk (within and outside of the public right-of-way) at the same time.

iii) Paving material and design should be the same as or sufficiently similar to the portion within the public right-of-way to create the effect of a single pedestrian walkway.

iv) No trees are required in the setback zone (other than those back-of-curb, as specified in Public Frontage requirements). Those trees within the Public ROW may require Sub Surface Construction to facilitate growth and minimize hardscape damage

b) Parkway Landscaping

i) *Coordinated Frontage.* The treatment of the public frontage and private frontage should be coordinated to provide a cohesive and unified landscape treatment. That is, the sidewalk should run between parkway strip landscaping (a portion of the Public Frontage), and setback area landscaping (all or primarily within the Private Frontage area) that are easily identifiable as a single, cohesive design (Public easements may be required).

ii) *Screening.* Landscaping or a combination of landscaping and decorative walls or fences should provide substantial screening of buildings and interior spaces from view from (and of) the main thoroughfare.

iii) *Green landscape.* Living groundcover, trees and shrubs must cover all setback areas other than those covered by the public sidewalk, pedestrian walkways connecting to building entrances, or permitted access ways (pedestrian

and/or vehicular) to parking facilities. Notwithstanding the presence of decorative screening walls, landscaping should include a minimum average of three (3) trees that reach at least twenty-five (25) feet in canopy height at maturity, for every thirty (30) feet of linear frontage – the trees may be distributed irregularly over the frontage area. Sub Surface Construction may be required to accommodate root growth.

iv) *Multiple species in naturalistic pattern.* Trees and shrubs of varied species and heights should be planted in informal clusters and naturalistic patterns, evoking a park-like setting when viewed from the primary thoroughfare.

v) *Oceanside Imagery.* At least half of the trees and shrubs should incorporate plant material featuring palm fronds or other forms associated with proximity to the beach.

vi) *Screen Walls.* Screen walls and fences should be visually appealing and well crafted extensions of the architecture of the development. The overall height of decorative walls or fences shall not exceed eight (8) feet, and must conform to standards and guidelines in section 2.6.8 – item 4) - Walls & Fences.

c) Boulevard Landscaping

i) *Coordinated Frontage.* The treatment of the public frontage and private frontage should be coordinated to provide a cohesive and unified landscape treatment.

ii) *Visual Accent to Boulevard-Oriented Development.* Landscaping or a combination of landscaping and decorative low walls or metal rail fencing should provide visual accent softening effect between the sidewalk and buildings, but should not be so dense as to obscure visibility of buildings and entrances from the primary thoroughfare.

iii) *Complete coverage of Setback Zone.* Living groundcover or decorative paving materials, accented by trees and shrubs must cover all setback areas other than those covered by the public sidewalk, walkways connecting to building entrances, or permitted access ways (pedestrian or vehicular) to parking facilities. Landscaping should include a minimum average of one (1) tree that reaches at least twenty-five (25) feet in canopy height at maturity, for every forty (40) feet of linear frontage. Palms should be placed in the foreground to facilitate the beach image and increase visibility and canopy trees should be placed in the background or side yards to frame buildings and provide screening. Approval required by Planning Director/Designee.

iv) *Limited number of species in regular pattern.* Within a single development, trees and shrubs should be a single or at most two species, with one preferably the same as that used in the public median. Trees and shrubs should be planted in regular or formal patterns or equally spaced clusters to emphasize the civic character of the boulevard.

v) *Oceanside Imagery.* At least half of the trees and shrubs should incorporate plant material featuring palm fronds or other forms associated with proximity to



Fig.2.6.9 - Parkway

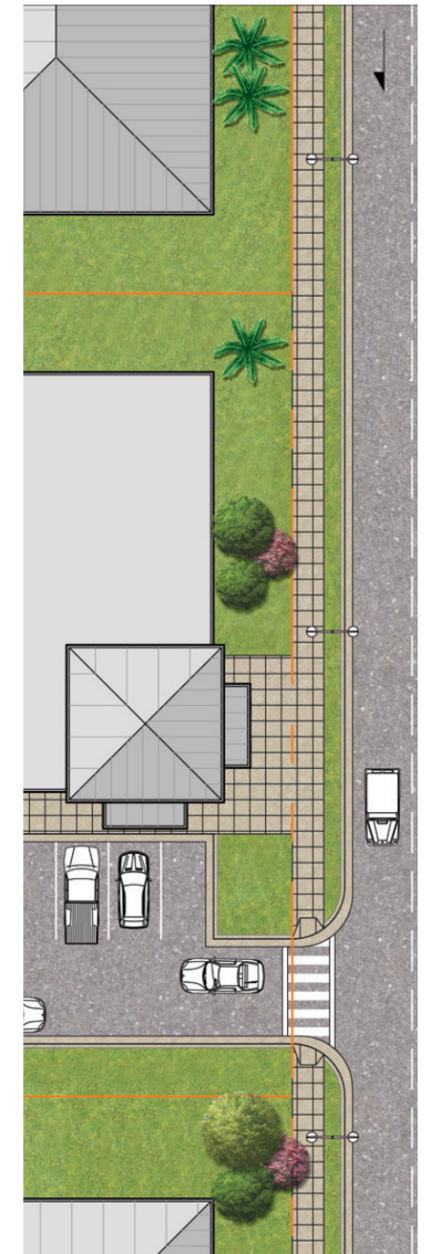


Fig.2.6.9 - Boulevard

the beach.

vi) *Screen Walls.* Screen walls and fences should be visually appealing and well crafted extensions of the architecture of the development. The overall height of decorative walls or fences shall not exceed three (3) feet, and must conform to standards and guidelines in section 2.6.8 – item 4) - Walls & Fences.

d) Neighborhood Street Landscaping

i) *Visual Continuity along Blockfront.* Setback areas along a development should provide a visually coherent and continuous green landscape design. Adjacent developments should strive to create strong visual relationships for an entire block frontage.

ii) *Green Setback Area.* Living groundcover accented by trees and shrubs must cover all setback areas other than those covered by the public sidewalk, walkways connecting to building entrances, or permitted access ways (pedestrian or vehicular) to parking facilities. Lawns are discouraged due to their high water requirement. Landscaping should include a minimum average of one (1) deciduous or broadleaf evergreen tree that reaches at least twenty-five (25) feet in canopy height at maturity, for every residential unit enfronting the sidewalk, or for every thirty (30) feet of linear frontage, whichever is greater.

iii) *Screen Walls.* Screen walls and fences should be visually appealing and well crafted extensions of the architecture of the development. Front yard fences along residential projects should be positioned just inside of the planted area, leaving a portion of setback area landscaping between fence and sidewalk. The overall height of decorative walls or fences shall not exceed three (3) feet, and must conform to standards and guidelines in section 2.6.8 – item 4) - Walls & Fences.

2) Interior Block Setback Areas

Setback Areas located between properties, i.e. all rear setback areas, for side setback areas not located between buildings and public streets, as well as for setback areas along mid-block alleys and that are not covered by pedestrian or vehicular passages/breezeways, or parking lots (see section 2.7.3 for parking lot landscaping) shall be landscaped as specified for each Corridor Center and Segment in section 2.1 – Development Standards, in accordance with the following standards.

a) Groundcover

- i) Cover side and rear yard areas with landscaping, pervious surfaces consisting of:
- (1) Living groundcover or other pervious surfaces such as decomposed granite, mulch, rocks, and boulders accented by shrubs

b) Moderate Screening

- i) Provide light visual separation along property lines consisting of:
- (1) Landscaping that screens parking/service areas and blank side and rear building facades.
 - (2) Landscaping that maintains views to building entrances and signage
 - (3) One (1) tree per thirty (30) linear feet of property line (excluding curb cuts) spaced regularly along the applicable property line
 - (4) One (1) shrub per five (5) linear feet of frontage (excluding curb cuts)
 - (5) Living groundcover or other pervious surfaces such as decomposed granite, mulch, rocks, and boulders accented by shrubs

c) Heavy Screening

- i) Provide heavy visual separation along property lines of Retail Anchor, Entertainment / Recreation, Commercial Services, Commercial Goods, and Vehicle Sales uses consisting of:
- (1) Landscaping that screens parking/service areas and blank side and rear building facades
 - (2) One (1) small tree or palm per twenty (20) linear feet of property line

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(excluding curb cuts) spaced regularly along the applicable property line

- (3) Solid screening at least six (6) feet high utilizing: hedges, screening walls or fences
- (4) Living groundcover or other pervious surfaces such as decomposed granite, mulch, rocks, and boulders accented by shrubs

2.7 PARKING REGULATIONS

This section contains standards and guidelines to ensure that parking throughout the Plan Area is convenient and accessible, accommodates all land uses, and reinforces the desired character of each Corridor Center and Segment.

2.7.1 Provision of Parking

1) Regulation

i) The minimum and maximum number of parking spaces to be provided by all net new development shall be as specified for each Corridor Center and Segment in section 2.1. – Development Standards.

ii) The maximum number of parking spaces only applies to surface parking.

iii) iii) Net new on-street parking spaces provided along new streets (see section 2.5.1 – Provision of New Streets) or service lanes may be counted toward the minimum parking requirement for commercial development on that property.

iii) iv) Minimum parking requirements may be reduced in developments where it can be demonstrated that shared parking facilities will meet parking demand without providing separate facilities for each use.

- (1) Mixed use developments are eligible to be considered for reductions in the minimum parking requirements.
- (2) Mixed use projects will be evaluated on a case-by-case basis by the Planning Director/Designee.

iv) v) For physically constrained properties:

- (1) The number of Parking spaces required may be reduced by the amount of Public Open Space provided for the development over and above the required minimum at 200 square feet per space with a maximum reduction for non-residential development of ten (10) parking spaces and a maximum reduction for residential development of five (5) parking spaces. Applications to provide Public Open Space in lieu of parking spaces on site will be reviewed by the Community Development Director.

2.7.2 Parking Types

A property's permitted parking types are determined by Corridor Center or Segment. For all parking types, parking shall be connected with the street by a driveway (as stated under Access in Section 2.7.3).

For detached single-family homes, only garages, car ports, and driveways shall be permitted.

1) Surface Parking Lot - Front

A parking lot that is located between a building and the street.

2) Surface Parking Lot - Side

A parking lot that is located in part or entirely along the side of a building, in a side yard, and fully or partially extends toward, but does not intrude into, the front yard setback area.

3) Surface Parking Lot - Rear

A parking lot where a building(s) is located between the parking lot and the street. A rear parking lot does not extend beyond the rear wall of the primary building into any side yard setback and, except where driveway access is provided. Rear parking lots should be screened from the street.

4) Surface Parking Lot - Exposed

A parking lot that is located fully or partially behind a building facing a front street and is exposed to a street on 2 or more sides.

5) Parking Structure - Exposed

An above-ground parking structure that is fully or partially exposed to the street on the ground level.

6) Parking Structure – Wrapped: Ground Level

A partially submerged or above-ground parking structure where non-parking uses are integrated into the ground level of the building along the parcel's entire street frontage(s).

The parking structure may be exposed to the street on upper levels.

7) Parking Structure – Wrapped: All Levels

A partially submerged or above-ground parking structure where non-parking uses are integrated into the building along the parcel's entire street frontage(s) on all levels of the building. The parking structure is totally hidden behind non-parking uses.

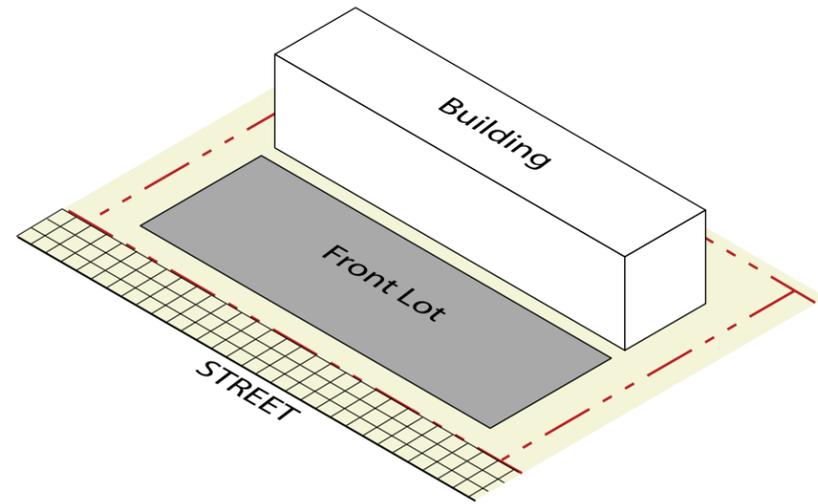
8) Parking Structure – Partially Submerged Podium

A parking structure built below the main building and partially submerged underground where above ground portions of the structure are exposed to the street.

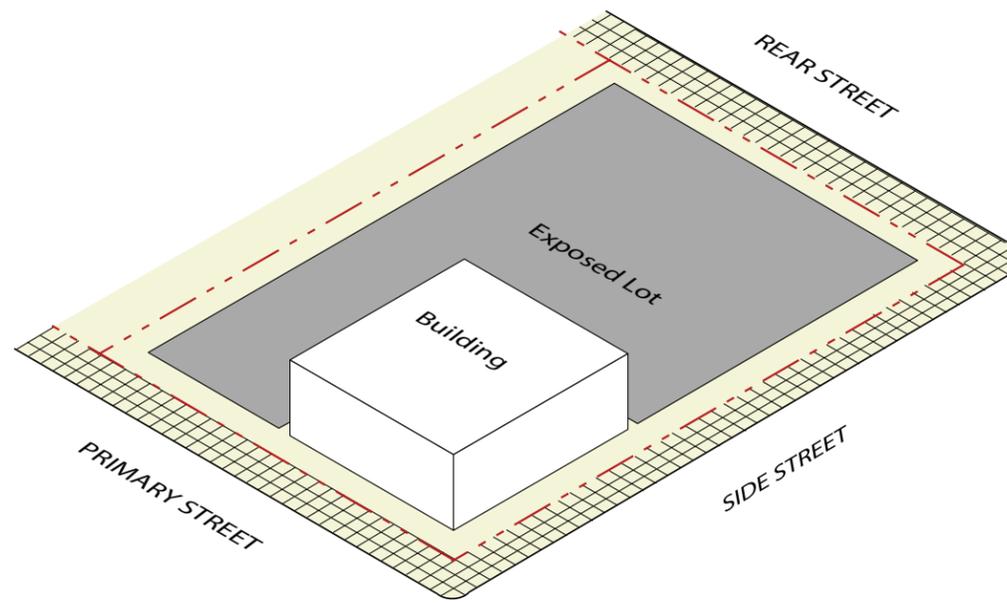
The parking podium may project above the sidewalk or average finished grade by a maximum of five (5) feet.

9) Parking Structure – Underground

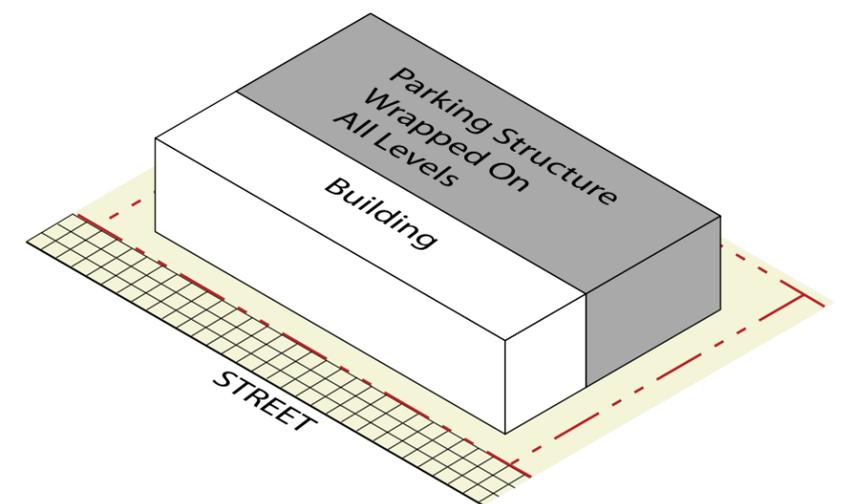
A parking structure that is fully submerged underground and is not visible from the street.



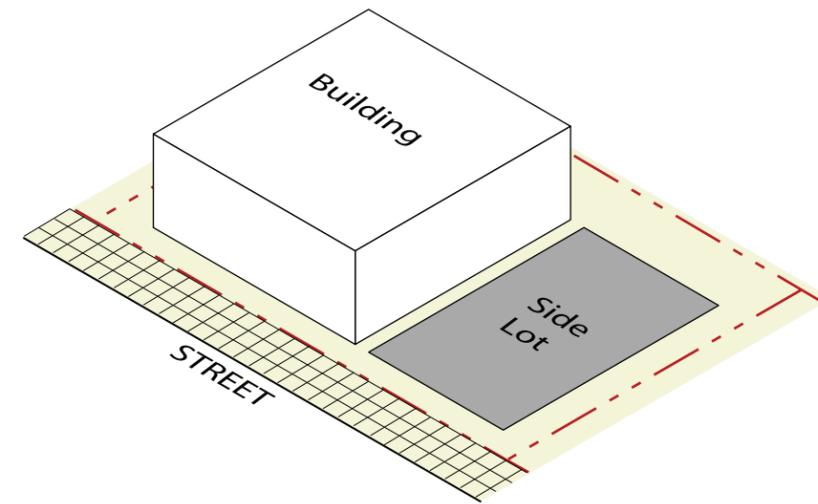
1) surface Parking lot - Front



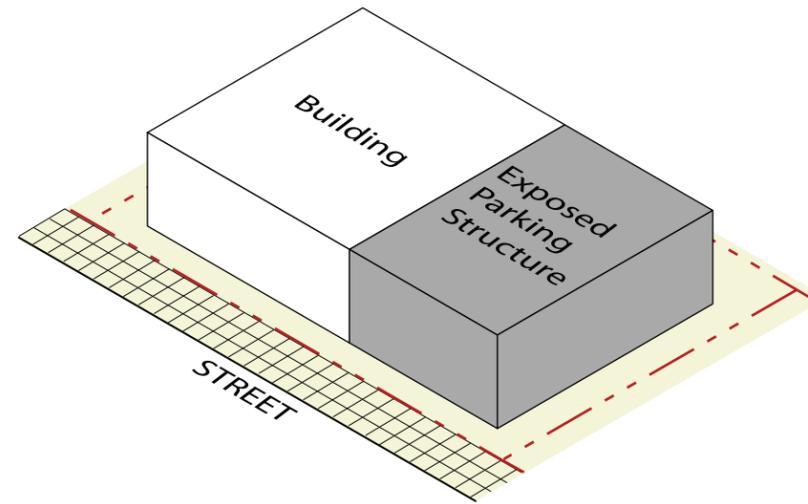
4) surface Parking lot - Exposed



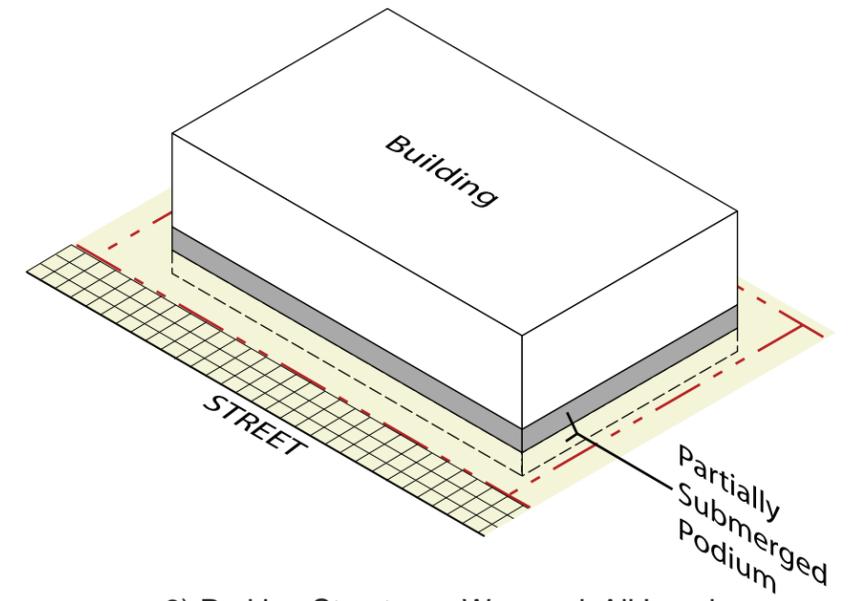
7) Parking Structure - Wrapped: All Level



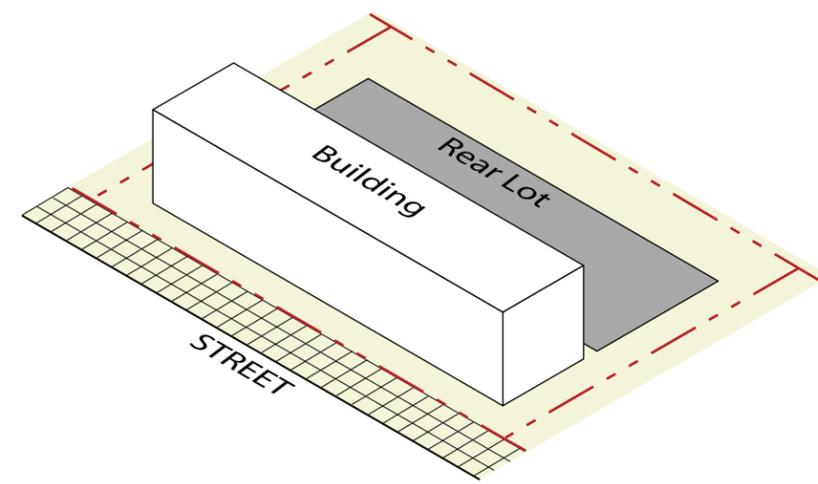
2) surface Parking lot - Side



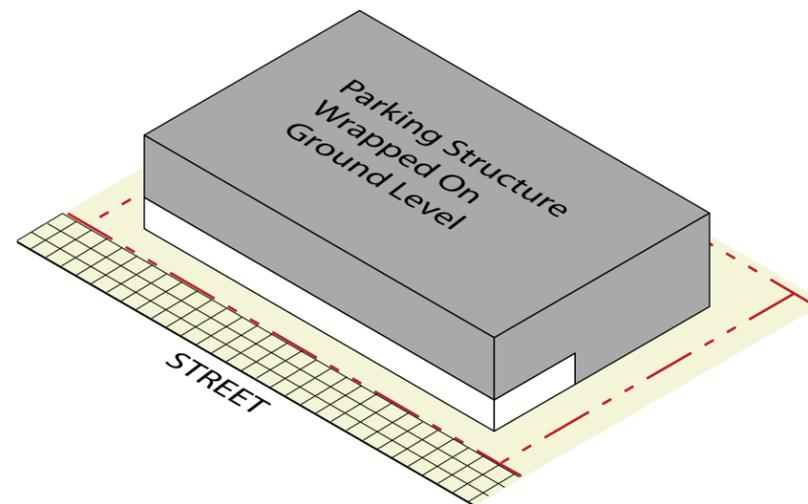
5) Parking Structure - Exposed



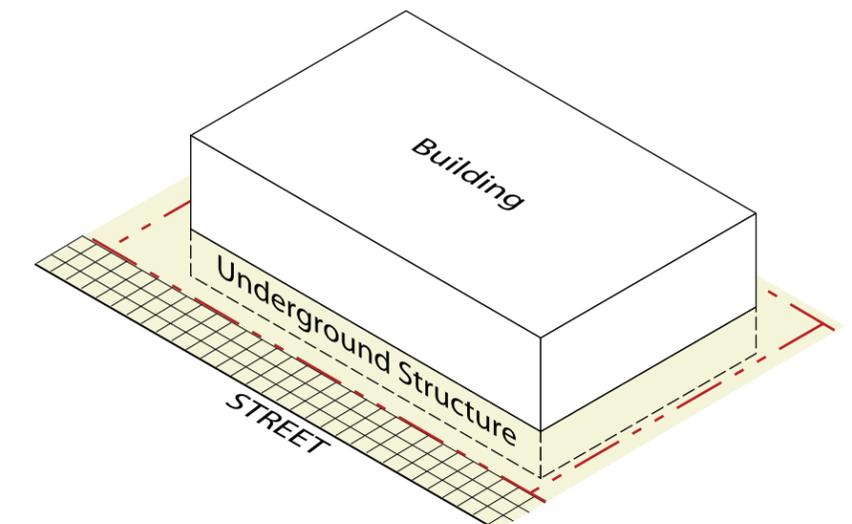
8) Parking Structure - Wrapped: All Level



3) surface Parking lot - Rear



6) Parking Structure - Wrapped: Ground Level



9) Parking Structure - Underground

2.7.3 General Parking Requirements

1) Access

a) Location

- i) Access to parking facilities and loading areas shall be provided from alleys or adjacent parking lots wherever possible.
- ii) If alleys are not available, access to parking facilities and loading areas shall be provided from local streets wherever side streets are available. When a lot abuts an arterial highway and a local street, access to on-site parking shall be from the local street.
- iii) If neither alleys, adjacent parking lots, nor local streets are available, access to parking facilities and loading as approved by the Public Works Director/Designee.

b) Curb Cuts & Driveways

- i) Along all streets, the maximum number of curb cuts associated with a single building must be one (1) two-lane curb cut or two (2) one-lane curb cuts.
- ii) The maximum width of driveways/curb cuts is twelve (12) feet for a one-lane and twenty-four (24) feet for a two-lane driveway.
- iii) The total width of parking access openings on the ground level of structured parking may not exceed thirty (30) feet.
- iv) Driveways shall be set back a minimum of five feet from adjoining properties, and a minimum of three feet from adjacent buildings.

c) Fire Access

- i) All development applications shall clearly identify fire access routes subject to Fire Department Review. *Note: Developers must reference Huntington Beach Fire Department City Specification # 401 (Minimum Standards for Fire Apparatus Access) and City Specification #415 (Fire Lanes Signage and Markings on Private, Residential, Commercial and Industrial Properties) for Fire Access Road requirements.*

2) Parking Lots

a) Location

Parking lots shall be setback a minimum of five feet from the back-of-sidewalk along streets.

b) Landscaping

- i) Parking lots shall be buffered from adjacent development with moderate screening (see section 2.6.8).
- ii) In order to provide shade and add trees to the City, continuous rows of parking stalls shall be subdivided by trees planted at a minimum spacing of one tree every five spaces.
 - (1) Trees shall be located between the sides of angled or perpendicular parking stalls. Trees planted between two abutting head-to-head parking stalls do not satisfy the requirement. It should be anticipated that extensive Sub-Surface Construction will be required to provide adequate root space to allow trees to grow without hardscape damage for an extended period of time. In addition, the Sub-Surface Construction could provide additional WQMP solutions.
 - (2) Trees shall be planted in curbed landscape islands or in flush tree wells with tree guards.
- iii) Wheel stops or curbing shall be used adjacent to tree wells and planter areas to protect landscaping from car overhangs.

c) Pedestrian Circulation

- i) Parking lots shall be designed with convenient, safe, and efficient pedestrian circulation routes to buildings main building entrances and sidewalks. These routes shall be designed to include sidewalks and walkways with a minimum five foot width.

d) Lighting

- i) Parking lots shall be illuminated to increase safety and provide clear views both to and within the site. Lighting and planting plans shall be coordinated to avoid light pole and tree conflicts.

3) Parking Structures

Parking Structures shall be located and designed to minimize their impact on public streets and public spaces.

4) Parking Stall Design and Striping Detail

See the City of Huntington Beach Zoning Ordinance, Chapter 231 Off-street Parking and Loading Provisions for parking stall design and striping details.

2.7.4 Parking Guidelines

1) Access

- i) Exterior driveway surfaces should be paved with non-slip, attractive surfaces such as interlocking unit pavers or scored and colored concrete.
- ii) Residential parking should be secure and separate from the commercial uses.
- iii) Driveways should utilize pavement treatments that help motorists and pedestrians identify the driveway.

2) Parking Lots

- i) Trees in parking areas should be large and have a high-branching, broad-headed form to create maximum shade.
- ii) Curbed planting areas should be provided at the end of each parking aisle to protect parked vehicles from turning movements of other vehicles.
- iii) Landscaping in parking lot interiors and at entries should not obstruct a driver's clear sight lines to oncoming traffic.
- iv) The main pedestrian route from a parking lot to a building entrance should be easily recognizable, accessible, and demarcated by special paving or landscaping, such as a shaded promenade, trellis, or ornamental planting.

3) Parking Structure

- i) Parking structures should be designed to use as much natural light as possible.

4) Sustainability

- i) Parking lots should utilize permeable paving systems and bio-filtration swales wherever possible unless not allowed due to Fire Department restrictions or inappropriate due to soil conditions.
- ii) The size of surface parking lots should be minimized to reduce surface water runoff and minimize heat island effects.
- iii) Rooftop Gardens or other rainwater capture and recycling systems are encouraged on flat sections of parking structure roofs in order to facilitate storm-water management, as well as add visual interest to the structure.

5) Security

- i) The Police and Fire Department emergency radios may not be able to receive or transmit in the subterranean garage. Effective 800 MHz radio antenna should be installed so that emergency personnel can receive/transmit in the parking structure.
- ii) Lights should be located directly between parking stalls of in the center of parking structure aisles. Most crime in parking structures occurs between the parking vehicles.
- iii) The interior of parking structures should be painted light colors such as white to reflect light and add up to 20% more light to interior of the structure.
- iv) Surveillance cameras should be place at the entrance and exit of the parking structure as well as the interior areas. Specifically, elevator waiting areas and stairwells should be covered. Cameras should be 24/7 recorded with clear signs posting this.
- v) Surveillance cameras should be installed in parking areas and record 24 hours, seven days a week. Cameras should cover as much area as possible.

6) Pedestrian Circulation

- i) Parking Structure stairwells should be designed to allow pedestrians to be seen in the stairwell from outside of the structure and pedestrians to see out.

2.8 ARCHITECTURE REGULATIONS

Architecture Regulations are set forth to ensure that new and renovated buildings in the Plan Area embody architectural characteristics that maintain the desired human scale, rhythm, and character appropriate for the Beach/Edinger corridors.

2.8.1 Facade Height Articulation Regulations

1) Definition

- i) Façade articulation is the use of architectural elements, or features, to compose a building's façades such that all new or renovated buildings have a well-formed "base" and a "top."
- ii) Base: A base treatment is a horizontal articulation of the lower part of a building façade's design that serves to establish a human scale for pedestrian users and passers-by, and aesthetically "ties" a building to the ground.
- iii) Top: A building's top or cap contributes to the distinctive skyline and overall massing of the corridors, whether seen immediately looking up from the street below or at a distance from another part of the city.
- iv) Street Façade: The plane of a façade that fronts upon a street, extending from the ground up to the street façade eave line (see diagram on opposite page)
- v) Side Façade: The plane of a façade that fronts upon a side yard or side property line, extending from the ground up to the side wall eave line. (see diagram on opposite page)
- vi) Rear Façade: The plane of a façade that fronts upon a rear yard, rear property line, or alley, extending from the ground up to the rear wall eave line. (see diagram on opposite page)

2) Regulation

- i) Façade Height Articulation requirements shall be as indicated by Corridor Centers and Segments in section 2.1 – Development Standards.
- ii) The application of architectural elements and architectural style such as (but not limited to) those outlined in Section 2.8.2 – Architectural Elements Regulations and 2.8.3 – Architectural Character Guidelines are strongly recommended to create well-integrated and attractive architecture.

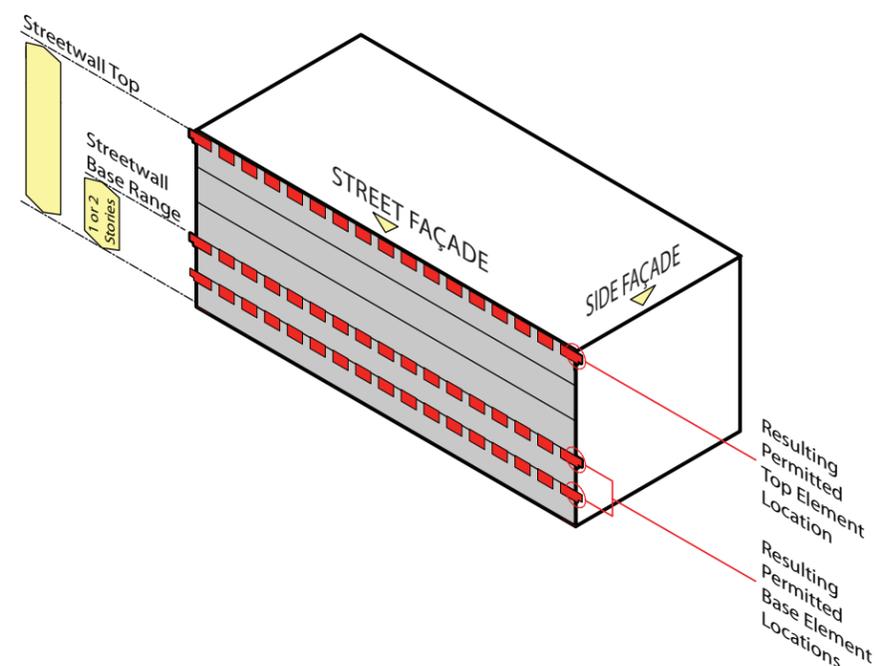
3) Street Façade Height Articulation

a) Base Element:

As conceptually depicted in the accompanying diagram, a horizontal articulation of street and river façades shall be applied within the first floor (or in the case of buildings above four stories, optionally within the second floor as well), to form a horizontal "base" of the façade at the building scale. A secondary lower base treatment shall be provided at the pedestrian scale (i.e. within the height of the ground floor, relating to the height of the human body). These treatments strongly define the pedestrian-scale space of the street or riverfront and shall be well-integrated into the overall façade composition. See Section 2.8.2 – Architectural Elements Regulations 3) Façade Guidelines a) Building Base for additional guidelines outlining recommended Building Base design.

b) Top Element:

A substantial horizontal articulation of street and river façades shall be applied at the top of the uppermost floor of the façade, to result in a termination of the façade that provides an attractive façade skyline and a completion of the upper façade composition. This "cap" shall be architecturally integrated with any sloping roof volume (if used) that occurs above the eave line.



4) Side and Rear Façade Height Massing Elements

a) Full Requirements

Requirements for Side and Rear Façades are the same as those for Street Façades in the following cases:

- i) Where building wall to building wall clearance is more than ten (10) feet.
- ii) Where a side or rear yard of greater than five feet exists and the adjacent property has no building volume providing horizontal obstruction.
- iii) Where the side or rear wall faces upon a public open space such as a plaza or courtyard.

b) Flush Treatments Permitted

The minimum requirement for Height Massing Elements may be satisfied by flush wall height massing treatments where building wall to building wall clearance is more than five feet and no greater than ten (10) feet.

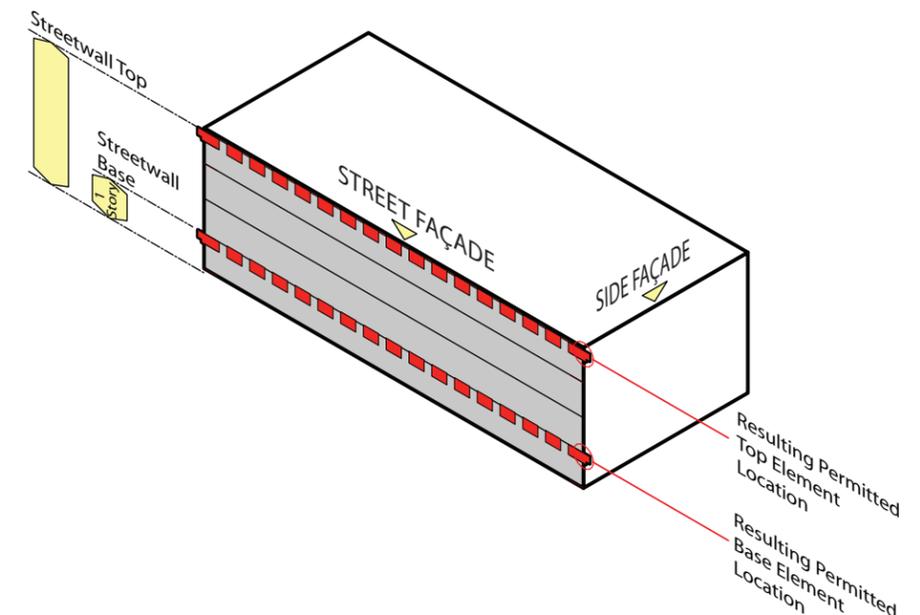
Flush wall height massing treatments shall consist of one or more of the following elements which match vertical increments used on the street or river façade(s) of the building:

- i) Integral color change between increment of base and portion of wall above, and/or between increment of top element and portion of wall below.
- ii) Horizontal score lines matching top, bottom, and/or other lines of street façade horizontal articulation.
- iii) Horizontal façade recess(es) matching top, bottom, and/or other lines of street façade massing elements.

c) No Requirements

No Side or Rear Façade Height Massing is required in the following case:

- i) Where building wall to building wall clearance is five feet or smaller.



5) Façade Height Articulation Element Guidelines

The following are examples of top element types that may be used to satisfy the required street façade height massing requirement:

Note: Fabric awnings are not counted towards a required height massing element.

a) Cornice

A Cornice may be applied as the top of street façade or a building base as a built-up material articulation that steps forward from the façade plane into the right-of-way or required setback. This step provides a significant opportunity for shadow lines and façade delineation; to this end, a minimum of three cornice “steps” or layers should be used. This element can be used on a façade independently or can be located atop a series of pilasters which are placed at regular intervals (usually to dictate bay width).

b) Canopy

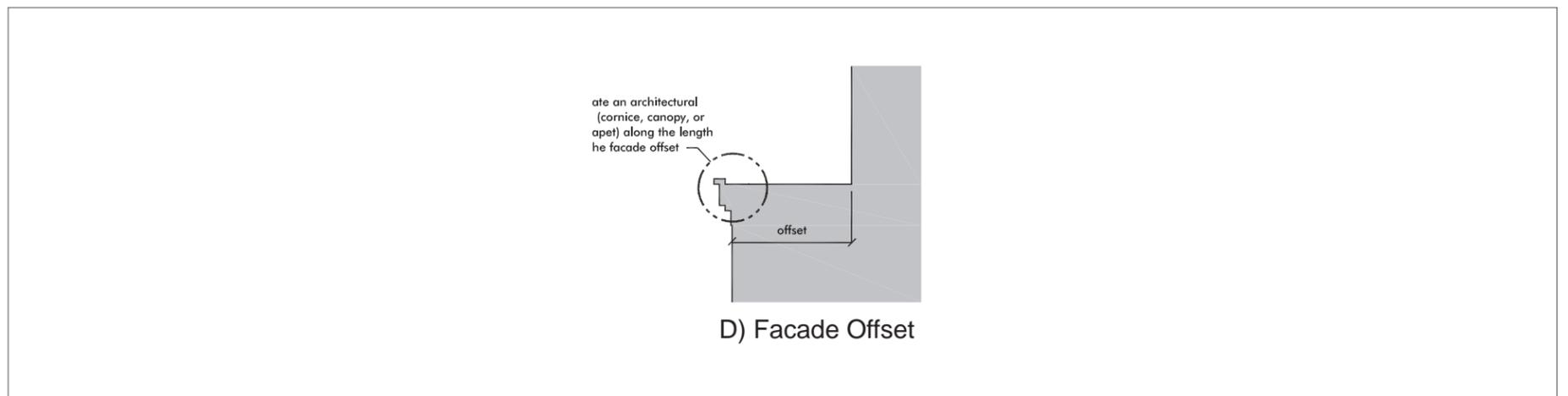
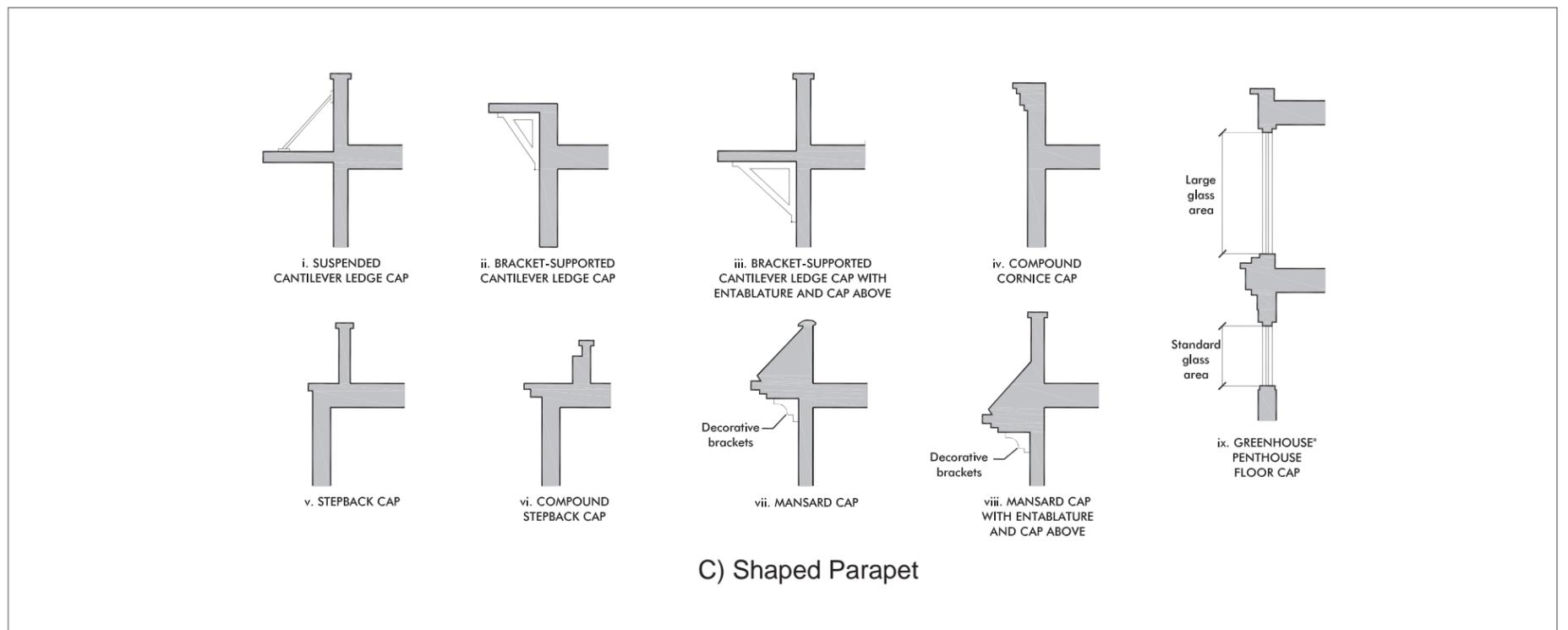
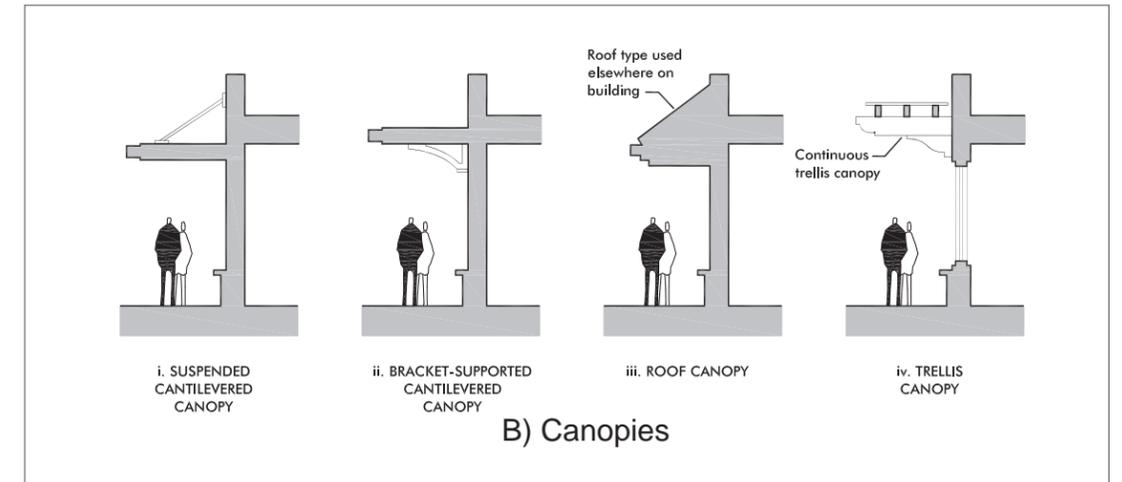
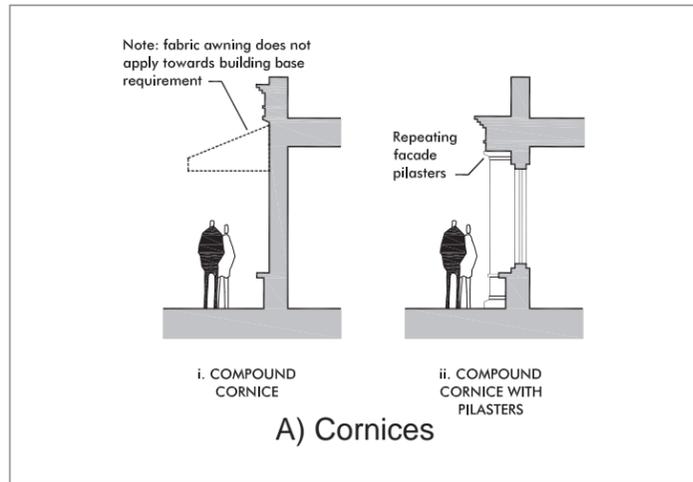
A Canopy element serves as an intermediate or final height massing element or “lid” at a ground floor façade, or as a street façade cap. Its purpose is to provide shade or cover for pedestrians or sidewalk dining and/or to establish a strong horizontal massing element and “shadowline” in the façade. It can be a continuous horizontal element, a series of repeated elements (typically above shopfront windows), or a single “feature” element occurring at a structure’s main or secondary entrance. A Canopy and its related building components should be constructed of an accent building material (such as metal, tempered glass, or roof material used elsewhere on building) that is compatible with the primary building material.

c) Shaped Parapet

A Shaped Parapet is the freestanding upper extension of the street façade extending above the point where the roof intersects behind it. A Shaped Parapet provides visual completion to the top of a building façade and develops a distinct and recognizable skyline for the building. The form of a Shaped Parapet may be unrelated to the roof form behind it. In many cases, the form of a shaped parapet has traditionally been symmetrical. Generally, Shaped Parapets and their related components should be constructed of the primary wall cladding (such as brick, stone, or stucco) or an accent building material (such as wood or metal) that is compatible with the façade composition.

d) Façade Offset

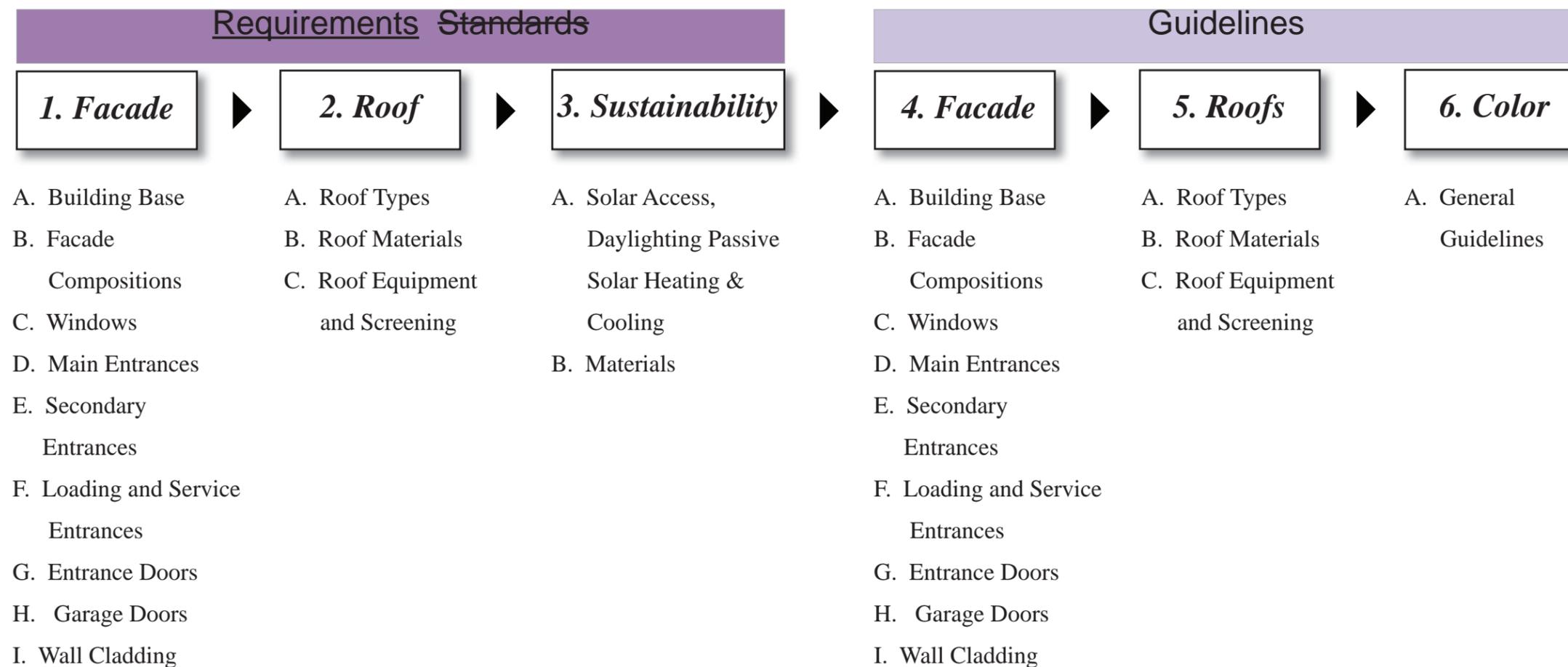
A Façade Offset is a horizontal plane break where a portion of the façade steps back a sufficient distance in order to break the building into smaller volumes. Generally, a Façade Offset (recess line) applies a Cornice, Canopy, or Shaped Parapet along the edge of the offset to add visual interest and appropriately define the resulting building volume.



2.8.2 Architectural Elements Regulations

This section contains architectural requirements and guidelines to guide the design of architectural elements used within new buildings and free standing parking areas in the Plan Area. The following regulations and suggestions will ensure that new buildings maintain the quality and character of Huntington Beach while providing ample opportunities for creativity and choice.

Requirements and guidelines regulating architectural elements are identified as they apply to a particular building type, such as Residential, and noted accordingly.



1) Facade Requirements

a) Building Base

See Section 2.8.1 for required Building Base regulations. There are no additional Building Base requirements.

b) Façade Composition

- i) Glazing: Wall composition for Street façades shall contain a minimum of twenty (20) per cent, and a maximum of sixty (60) per cent glazing (percentage does not include parapet height). Overall wall composition for Side and Rear walls does not have a minimum glazing requirement.
- ii) Balcony and porch walls shall not be made of a solid material and shall have a minimum of twenty (20) transparency distributed evenly throughout the railing.

c) Windows

- i) Curtain-wall window walls building systems may be used in the Neighborhood Boulevard Segment with the following requirements:
 - (1) Ground floor must be of a contrasting solid material such as stone or concrete.
 - (2) Floor lines shall be clearly expressed on the façade.
 - (3) ~~Mullions~~ **Mullions** shall be used to break up glass into smaller typical window size increments to prevent unrelieved glass surfaces.
- ii) Where multi-pane windows are utilized, “true divided light” windows or sectional windows shall be used. “Snap-in” muntins (i.e. detachable vertical or horizontal glass plane dividers or glass pane dividers sandwiched between layers of glass) shall not be used.
- iii) Depth of glazing: Window frames shall not be flush with walls. Glass shall be inset a minimum of three inches from the surface of the exterior wall to add relief to the wall surface. Window frame and sills shall not count toward this recess dimension.

d) Main Entrances

- i) The main pedestrian entrance shall be easily visible and recognizable, and shall be architecturally treated in a manner consistent with the building style.
- ii) At mixed-use buildings, entrances to residential, office or other upper story uses shall be clearly distinguishable in form and location from retail entrances.

e) Secondary Entrances

- i) Secondary entries, such as side or rear building entries shall not be more architecturally prominent or larger than the main entrance.

f) Loading and Service Entrances

- i) Service entrances shall not face front streets when a side street, rear street, alley, or parking lot entrance location is possible.
- ii) All service entrances and associated loading docks and storage areas shall be located to the side or rear of the building and shall be separated and architecturally screened from any pedestrian entrances.
- iii) Portions of building façades containing service or truck doors visible from the public street shall be designed to include attractive and durable materials and be integrated into the architectural composition of the larger building façade design. Architectural treatments, materials, and colors shall be extended from adjacent building façade areas into the façade portion containing truck doors to avoid creating a gap in architectural expression and to maintain a high-quality appearance.

g) Garage Doors

- i) Garage doors shall be recessed a minimum of twelve (12) inches from the face of the façade wall within which it is located.
- ii) For Detached single-family homes:
 - (1) All single-car wide garage door façades shall be set back a minimum of six (6) feet behind the front wall of the primary building mass.
 - (2) All two-car wide garage façades shall be set back a minimum of twenty (20) feet behind the front wall of the primary building mass.

2) Roof Requirements

a) Roof Types

- i) Roofs on additions and accessory buildings shall match the roof of the original or primary building in terms of materials, slope, detailing and style, to the degree possible. They shall contribute forms that complement and add to the overall character of Huntington Beach.
- ii) Flat or shallow pitched roofs are permitted to be used and shall be designed with one or more of the treatments stated in Guidelines, below.
- iii) Mansard roofs (i.e. a flat-topped roof that slopes steeply down on all four sides, thus appearing to sheath the entire top story of the building) shall only be permitted as follows:
 - (1) The maximum slope shall be no steeper than three feet of rise for every two feet of run (3:2).
 - (2) The minimum height of mansard roofs (from eave to roof peak) shall be one typical building story height or thirty (30) per cent of the building façade height as measured to the eave, whichever is smaller.
 - (3) Mansard roofs shall fully enclose the perimeter of a building. Where a break in the horizontal run of mansard roof occurs, an architectural termination is required (e. g. the roof intersects into a tower).
 - (4) Mansard roofs shall include a cornice at the eave line where the roof overhang depth is less than two feet, and an edge termination at the peak.
 - (5) Mansard roofs shall have functioning or decorative dormer windows or vents to add visual interest.

b) Roof Materials

There are no Roof Materials requirements (see guidelines).

c) Roof Equipment and Screening

- i) The following shall be completely screened from view - as seen from public streets and sidewalks within 300 feet of the subject property, except from points of view in excess of ten (10) feet above finished floor grade of the subject property:
 - (1) Roof mounted equipment such as cooling and heating equipment, antennae, solar panels and receiving dishes
 - (2) To reduce glare, light colored roofs (including “cool roofs”)
- ii) Screening shall consist of architectural enclosures that are derived from the building’s architectural expression, such as parapet walls or other screening treatment. Picket fencing, chain-link fencing and exposed sheet metal boxes are not permitted.
- iii) A section drawing shall be submitted to the Planning Department to demonstrate appropriate screening to conceal mechanical equipment through building design features.

3) Sustainability Requirements

3) Sustainability Requirements

Sustainable or “green” building practices shall be incorporated into all projects proposing new structures and/or site improvements. The following guidelines provide a broad overview of how to incorporate sustainability into building architecture. In addition to these guidelines, application of “Green Building” techniques such as those found in (but not limited to) 1) the Leadership in Energy and Environmental Design (LEED) Green Building Rating System™ (<http://www.usgbc.org>) 2) the National Association of Homebuilders Model Green Home Building Guidelines (<http://www.nahbrc.org/greenguidelines>) and 3) future “green building” ordinances and guidelines ~~as they become available are strongly encouraged.~~ may be used.

a) Solar Access, Daylighting, Passive Solar Heating & Cooling

- i) Where possible, massing and orientation of new buildings should maximize south-facing vertical façades.
- ii) Where not in conflict with the design guidelines, shading devices such as building/roof overhangs, latticework and trellises should be incorporated primarily into south-facing façades and designed to balance summer cooling and winter heating by maximizing solar gain during the winter and minimizing solar gain during the summer.
- iii) Window orientation and opening size should also work with shading structures in order to balance summer cooling and winter heating by maximizing solar gain during the winter and minimizing solar gain during the summer.
- iv) Window orientation and opening size should be designed to allow interior spaces to maximize daylighting and minimize artificial lighting. The use of skylights and “light shelves” (façade-mounted horizontal surfaces beneath windows to diffuse sunlight deeply into interior spaces) is also encouraged for this purpose.
- v) Roof forms, shading devices, and façade cladding systems should be designed and oriented to direct airflow that facilitates natural building ventilation by replacing warm indoor air with cooler outdoor air, especially at night.
- vi) Exterior building wall design may incorporate hollow cavities that help insulate the building. These hollow cavities can also be designed to direct airflow that supports natural ventilation.

vii) Solar panels should be utilized where possible.

viii) Wherever possible, comply with CEC’s voluntary Tier II energy Efficiency standards in effect at the time building construction begins.

b) Materials

i) Locally produced and recycled building materials should be used whenever possible.

ii) At least 20% of construction/building materials should be non-toxic, recycled content materials and should be utilized whenever possible.

c) Other

i) Every property should provide trash and recycling enclosures that are capable of handling the refuse generated by that site. At least half of the trash and recycling area should be dedicated to recycling containers. Composting facilities should be provided if possible.

ii) Recycle and/or salvage at least 75 percent of non-hazardous construction and demolition debris by weight (residential) or by weight in volume (commercial).

4) Façade Guidelines

4) Façade Guidelines

a) Building Base

- i) A base treatment should occur at both of the following scales on commercial buildings:
 - (1) At the scale of the pedestrian (i.e. within the ground floor portion of the façade), a base treatment should be created at a height between nine inches and six feet.
 - (2) At the scale of the building, the façade of the entire ground floor (or up to the second floor, depending on the height of the building) should be designed to read as a base that “anchors” the building (i.e., the portion of the façade above) to the ground.
- ii) At nonresidential buildings, a building base should be created by any one or combination of the following treatments:
 - (1) A horizontal projection or visible thickening of the wall surface, this may be accompanied by a change of material and/or color; this may be an exterior version of a “wainscot.”
 - (2) A “heavier” design treatment, such as a darker color and/or stronger, more permanent material, for the base portion of the façade than for the portions above.
 - (3) A horizontal architectural line or feature at or below the top of the first story. Examples include a belt course or secondary cornice (related to or repeating the pattern of an upper cornice) separating the first two floors.
 - (4) A ground level arcade with columns may be used. Column spacing should be regular and related to the structural bay of the building.
- iii) At residential buildings, a building base may be created by any one or combination of the following treatments:
 - (1) A visibly thicker and continuous base portion of the wall along the ground, where the wall above the base sets back.
 - (2) A material and/or color change of the base wall relative to the building wall above. The base material should generally be heavier (e.g. of darker color and/or a heavier or more permanent material) than portions of the building above.
 - (3) A horizontal architectural feature at or below the top of the first story, such as an intermediate cornice line or protruding horizontal band.
- iv) Parking Podiums: Where parking podiums are part of the design of a residential development, they should be designed as the building’s base or part of the building’s base, with wall textures, colors, and dimensional modules that are coordinated with the architecture of the residential portion of the building above. Materials, detailing and design elements should be used to break up a monotonous façade.

v) Base treatments on additions and accessory buildings should be carried over from the primary building.

b) Façade Composition

- i) Façade elements should be located and arranged according to the building’s architectural style and respond to its site.
 - (1) Buildings should be “four-sided”, meaning that all façades including side and rear façades should be considered visible (unless facing “blind” onto an adjacent party wall) and should be treated with an architectural façade composition.
 - (2) Distinctive building elements such as, for example, a corner tower are encouraged to accent terminating views within the Plan Area.
- ii) Façade Wall Composition.
 - (1) Unifying architectural approaches should be used to lay out a window pattern across a façade, such as aligning windows by using common sill or header lines.
 - (2) At attached residential dwellings, façades of attached residences within the same project should be distinct and even different, but also should maintain unifying compositional elements such as a common window header or sill line, and/or aligned vertical centerlines of windows and doors between upper and lower floors.
 - (3) Horizontal ornament such as awnings or belt courses, string courses or cornice lines should be carried across adjacent façades to unify various building masses and convey the sense of a consistent building wall.
- iii) Façade Additive Elements.
 - (1) Covered outdoor spaces such as arcades and galleries are encouraged to protect pedestrians from summer heat and winter rain.
 - (2) Window Bay Projections are encouraged at upper stories as they create architectural interest and a regional architectural context. They also serve to increase usable internal floor space for upper story tenants.
 - (a) *Window Bay Projections may be used on second and higher stories.*
 - (b) *Window Bay Projections may be considered a “primary wall material” or an “accent wall material” and conform to the Wall Cladding guidelines below.*
 - (3) Storefront awnings and canopies: Colored fabric mounted awnings supported by a metal structural frame are recommended. The awning form should not dominate or obscure the storefront or façade – i.e., a straight sloping profile is recommended and a bulbous quarter-round profile is strongly discouraged. Internally illuminated fabric awnings should not be used. For a sequence of storefronts or windows, a sequence of discrete awnings or canopies for each storefront or building bay should be used, rather than one continuous run-on awning. Awnings should not cover up intermediate piers, pilasters, or other vertical architectural features.
 - (4) Trellises, Marquees, and Architectural Canopies: Materials, colors, and form should be derived from the building architecture, e.g. a trellis painted the same color as a building’s trim scheme is appropriate.

- (5) Alcoves and balconies are encouraged at upper stories to create architectural interest, a regional architectural context, and to provide outdoor spaces for upper story tenants. They also increase safety by allowing residents to passively watch their immediate neighborhood.
- (6) Protrusions such as balconies and porches may be used on second and higher stories. Protrusions of this type should extend no greater than two feet from the face of the building. Alcoves used in conjunction with these elements increases the usability of this element, while providing shadow and visual interest to the façade composition.
- (7) Balconies and porches should be constructed of materials and proportions related to the overall façade composition. A contrasting material to the wall surface should be used.
- (8) Balconies or alcoves that are recessed into the building façade may use a curb wall with open railing at top.
- (9) Barrier railings of balconies that project from the wall surface of the building should use a visually open design made of pickets or bars rather than solid wall panels.
- (10) Ornamental wall-mounted outdoor lighting (sconces) may be used to accent entries, mark a sequence of repeating pilasters, or serve as a “centerpiece” for a façade panel. Style and material should be consistent with that of the building.

c) Windows

Windows should be designed to match the character and style of the building. Windows throughout a building’s façades should be related in design, operating type, proportions, and trim. They should be used as architectural elements that add relief to the façade and wall surface.

i) Window Form:

- (1) Window openings, operating types (single-hung, casement, etc.) and proportions of window frames and members should be designed in accordance with the building’s architectural style.
- (2) At additions and accessory buildings: windows should be of the same architectural style as the main building, including opening mechanisms and trim.
- (3) Where greater privacy is desired for ground floor restaurants or professional services, large storefront windows should be divided into smaller units or panes. An “industrial sash” type of multi-pane window may be used where appropriate with the building’s architectural style.
- (4) A vertical proportion of window openings (e.g., 3:2 to 2:1 height: width ratio) should typically be used. Openings may be composed of a series of vertically proportioned panes or frames.
- (5) Commercial clerestory windows are a recommended feature in storefront glazing to provide natural light in conjunction with required height for shopfront.

- (6) Upper floor windows should be smaller in size than storefront or first floor windows, and should encompass a smaller proportion of the façade surface area. Exceptions to this include large window openings are used as “penthouse” glazing (top floor of a four or more story building).

- (7) At freestanding parking structures, long-span façade openings with height: width ratios more horizontal than 1:3 should not be used. Vertically proportioned window-like openings (3:2 to 2:1 ratio) are strongly encouraged.

ii) Window Treatment:

- (1) Window trim: Expressed window frames and sills should be used to enhance openings and add additional relief. They should be proportional to the glass area framed (a larger window should have wider framing members). Upper story windows and parking structure “window” openings should be detailed with architectural elements such as projecting “lug” sills, and/or lintels.
- (2) Window accessories such as window boxes for plants, fabric awnings, etc. should be considered to add visual interest, in coordination with the selected architectural style. Decorative grillework is recommended for parking structure openings, to add detail and help “break down” the scale.
- (3) “Lug sills” (protruding window sills – see glossary) should not be formed of rigid foam or other substrates sprayed with stucco or other wall finish material. They should be constructed with a permanent material such as painted wood, painted FRP, metal, precast concrete, GFRC, terra cotta, or stone.

iii) Components:

- (1) If horizontal or vertical aluminum sliding windows are used, assemblies with extrusions and frame members of minimum one and one-half inches exterior width dimension should be used, to avoid an insubstantial appearance common to aluminum sliding windows.

iv) Glazing

- (1) Clear glass should be used. If tinted glazing is used, light tints and green, gray or blue hues should be used.
- (2) If solar or heat control is desired, reflective glazing and/or reflective adhesive films should not be used. Nonreflective types should be selected instead. Low emissivity glass and external and internal shade devices are other options that should be used as well.

v) Location

- (1) Windows should face onto shared courtyard areas, parking areas and/or activity area.

d) Main Entrances

- i) Main Entrances should incorporate one or more of the following treatments:
 - (1) Marked by a taller mass above, such as a modest tower, or within a volume that protrudes from the rest of building surface.
 - (2) Accented by special architectural elements, such as columns, overhanging roofs, awnings, and ornamental light fixtures.
 - (3) Indicated by a recessed entry or recessed bay in the façade. Recommended treatments include special paving materials such as ceramic tile; ornamental ceiling treatments, decorative light fixtures; and attractive decorative door pulls, escutcheons, hinges, and other hardware.
 - (4) Sheltered by a projecting canvas or fabric awning, or as a permanent architectural canopy utilizing materials from the primary building.
- ii) Entrances to upper-story uses on the primary elevation should incorporate one or more of the following treatments:
 - (1) Located in the center of the façade between storefronts, as part of a symmetrical composition.
 - (2) Aligned with prominent façade elements of upper stories, such as an expressed or embedded entrance tower.
 - (3) Accented by architectural elements such as clerestory windows, sidelights, and ornamental light fixtures, and identified by signage and/or address numbering.
 - (4) Indicated by a recessed entrance, vestibule or lobby distinguishable from storefronts.

iii) Bollards should be installed at the entrances of large commercial or civic buildings to prevent a vehicle from crashing through the front doors of the building.

e) Secondary Entrances

- i) Side or rear building entries should be visible and easy to find, but visually secondary to main entrances
- ii) Secondary entries should be easy to find, particularly for customers or visitors accessing them from parking lots.
- iii) The design of the side or rear entry should be architecturally related to the front entry, such as in use of materials and proportions.
- iv) Secondary entries should be enhanced with detailing, trim and finish consistent with the character of the building.

f) Loading and Service Entrances

Loading and services entrances should not intrude upon the public view or interfere with pedestrian activities.

g) Entrance Doors

- i) General
 - (1) Doors are the one part of the building façade that patrons and visitors will inevitably see and touch, and should be well-detailed and made of durable high quality materials.
 - (2) Detailing such as carved woodwork, metal trim, or applied ornament should be used, to create noticeable detail for pedestrians and drivers. Doors may be flanked by columns, decorative fixtures or other details.
- ii) Commercial
 - (1) Doors at storefronts should include windows of substantial size that permit views into the establishment.
 - (2) Doors at storefronts should match the materials, design and character of storefront windows. High quality materials such as crafted wood, stainless steel, bronze, and other ornamental metals are encouraged.
- iii) Residential
 - (1) Doors at residential mixed-use buildings should match or complement the materials, design and character of the primary building, as well as convey the residential character of the building.
 - (2) Doors at residential uses should incorporate high quality materials such as crafted wood, stainless steel, bronze, and other ornamental metals.
- iv) Security
 - (1) If utilized at storefront windows, doors, and loading docks, roll-up security doors should be detailed to conceal door housings and tracks and provide an attractive and finished appearance for all exposed components. The roll-up door housing should not protrude more than six (6) inches from the building façade plane.
 - (2) At live-work units, if roll-up security doors are used, they should be detailed to conceal door housings and tracks and provide an attractive and finished appearance for all exposed components. The roll-up door housing should not protrude from the façade plane.

h) Garage Doors

- i) Single-car garage doors are strongly recommended for mixed-use buildings and for all commercial use garage entrances.
- ii) Where double car width doors are used, a width of eighteen feet should not be exceeded.
- iii) The following scale-reducing design treatments are recommended to avoid projecting an automobile-dominated appearance to the street or alley:
 - (1) Garage doors that face the public right of way should have window openings or open grillework on the upper portion of the door.
 - (2) Door design treatments such as vertically proportioned segmentation and detail should be used to minimize the apparent width of the entrance – in accordance with the selected architectural style.
 - (3) Framing elements such as trellises above openings and trim around the edges of openings should be used.
- iv) At live-work façades, garage or studio doors should be compatible with a residential character. Large featureless doors should be avoided. Glazed multi-panel doors may also be used to impart a residential scale.
- v) At garage entrances of Parking Podiums and Freestanding Parking Structures: Vehicle entrances should be treated with architectural articulation and landscape materials, to “mark” an important and frequently used common entrance and make it easily recognizable. Treatments should include;
 - (1) indenting or recessing the mass of the structure or podium at the entry
 - (2) applying architectural framing to the opening
 - (3) trellising with or without plant materials
 - (4) ornamental door grillework, ornamental lighting and signage, etc., consistent with the architectural style of the building.

i) Wall Cladding

i) General Guidelines

- (1) Materials used should be appropriate to the architectural style and building type. Authentic materials and methods of construction should be used to the degree possible.
- (2) Wall cladding materials on additions and accessory buildings should be carried over from the primary building where possible.
- (3) If the building massing and pattern of windows and doors is complex, a simple palette of wall materials, textures and/or colors should be used. If the building volume and the pattern of wall openings are simple, additional wall materials, textures and articulation may be utilized.
- (4) For individual buildings or portions of buildings intended to appear as individual buildings, materials used as primary cladding should be limited in number – one or two maximum in most cases.
- (5) Grout and sealant colors should be coordinated with colors of abutting materials as well as other building colors.
- (6) An anti-graffiti coating should be applied at the ground floor level and wherever exposed façade surfaces may be accessible from upper floors through wall openings. A clear matte finish is generally recommended for such coatings.
- (7) Building Base, Parking Podium or Above Ground Parking Structure Materials: may be clad, built with materials that extend down from portions of the building above, or built with contrasting materials of a more substantial character. Visible façades of Parking Structures, if not clad, should display quality materials of a substantial character that are complementary to surrounding architecture such as Precast Concrete, Poured-in-Place Concrete, and Concrete Block.

		i) Wall Cladding (cont.)			
		Material	Description	Usage Recommendations	Use
Primary Cladding		Brick	Full Brick & Thin Brick Veneers	Full size brick is preferable to thin veneer brick. When used, brick veneers should be mortared to give the appearance of full-depth brick. Detailing should avoid the exposure of sides of veneer tiles; wrap-around corner and bullnose pieces should be used to further minimize the appearance of veneer. Brick wall cladding is frequently complemented by light-colored (white, off-white, light gray) accent materials such as limestone, glazed terra cotta tile, precast concrete, and/or glass fiber reinforced concrete (GFRC). Accent materials are typically used at window and door frames, wall bases, cornices, and as decorative elements. Other accent materials such as granite, river rock or colored glazed terra cotta are also occasionally used, tan and yellow brick colors are appropriate.	Commercial & Residential
		Concrete Block	Hollow concrete masonry unit.	Creativity in selecting block sizes, surface textures, stacking/bonding patterns, and block and grout colors should be used. In the case of a building base, façade composition should be coordinated with the architecture of primary building walls above. To avoid an institutional (i.e. “project” or “prison”) appearance, a plain stack-bond block pattern of standard size blocks should not be used. Decorative treatments such as alternating block courses of differing heights, contrasting grout colors, alternating surface textures (e.g. precision face and split face) and/or compositions of colored blocks should be used, along with matching cap and trim pieces.	Commercial & Residential
		Fiber-Cement or Cementitious Siding	An exterior siding product available in planks, panels and shingles and composed of portland cement, ground sand, cellulose fiber and sometimes clay, mixed with water and cured in an autoclave.	Acceptable substitute for wood siding when used in the formats described below under “Wood”. Extra care and training must be taken to ensure proper installation, proper tools are used for cutting, and non-rusting hardware is used for fastening.	Residential
		Fiber-reinforced plastics (FRP) & Glass Fiber Reinforced Concrete (GFRC)	Concrete reinforced with either glass fiber (GFRC) or plastics (FRP)	Use to simulate materials such as stone, wood or metal. Joints should be integrated into the design to ensure a solid appearance.	Commercial & Residential
		Metal Siding	Profile, Corrugated, and Other Sheet, Rolled and Extruded Metal Surfaces	Detail with adequate thickness to resist dents and impacts with trim elements to protect edges. A high quality, durable, fade-resistant coating system or paint such as Kynar, Tnemec, etc. is recommended. Natural metal colors are recommended.	Commercial & Residential
		Stucco & EIFS (Exterior Insulating and Finish Systems)	Stucco non insulating material made of sand portland cement and water. EIFS shares a similar appearance to stucco but has insulating properties.	Stucco and EIFS finishes are acceptable finishes for upper stories only at street exposures on commercial buildings. They may not be used at storefronts. They may be used at ground floor portions of rear or side service and parking exposures, however the ground floor street façade cladding materials should continue to be used as a building base and accent material. Close attention should be paid to detail and trim elements for a high quality installation; for EIFS, high-density versions should be specified at ground floor level to resist impacts. Very stylized or highly textured surfaces are strongly discouraged. Joint patterns should be architecturally coordinated with overall façade composition. Ground floor level window and door trim elements should not be made from stucco, cement plaster or EIFS; they should instead be made of wood, metal, precast concrete or other contrasting durable materials.	Commercial & Residential
		Wood	Horizontal sidings such as clapboard and tongue-in-groove; vertical siding such as board and batten; and other horizontal sidings such as smaller wood shingles.	Trim elements should be used for all wood siding types. Timber detailing and exposed bracing may be appropriate. “T1-11” plywood panel siding is not recommended unless detailed with additional trim to emulate a board and batten style and must be of a smooth grade to avoid a rustic, textured appearance. Spacing of siding should not exceed 8”.	Residential
Secondary Cladding		Ceramic Tile	Tile made by Firing Clay. Glazed and Unglazed	Should be limited in use to a façade cladding or decorative wall accent material. Simple color palettes and design motifs should be used.	Commercial Accents and Storefront Bases
		Poured-in-Place Concrete	Concrete that is formed on site with a lower level of precision.	Long surfaces of uninterrupted flat concrete walls should not be used. The use of textured form liners, pigments, stains, and/or special aggregates should be used to create visual interesting surfaces. At a minimum, the design of exposed concrete walls should incorporate the location and spacing of formwork tie-holes, expansion joints and control joints into the façade composition. To the degree possible, formwork should shape architectural profiles of walls that create bases, cornices, pilasters, panel frames, and other elements contributing to façade composition and human scale. Concrete walls may also be clad with other finish materials such as stucco and patterned to match other building walls. The architectural treatment of poured concrete that is used as a building architectural base should be extended to concrete used elsewhere in the project for site work material.	Commercial & Residential
		Precast Concrete	Concrete that is cast in a shop with a high level of precision.	The location and spacing of panel and expansion joints should be incorporated into the façade composition. Castings should be shaped to form architectural profiles that create bases, cornices, pilasters, panel frames, and other elements contributing to façade composition and human scale. Cement type, mineral pigments, special aggregates and surface textures may be exploited in precast concrete to achieve architectural texture and variety.	Commercial & Residential
		Stone	Stone (including river stone), stone veneers, cast stone, or terra cotta.	These materials should be used as a wall base or wainscot materials and for copings, trim, and special decorative elements. Improperly simulated or contradictory finishes (i.e. use of panelized concrete to simulate a stone wall appearance with visible straight-line joints cutting across individual stones) should not be used.	Commercial & Residential

5) Roof Guidelines

a) Roof Types

- i) All pitched and continuous sloping roof forms (i.e. without flat horizontal portions) are encouraged. These include gable, hip, and pyramidal roofs.
- ii) Flat or shallow pitched roofs should be ornamented with shaped parapets, caps, or cornice treatments, using one of the methods below:
 - (1) The primary cornice should be decorated or bracketed with parapets, finials, or simple decorative panels or molding.
 - (2) An architecturally profiled cornice and/or expressed parapet cap should be used to terminate the top of the parapet wall.
 - (3) Surface mounted cornices, continuous shading elements, or trellises should be used to strengthen a parapet wall design.
 - (4) Sheet metal parapet caps or coping should provide a formed (compound folded) overhanging edge termination and a heavy gage sheet metal thickness selected to avoid “oilcanning” distortion. Single layer, flush sheet metal parapet caps should not be used. Finish should either be of an unpainted ornamental metal such as copper or painted to match adjacent wall surface. Unpainted galvanized metal should not be used in zones T5 and T6.
- iii) Smaller, subsidiary roofs may be used at storefronts; these should match the principal building in terms of style, detailing and materials.
- iv) Roof overhangs for both flat and sloping roofs are encouraged to add depth, shadow and visual interest, and can be used to create a Street façade Top Element as defined in Section 2.8.1. They should be designed as follows:
 - (1) At roof overhangs, vertical roof edge fascia over eighteen inches in height are recommended to be subdivided or accented by additional horizontal layers, stepbacks, trim, and other detailing.
 - (2) Brackets and corbels (i.e. decorative supporting pieces designed to bear the weight of projected overhangs), or other expressed roof overhang supports (whether structural or nonstructural) are encouraged to add richness to detailing. The spacing module of repeating supports should relate to the building’s structural bay spacing or window mullion spacing.
 - (3) The soffit (i.e. the underside surface of the roof overhang) should be designed as a visible feature and detailed accordingly. Soffit beams, coffers, light fixtures and other design articulation are encouraged.
- v) At Freestanding Parking Structures, the “skyline” at the roof deck should be designed and shaped to create an interesting visual profile, as follows:
 - (1) At stair and/or elevator towers, special roof forms such as sloped or curved roofs are encouraged.
 - (2) Along parapet edges, cornices, shading elements, and/or trellises are encouraged to provide additional visual interest. The height of parapet walls and/or guard railings may be varied in coordination with the overall façade composition but should be tall enough to conceal vehicles.

- (3) Due to their highly visible location, light poles and fixtures at roof parking decks should be specified or designed as decorative fixtures, architecturally coordinated with the style of the building.

vi) Variations of the roof and/or eave line should be used to mark main building entrances and also to differentiate between individual units within attached residential buildings.

b) Roof Materials

- i) Roof materials should match or complement the existing context of the project area.
- ii) Roof materials that should be used include:
 - (1) Asphalt shingles: Projects using asphalt shingles should use the highest quality commercial grade materials, and be provided with adequate trim elements. Lightweight asphalt shingles should not be used.
 - (2) Metal Seam Roofing: Finishes should be painted or coated. Copper, zinc, and other exposable metal roofs should be natural or oxidized.
 - (3) Sheet metal shingles, such as copper, zinc, and alloys.
 - (4) Solar (or photovoltaic) roof shingles: Where solar and non-solar shingles are combined in the same roof plane, shingles should be configured to match the visible size and layout of solar and non-solar roof shingles for an unobtrusive appearance.
 - (5) Tar and Gravel, Composition, or Elastomeric Roofs (at flat roof locations): Light, reflective colors are recommended to minimize heat gain within the buildings. Roof surfaces utilizing these materials should be screened from view from adjacent buildings and sites by parapet walls.
 - (6) Terra Cotta Barrel Tile: Natural clay color should be used. Doubling the tiles at the roof edge is appropriate.
- iii) Roof materials that should not be used include:
 - (1) Corrugated sheet metal, unless used as an accent roofing material.
 - (2) Stamped sheet metal used to simulate Mediterranean or Spanish roof tiles.
 - (3) Wood shakes or shingles.

c) Roof Equipment and Screening

- i) Roof-mounted equipment such as antennae and receiving dishes should be located behind parapets, recessed into the slope of roof hips or gables, or enclosed within roof volumes.
 - (1) Materials, architectural styles, colors and/or other elements from the façade composition shall be used to integrate the screening into the building’s architecture.
 - (2) In the design of screening enclosures, use dimensional increments of window spacing, mullion spacing, or structural bay spacing taken from the façade composition.
- ii) Solar panels if not completely concealed should be architecturally integrated into the roof.
 - (1) Flat roofs-pavers should be screened with parapets or laid flat.
 - (2) Sloped panels should match slope exactly
- iii) Where possible, downspouts should be concealed within walls. The location, spacing, materials, and colors of exposed downspouts, gutters, scuppers, conductor heads and other visible roof drainage components should be incorporated into the architectural composition of the façade and roof; haphazard placement should be avoided. Half round gutters and round downspouts are recommended as a type appropriate for most architectural styles. Attachment hardware should be of a high visual quality, corrugated downspouts should not be used.
- iv) Mechanical equipment, should be incorporated into the architecture of the building and included as a part of the building proper.

6) Color Guidelines

a) General Guidelines

- i) Colors that reflect the City’s relationship with the coast should be used. Different shades of whites and pastels are appropriate. Extremely bright colors should not be used as primary wall colors.
- ii) Secondary color should complement the primary building color, and may be a lighter shade than the body color, or use more saturated hues. Secondary color can be used to give additional emphasis to architectural features such as building bases or wainscots, columns, brackets, cornices, capitals, and bands; or used as trim on doorframes, storefront elements, windows and window frames, railing, shutters, ornament, fences, and similar features.
- iii) Accent colors may be more saturated in color, or brighter in tone, and used to highlight special features such as doors, shutters, gates, ornament, or storefront elements. Bright colors should be limited to retail establishments, and used sparingly at fabric awnings, banners, window frames, or special architectural details. A restrained use of bright colors allows signage and merchandise to catch the eye and stand out in the visual field.
- iv) Colors should be compatible with other buildings in the surrounding area (unless those colors violate the above principle). Colors of adjacent buildings should be taken into consideration.
- v) Fluorescent colors should not be used.

2.8.3 Architectural Character

The beach and surf lifestyle are essential to the culture of Huntington Beach. This culture should be instilled into the built form of new construction through the use of appropriate architectural styles. This section contains an overview of the predominant architectural styles that will continue to define the character and identity of Huntington Beach. A small number of buildings designed in other styles or displaying a degree of stylistic influence from other styles may be found throughout the City, but detailed descriptions of those styles have not been included here. Reference books such as What Style is It? A Guide to American Architecture by John C. Poppeliers & S. Allen Chambers (Hoboken, NJ: John Wiley & Sons, Inc., 2003) may be consulted for further detail on these and other architectural styles. Within individual style descriptions below, the dates shown indicate the historic period of initial popularity of the style.

With the goal of strengthening Huntington Beach’s “sense of place” and architectural identity in mind, the Architectural Character discussed here is included to provide a basis for reinforcing and strengthening the City’s identity by applying that character to the design of new buildings and development in the project area. This can be accomplished either through the full emulation and/or the interpretation of the following styles.

This information is intended to provide guidance for architects and developers to make sensitive reference to, incorporate, and/or harmonize with characteristics of predominant architectural styles such as (but not limited to) massing, horizontal and vertical scale increments, façade composition, roof form, architectural elements, materials, and colors.

a) Spanish Mission Revival / Mediterranean Style (1915 – 1935)

i) Features of Spanish Mission Revival and Mediterranean Styles:

- (1) Spanish Mission Revival and Mediterranean styles (and their sub-styles such as Spanish Colonial Revival) were period revivals that became popular in California beginning in the 1920s. The historic heritage of the California Missions, the exotic imagery of Spain and Mexico in movies, and California's climate being likened to that of the Mediterranean were sources of inspiration.
- (2) These styles were applied widely to commercial, civic, mixed-use, and residential buildings.
- (3) Building masses are composed of simple rectangular stucco-clad volumes or combinations of simple volumes, punched by deeply recessed openings for windows and doors, many of them arched.
- (4) A variety of proportions of overall building masses and individual features (windows clusters, porches, etc.) are used.

- (5) Roofs are typically finished in fired clay red "barrel" tile, sometimes mixed in with flat roofs with parapet walls with a shaped top profile.
- (6) Both formal and informal arrangements of window and door openings are used; arched openings are used individually and in sequence as arcades.
- (7) Storefront designs similar to those used within the Early 20th Century Commercial Style can occur within storefront openings on facades. Storefront materials and colors such as ceramic tile, dark painted woods, and dark metals are selected in coordination with overall building colors.
- (8) Wall colors are white or light earth tones (cream, ochre, tan, etc.)
- (9) Dark painted or stained wood and dark metal (wrought ironwork) are used as trim and ornamental elements in Mission and Spanish styles, while light or colored trim may also be used in Mediterranean styles.



b) Contemporary Styles (1950s – present)

i) Features of Contemporary Styles:

- (1) For the purposes of this Plan, Contemporary Styles comprise those architectural styles that draw on Modernism, Post-Modernism, and other current styles in practice today. Most Contemporary Styles have drawn upon contemporary building materials, modern construction methods to create a visual identity that is distinct from historic architectural styles.
- (2) Styles that incorporate pedestrian and urban principles including appropriate scale and composition relative to surrounding buildings, façade rhythm and a high level of articulation are encouraged. Contemporary styles with simple building volumes, minimal surface articulation and relief, and unornamented detailing that conflict with the intimate and human-scaled characteristics of traditional styles that support downtown urbanism should be discouraged.
- (3) In some cases and especially in “Post Modern” styles after 1980, designs have drawn upon other historical styles previously described in this document for inspiration or emulation, but their scale and use of materials is not limited to the roots of those historical styles.

- (4) Contemporary Styles have been used on all building types, including commercial, residential, industrial, and civic uses. They have frequently been used on building types outside of downtown districts (such as office park campus buildings, suburban schools, and industrial buildings).
- (5) As mentioned above, building massing and form of Contemporary Styles typically feature simple volumes, often using geometric forms. They may be asymmetrical or symmetrical in organization. They do not necessarily follow strict proportional guidelines.
- (6) Building elements such as walls, windows, and roofs are often expressed as individual planes or forms. Windows can often be expressed as “voids” between walls, or act as entire wall planes (such as curtain walls). Where they are expressed as openings in walls, they are typically composed as a series of rhythmically or strategically placed “punched openings” for compositional reasons.
- (7) Flat roofs are used in many cases, but shaped roofs are often treated as geometric forms or volumes that may “stand out.” Examples include barrel vaults, angled planes, curved planes, and extended overhangs. They may be accented with special materials such as sheet metal or tile.

- (8) Contemporary Styles employ a wide palette of building materials. Metal cladding, concrete, glass, tile as well as natural materials may be used in unconventional ways for aesthetic purposes. Materials as well as colors are often used to define building volumes or even functions.
- (9) Building colors may be composed of contrasting hues and tones, with individual building elements or forms emphasized through use of an accent color. Strong, saturated hues are often used to play off of neutral hues.



c) *Craftsman / California Bungalow (1905 – 1925)*

i) Features of Craftsman and Bungalow Styles:

- (1) The Craftsman and California Bungalow styles emerged after the turn of the century to satisfy tastes for greater simplicity and natural forms. Influences from other styles typically used for larger homes can be seen applied to Bungalow styles, including Shingle Style and Colonial Revival homes of the east, and the Arts and Crafts movement and its related informal lifestyle.
- (2) These styles were applied primarily to residential buildings.
- (3) Building massing is typically composed of one low simple gable-roofed rectangular volume; where applied, additions are also of simple volumes.
- (4) Front facades typically have a central shallow pitched gable roof perpendicular to the street; on occasion it is parallel to the street with a dormer above. In the former case, a sub-gable may be offset from the main gable to create a front entry or porch.

- (5) Proportions of both the overall building mass and of individual features (windows clusters, porches, etc.) are horizontal.
- (6) Window and door openings are generally composed to align both horizontally and vertically on facades; symmetrical façade arrangements are common.
- (7) “Elephant” columns (relatively stout-proportioned, tapered columns) and double columns at entry porches are a common feature; other decorative elements include ornamental brackets to support roof overhangs.
- (8) Craftsman Bungalows are typically clad with wood shingles or siding, while California Bungalows are typically surfaced with light-colored stucco. In both cases, trim is painted wood of a contrasting light or dark color.



d) Costal Vernacular

i) Features of the Costal Vernacular Style.

- (1) Vernacular architecture is historically made from locally available materials and responds to the regional climate. It is based on traditions handed down through generations and constructed by the building owner or by the community rather than an architect and is most common in residential structures.
- (2) Contemporary interpretations generally utilize lightweight materials such as wood siding, board and batten and metal sidings.
- (3) Wood trellises and sun shades are used as a means of sun control as well as architectural expression.
- (4) Detailing is simple but well crafted. Ornaments should generally be avoided.

- (5) Porches with simply detailed wooden posts are most accurate to historic precedents however simple true classical orders are also successfully incorporated for a more refined appearance.
- (6) Roof forms are simple, moderately sloped gabled and shed types. Large roof overhangs moderate sun.
- (7) Wood shingle look and aluminum standing seam roofing is typical.
- (8) Color palettes are simple and washed, light colors are common.



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2.9 SIGNAGE REGULATIONS

This section contains standards and guidelines for signage to ensure that signs installed in the Sub-Area Plan Boundary are consistent with the overall quality and character of new development anticipated for the corridors. Regulations include permitted sign types as well as sign size, location, materials, illumination, color, and design.

1) Applicability

- 1) All signs in the Plan Area shall adhere to the regulations in this section.
- 2) In the event of a conflict between this Section and any other City code, the provisions of this Section shall apply.
- 3) “Permits Required” noted in the City of Huntington Beach Zoning and Subdivision Ordinance, Chapter 233 Signs, Section 233.04, items A-F, indicates requirements for sign permits. Unless otherwise noted, a sign permit is required for all types listed in this section.
- 4) All Temporary Signs as noted in the City of Huntington Beach Zoning and Subdivision Ordinance, Chapter 233 Signs, Section 233 as “Real Estate Signs” and “Open House and Real Estate Flags” (Section 233.06F); “Subdivisional Directional Signs” (Section 233.16); and “Promotional Activity Signs” (Section 233.18) shall be regulated per the respective requirements therein.
- 5) “Exempt Signs” noted in the City of Huntington Beach Zoning and Subdivision Ordinance, Chapter 233 Signs, Section 233.08, shall be exempt from sign permit requirements unless expressly prohibited for specific sign types and districts indicated in this section.
- 6) “Subdivision Directional Signs” as described in the City of Huntington Beach Zoning and Subdivision Ordinance, Chapter 233 Signs, Section 233.16, shall comply with the requirements therein.
- 7) Signs for Service Stations shall be as permitted by the City of Huntington Beach Zoning and Subdivision Ordinance, Chapter 233 Signs, Section 233.06.E “Service Stations.”
- 8) All issues not specifically addressed herein shall be addressed pursuant to the City of Huntington Beach Zoning and Subdivision Ordinance, Chapter 233 Signs.

2) Definitions

Abandoned Sign: A sign which no longer directs, advertises, or identifies a legal business establishment, product, or activity on the premises where the sign is displayed.

Animation: The use of a sequence of progressive changes of parts or lights or degree of lighting in a sign’s design.

Awning: A fabric-covered shelter structure attached to and supported entirely by a building façade, typically above a window, entrance, or storefront opening.

Bonus Sign: An internally illuminated freestanding sign designed with opaque sign faces/panels, and illuminated for items of information only.

Canopy: A permanent architectural structure made of rigid materials such as metal, wood, etc. mounted on the face of a building or is freestanding as common in service stations.

Changeable Copy Sign: A sign or portion thereof with characters, letters, or illustrations that can be changed manually or electrically without altering the face or surface of the sign.

Directional Sign: An on-premise incidental sign designed to guide or direct pedestrian or vehicular traffic.

Electronic Readerboard: A changeable message sign consisting of a matrix of lamps which are computer controlled, independent of sign type.

Exposed Incandescent Bulb Illumination: The illumination of a sign by incandescent bulbs which are intended to “spell out” letters and numerical characters and/or provide graphic accents, are mounted directly to the face of the sign, and whose light-emitting surfaces are fully visible.

Exposed Neon Tube Illumination: The illumination of a sign by neon tubes which are intended to “spell out” letters and numerical characters and/or provide graphic accents, are mounted directly to the face of the sign, and whose light-emitting tubes are directly visible.

Exposed LED Illumination: The illumination of a sign by use of Light Emitting Diode (LED) sources which are intended to “spell out” letters and numerical characters and/or provide graphic accents, are mounted directly to the face of the sign, and whose light emitting surfaces are directly visible.

External Illumination: The illumination of a sign by projecting light on to the face of the sign from a light source located outside of the sign, such as “gooseneck” lamps; light sources are shielded from direct view.

Freestanding Sign: A sign permanently attached to the ground and which does not have a building as its primary structural support. This includes ground signs, monument signs, pole-mounted signs, and tower signs.

Grand Opening: A promotional activity not exceeding ninety (90) calendar days used by newly established businesses to inform the public of their location and services.

Halo Illumination: The illumination of a sign by projecting light behind an opaque letter or emblem onto the backing panel which results in the appearance of “halo” of light around the letter or emblem; light sources are shielded from direct view.

Illegal Sign: A sign which was erected without the benefit of a permit that does not meet the requirements of this ordinance, or has not received legal nonconforming status.

Incidental Sign: A small sign pertaining to goods, products, services or facilities which are available on the premises where the sign occurs and intended primarily for the convenience of the public.

Indirect Illumination: A light cast on the surface of a sign from an exterior source.

Internal or Interior Illumination: The illumination of a sign or sign face by projecting light through translucent panel(s) or panel(s) with openings from a light source within an enclosed sign cabinet.

Logo: A trademark or company name symbol.

Planned Sign Program: City-approved entitlement which incorporates coordinated and quality sign design elements.

Portable Sign: Any sign not permanently attached to the ground or a building.

Primary Sign: The main or principle Freestanding Sign on a property.

Promotional Activity Sign: A temporary sign used to advertise a short term special activity or sale, i.e grand opening, under new ownership, fall sale, etc.

Secondary Sign: A sign that is in addition and subsidiary to a Primary sign. Secondary Sign copy is limited to business identification only.

Sign: Any medium for visual communications, which is used or intended to be used to attract attention.

Sign Area: For Total Sign Area see Section 2.9.1., for sign area of individual Sign Types see Section 2.9.2.

Sign Height: Measurement from the adjacent sidewalk or curb to the highest portion of the sign, including architectural elements.

Sign Copy: Any words, letters, numbers, figures, designs, or other symbolic representation incorporated into a sign for the purpose of attracting attention.

Sign Type: See Section 2.9.2 Sign Type Regulations.

Site: One or more parcels of land identified by the assessor’s records where an integrated building development has been approved or proposed. The site shall include all parcels of land contained within or part of the development application.

Subdivision Directional Sign: A sign providing direction to a land development project.

Temporary Sign: A sign which is installed for a limited time and is not constructed or intended for long-term use.

Total Sign Area: see Section 2.9.1.

Valance: The vertical front face of a fabric awning, parallel to the face of the building to which it is mounted.

Window Area: Any window pane or group of window panes contained entirely within glazing separators (muntins, mullions, piers, columns, etc.) of one and one quarter (1 ¼) inches or greater in width. Multiple window panes divided by glazing separators less than one and one quarter (1 ¼) inches in width shall be considered to be a single window area.

2.9.1 Freestanding Sign Setbacks

1) Definition

Freestanding Sign Setback is defined as the distance from a side property line, driveway, or street intersection to any portion of a freestanding sign.

2) Regulation

a) Side Property Lines

- i) Pole Signs shall set back forty (40) feet from side property lines as shown in the Fig. 2.9.1. Freestanding Sign Setbacks diagram.
- ii) Setbacks required for all other freestanding shall be as determined by the Planning director.

b) Driveways

Freestanding signs shall not be located within a ten (10) foot by ten (10) foot triangle adjacent to driveways as shown in the Fig. 2.9.1. Freestanding Sign Setbacks diagram.

c) Street Intersections

Freestanding signs shall not be located within a twenty-five (25) foot by twenty (25) foot triangle defined by front property lines at a street intersection as shown in the Fig. 2.9.1. Freestanding Sign Setbacks diagram.

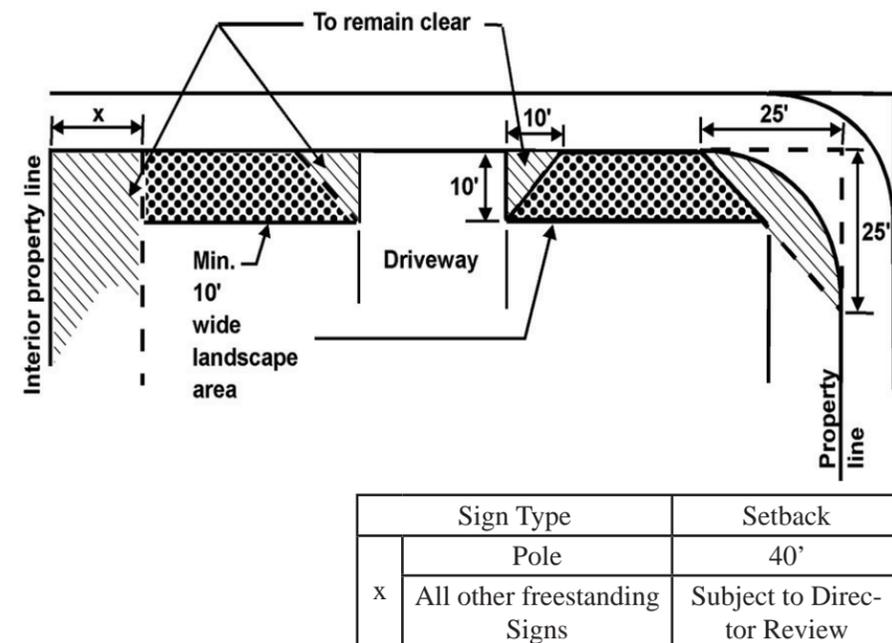


Fig.2.9.1 Freestanding Sign Setback Diagram

2.9.2 Total Sign Area

1) Definition

- i) Sign Area is the area included within the outer dimensions of a single sign (excluding structural supports).
- ii) Total Sign Area is the combined sign area of all signs on a property.
 - (1) For freestanding signs, sign area shall be calculated on one (1) face of the sign, provided a sign face on a double-sided sign is not separated from the opposite side of the sign by more than twelve (12) inches at any point.
 - (2) For illuminated awning or canopy signs, sign area shall be calculated around the sign copy only.
 - (3) For signs without border or frame (channel or skeleton letters), the area shall be within a rectangular area of eight (8) continuous straight lines (with right angles) formed around the extreme outer limits of the sign message, including all figures and any background or color which is an integral part of the sign.

2) Regulation

Unless otherwise noted, all signs (including temporary signs) shall count toward the total sign area permitted based on the following Lineal Building Frontage Ratios:

a) Commercial Uses: Maximum Total Sign Area Permitted.

- i) Lineal Building Frontage Ratio: For each establishment, one and one-half (1 ½) square feet of total sign area shall be allowed for each lineal foot of building frontage.
- ii) For multi-tenant buildings, each establishment shall be calculated individually per lease space frontage. Allowable building frontage square footage shall be divided between eligible sign display areas which are those facing parking lots or side streets or areas permitted by an approved Planned Sign Program.
- iii) Each lease space shall be calculated individually and permitted sign area based on the linear frontage of one establishment or façade shall not be placed on another establishment or façade.
- iv) Total sign area of parking lot frontage may not exceed the total sign area of street frontage regardless of the permitted lineal frontage ratio.

b) Religious Assembly Churches, Schools, and Commercial Recreational Uses within Public Parks: Maximum Total Sign Area Permitted.

- i) Lineal Frontage Ratio: For each site, one (1) square feet of total wall-mounted sign area shall be allowed for each lineal foot of street frontage of the building, up to a maximum of thirty-two (32) square feet.
- ii) Freestanding signs shall have a maximum of thirty-two (32) square feet.

2.9.3 Sign Type Regulations

1) Definition

- i) A Sign Type is a specific configuration of sign elements (such as placement, orientation, and size) that result in a unique type.
- ii) The physical configuration of each Sign Type is established by the text, plan, and section graphics in this section.
- iii) The Sign Types established in this plan are summarized on the following page).

2) Regulation

a) General

- i) Sign types not listed in this Section are not permitted.
- ii) A property's permitted sign types shall be as specified in the Section 2.1 Development Standards Charts.
- iii) In the event that a sign falls under more than one sign definition found within this Section, the more restrictive sign regulations shall apply.
- iv) Signs shall not display animation unless otherwise noted, except public service signs such as those for time and temperature, and permitted electronic readerboards.
- v) Electronic readerboard signs shall only be permitted at parcels abutting Interstate 405 and parcels facing on Beach Boulevard (except south of Adams Avenue). They shall be configured wholly or as part of one of the permitted sign types described in this section including compliance with their respective height and area requirements. Permitted electronic readerboard signs shall comply with all requirements A through D of the City of Huntington Beach Zoning and Subdivision Ordinance, Chapter 233 Signs, Section 233.12. "Electronic Readerboards."
- vi) Commercial messages which identify, advertise, or attract attention to a business, product, service, or event or activity sold, existing, or offered elsewhere than upon the same property where the sign is displayed are expressly prohibited, except as indicated for exempt signs.
- vii) Sign design are established in the text for each sign type of the following pages.
- viii) Freestanding signs shall not obscure any fire fighting appliance, including but not limited to fire hydrants, fire connections, etc.

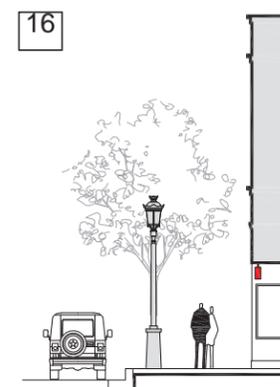
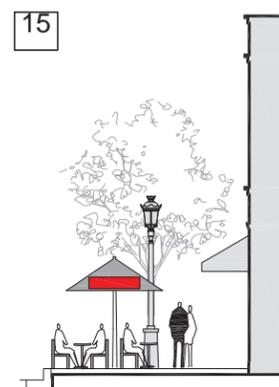
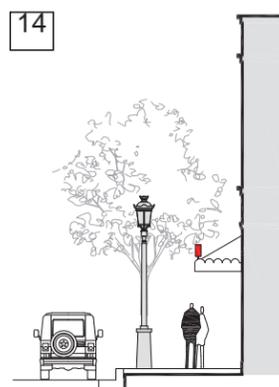
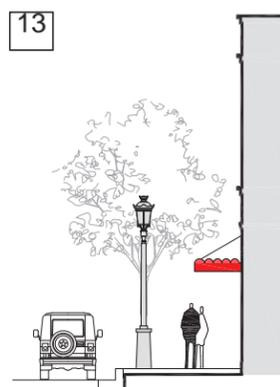
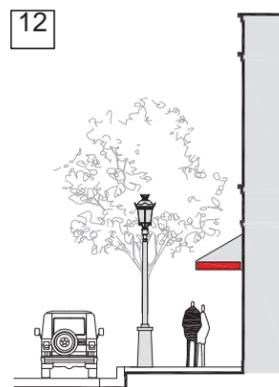
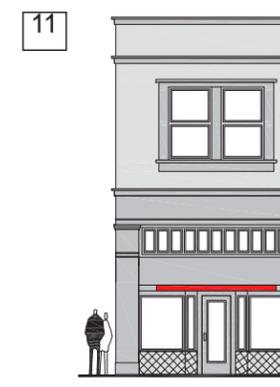
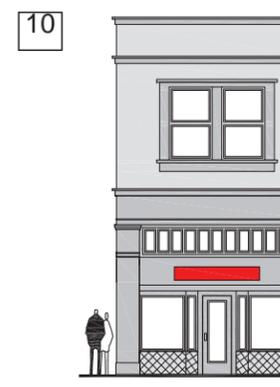
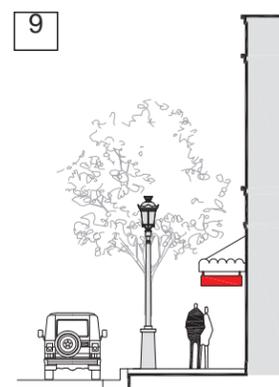
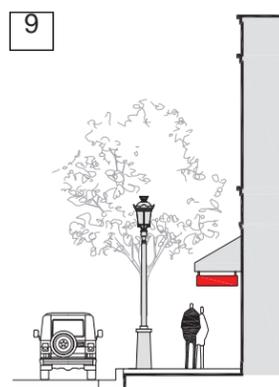
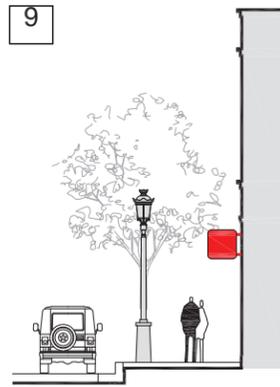
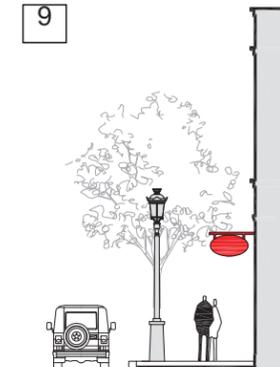
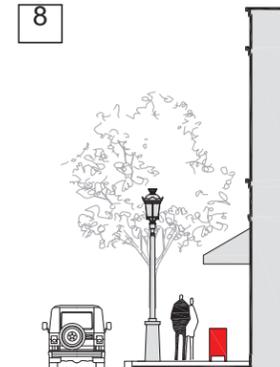
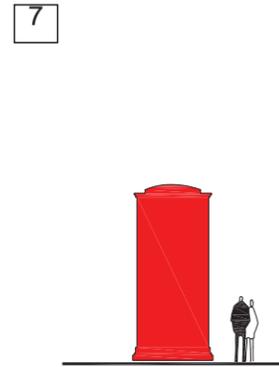
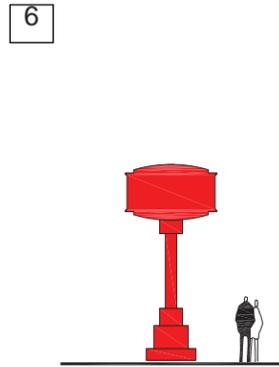
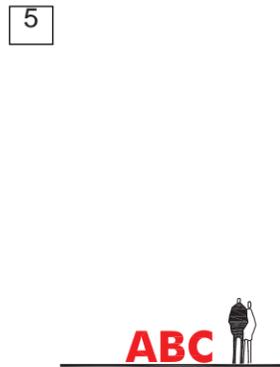
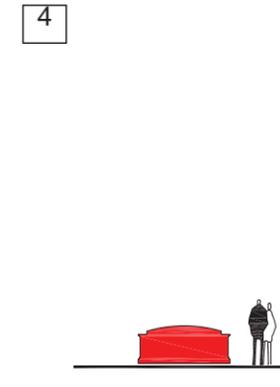
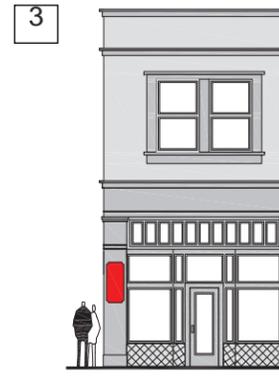
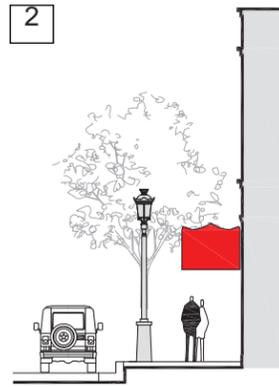
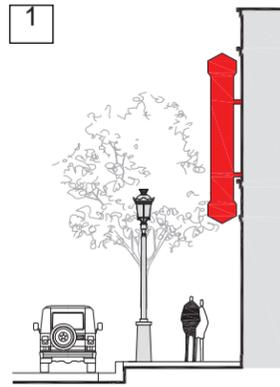
b) Area

The maximum size for each Sign Type shall be as specified in the Section 2.1 Development Standards Charts unless otherwise specified in this section.

c) Number of Signs

The maximum number of signs permitted for each Sign Type shall be as specified in this section.

- 1) Grand Projecting Sign
- 2) Marquee Sign
- 3) Wall Sign
- 4) Monument Sign
- 5) Ground Sign
- 6) Pole Mounted Sign
- 7) Tower Sign
- 8) Projecting Sign
- 9) Awning Face Sign
- 10) Awning Valance Sign
- 11) Awning Side Sign
- 12) Canopy Fascia Sign
- 13) Above Canopy Sign
- 14) Café Umbrella Sign
- 15) Recessed Entry Sign
- 16) Window Sign



1) Grand Projecting Sign

Grand Projecting Signs are tall, vertically oriented signs which project from the building perpendicular to the façade and which are structurally integrated into the building.

a) Number of Signs

- i) Only one (1) Grand Projecting Sign shall be permitted per establishment.
- ii) The area of Grand Projecting Signs shall not count towards the total sign area permitted based on the Linear Frontage Ratio.

b) Design

- i) Grand Projecting Signs shall project no more than six (6) feet from the façade of the building.
- ii) No portion of a Grand Projecting Sign shall be lower than twelve (12) feet above the level of the sidewalk or other public right-of-way over which it projects.
- iii) Letter width shall not exceed two-thirds (2/3) of the sign width.
- iv) No portion of a Grand Projecting Sign shall extend more than ten (10) feet above the roofline.
- v) Only the following types of establishments may use animation on Grand Projecting Signs: night clubs, movie theaters, and live performance theaters with a capacity of 200 persons or greater. When used, animation shall consist of flashing or chase lights only; light sources shall be of incandescent, neon, or LED type only. Flashing xenon strobe lights and rotating lights shall not be permitted.
- vi) Signs that project over the public right-of-way shall require an Encroachment Permit from the Department of Public Works.

c) Guidelines

- i) As prominent landmark features, the position of Grand Projecting Signs should be architecturally composed relative to important features of the building's façade design – for example, located symmetrically within the façade, or aligned with the primary entrance.
- ii) Exposed materials used in Grand Projecting Signs should be metal and paint only.
- iii) Grand Projecting Signs should be illuminated by exposed neon tube illumination, exposed incandescent bulb illumination, and/or LED illumination only.
- iv) Letters should be oriented right-side-up and stacked in a single upright row with the first letter being at the top of the sign and the last letter being at the bottom.

2) Marquee Sign

Marquee Signs are large, canopy-like structures mounted over the entrance to a theater that include one or more readerboards.

a) Number of Signs

- i) Marquee Signs shall be permitted only at movie theatres, live performance theatres, or night clubs - with a capacity of 200 persons or greater
- ii) Only one (1) Marquee Sign shall be permitted per establishment.
- iii) Marquee Signs shall have no more than three (3) faces.

b) Sign Location

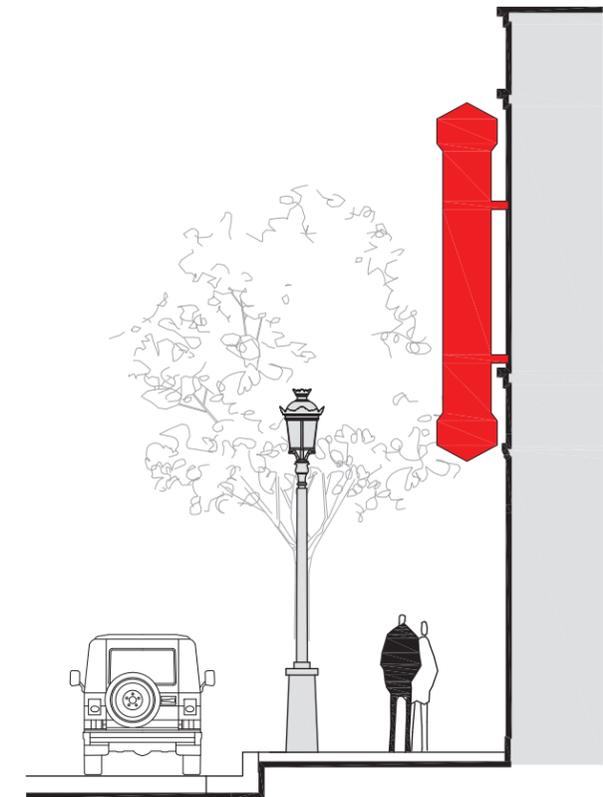
Marquee Signs shall only be located directly above the primary public entrance of the theatre.

c) Design

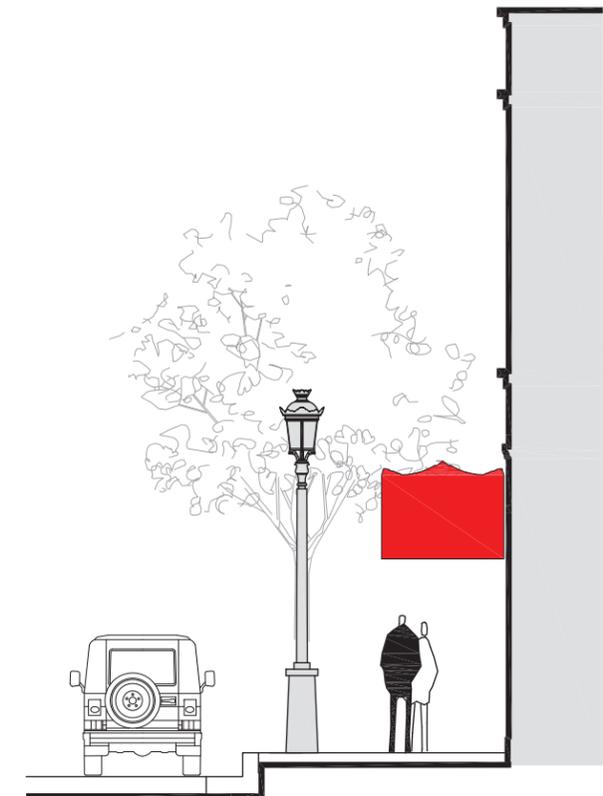
- i) The area of Marquee Signs shall not count towards the total sign area permitted based on the Linear Building Frontage Ratio.
- ii) Marquee signs shall project no more than twelve (12) feet from the façade of the building.
- iii) No portion of a Marquee Sign shall be lower than eight (8) feet above the level of the sidewalk or other public right-of-way over which it projects.
- iv) Marquee Signs may use animation of sign lighting. When used, animation shall consist of flashing or chase lights only; light sources shall be of incandescent, neon, or LED type only. Flashing xenon "strobe" lights and rotating lights shall not be permitted.

d) Guidelines

- i) Exposed materials used in Marquee Signs should be metal and paint only, with the exception that plastic may be used for readerboards.
- ii) Marquee Signs should be illuminated by exposed neon tube illumination, exposed incandescent bulb illumination, and/or LED illumination only, with the exception that readerboards may use internal illumination.



1) Grand Projecting Sign



2) Marquee Sign

3) Wall Signs

Wall Signs are signs which are located on, and parallel to, a building wall.

a) Number of Signs

- i) Wall Signs shall only be permitted for non-residential uses with a dedicated ground floor entrance.
- ii) One wall sign is permitted per street or parking lot frontage for each separate business on the ground floor.

b) Sign Location

- i) Wall Signs shall only be mounted on a wall area below the second floor level. Exception: Wall Signs may be mounted above the second floor level on an architectural tower configured to display wall signs.
- ii) Signs for second floor businesses with exterior access may be permitted by Planned Sign Program.

c) Design

- i) Wall Signs shall project no more than one (1) foot from the façade of the building.
- ii) Wall Signs over fifty (50) square feet in size shall have an opaque background, where only items of information may be internally illuminated; or, signs shall be of individual or channel letter design.
- iii) Multi-business consolidated wall signs shall be permitted provided the signs do not exceed the allowable sign area.
- iv) Raceways shall only be permitted when electrical components cannot physically be placed within or behind the wall or parapet.
- v) Only the following types of establishments are permitted to use animated Wall Signs, and only below the second floor level: night clubs, movie theaters, and live performance theaters - with a capacity of greater than 200 persons. When used, animation shall consist of flashing or chase lights only; light sources shall be of incandescent, neon, or LED type only. Flashing xenon strobe lights and rotating lights shall not be permitted.
- vi) Channel letter signs qualify for a fifteen (15) percent bonus in allowable size.

d) Changeable Copy Wall Signs:

For changeable copy wall signs at Churches, Schools, and Commercial Recreational uses within Public Parks: one sign per site with a maximum area of ten (10) square feet; this area shall not count towards the total sign area permitted based on the Linear Frontage Ratio

e) Menu Board Wall Signs:

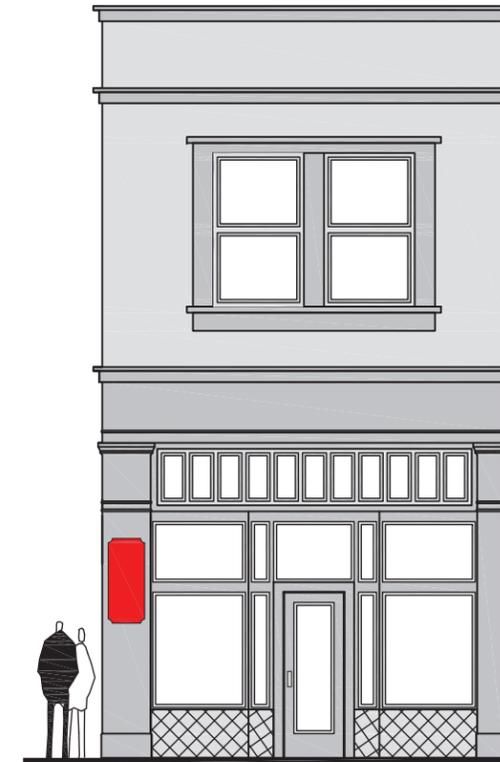
- i) Menu Board Wall Signs at drive-thru locations:
 - (1) One (1) per drive-thru lane.
 - (2) Maximum area of thirty-six (36) square feet; maximum height of ninety-six (96) square feet.
 - (3) Menu Board Wall Signs at drive-thru locations shall not count towards the total sign area permitted based on the Linear Frontage Ratio

f) Menu or Menu Case Wall Signs:

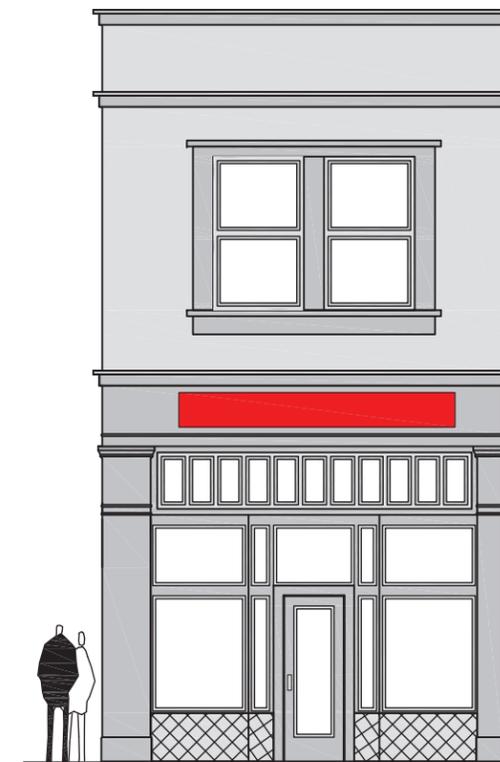
- i) Menu or Menu Case Wall Signs (non-drive-thru locations) are discrete wall-mounted signs or freestanding sign cases containing restaurant menus:
 - (1) Shall be mounted at the ground floor façade of a restaurant or café with indoor or outdoor seating.
 - (2) Shall be limited to the size of two pages of the menu utilized by the restaurant plus the frame.
 - (3) Shall not protrude more than three (3) inches from the façade. Lettering shall not exceed one (1) in height.
 - (4) Shall not exceed one sign or sign case per façade.
 - (5) Shall not count towards the total sign area permitted based on the Linear Frontage Ratio.
 - (6) Shall be illuminated by indirect illumination only.

g) Guidelines

- i) Exposed materials used in wall signs should be wood, ceramic, metal, and paint. Use of plastics should be avoided or minimized, especially polycarbonates and other plastics that yellow with exposure to heat or ultraviolet light. Wall signs may also be painted directly onto the façade of the building and/or inscribed into the façade of the building.
- ii) Wall signs should be illuminated by external, exposed neon tube, exposed incandescent bulb, exposed LED, or halo illumination only. Internally illuminated “can” signs with large translucent plastic panels should be avoided.
- iii) Where individual letters are used, letters should be three dimensional, created by raised letter forms mounted to the building façade or sign panel, or by incised openings cut out from the sign panel.



3) Wall Sign 1



3) Wall Sign 2

4) Monument Sign and 5) Ground Sign

Monument Signs are freestanding signs which are mounted on the ground and are flush or have a clearance from the ground of not more than two (2) feet, and supported by a solid base, one or more uprights, braces, columns poles, or similar structural components.

Ground Signs are signs or sign panels with their backs mounted on mounded earth, or consist of individual vertical letters mounted on the ground.

a) Number of Signs

- i) Monument or Ground Signs shall only be permitted for non-residential with a dedicated ground floor entrance or multifamily residential uses.
- ii) A maximum of one (1) per arterial street frontage on parcels with less than 400 feet of arterial street frontage.
- iii) A maximum one (1) primary freestanding sign and two (2) secondary signs on parcels with 400 feet or more of arterial street frontage
 - (1) Secondary signs are limited to monument or ground signs.
- iv) A maximum of one (1) freestanding sign with changeable copy per site.
- v) A maximum one sign per site for Churches, Schools, and Commercial Recreational uses within Public Parks.

b) Sign location:

- i) No freestanding sign shall be located along a local street.
- ii) Freestanding signs on the same site shall be located a minimum of 150 feet apart unless approved by a Planned Sign Program.
- iii) The location of commercial and neighborhood identification monument or ground signs shall comply with the requirements of Diagram A.
- iv) Monument or Ground Signs shall be located in a landscaped planter a minimum of two (2) feet wider than the sign itself.
- v) Monument or Ground Signs for Church, School and Commercial Recreational Uses within Public Parks shall be set back a minimum of five (5) feet from any interior property line.
- vi) Monument or Ground Signs for Neighborhood Identification Uses shall be set back a minimum of twenty (20) feet from any interior property line.

c) Design

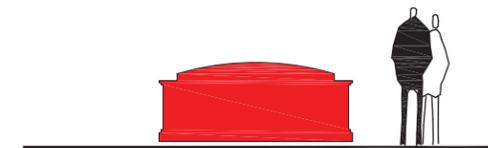
- i) Monument or Ground Signs shall not have more than two (2) faces.
- ii) Monument or Ground Signs over thirty-two (32) square feet in size shall have an opaque background, where only items of information may be internally illuminated; or, signs shall be of channel letter design.

d) Changeable Copy Signs

- i) The maximum area of and other requirements for freestanding Changeable Copy Signs shall be as follows:
 - (1) For Hotels with Convention Facility: A maximum of thirty (30) percent of the allowable sign area as changeable copy.
 - (2) For Live Entertainment Uses: A maximum of thirty (30) per cent of the allowable sign area as changeable copy.
 - (3) For Tenant Directory Uses: A maximum area of thirty-two (32) square feet; a maximum height of six (6) feet above grade (in addition to other permitted signs).
 - (4) For Menu Board Uses at drive-in food service, in addition to other permitted sign: One sign per drive-thru lane; a maximum area of ten (10) square feet; a maximum height of six (6) feet above grade.
 - (5) For Churches, Schools, and Commercial Recreational uses within Public Parks: A maximum of thirty (30) per cent of the allowable sign area as changeable copy.

e) Guidelines

- i) The architectural design of a Monument or Ground Sign should be an extension of the building's architecture, or strongly complementary to the building's architecture in form, materials, and color.
- ii) Exposed materials used in Monument or Ground Signs should be wood, metal, stone, brick, concrete (including precast and GFRC), and/or paint. Plastics should be avoided.
- iii) Monument or Ground Signs should be illuminated by external or halo illumination only. Internally illuminated can signs with large translucent plastic panels should not be used.



4) Monument Sign



5) Ground Sign

6) Pole Mounted Sign and 7) Tower Sign

Pole Mounted Signs are permanent freestanding signs not attached to a building, in which signs are constructed on or are affixed to the ground by one or more exposed columns, poles, or similar structural components. Tower Signs are freestanding signs similar to monument signs in that support poles or structures are concealed within an architectural enclosure of relatively constant width from bottom to top.

a) Number of Signs

- i) Pole Mounted or Tower Signs shall only be permitted for non-residential uses with a dedicated ground floor entrance.
- ii) A maximum of one (1) per arterial street frontage on parcels with less than 400 feet of arterial street frontage.
- iii) A maximum one (1) primary freestanding sign and two (2) secondary signs on parcels with 400 feet or more of arterial street frontage
 - (1) Secondary signs are limited to monument or ground signs.
- iv) A maximum of one (1) freestanding sign with changeable copy per site.

b) Sign Location

Pole Mounted or Tower Signs shall not be located along a local street.

c) Design

- i) Pole Mounted or Tower Signs shall not have more than two (2) faces.
- ii) Pole Mounted or Tower Signs over fifty (50) square feet in size shall have an opaque background, where only items of information may be internally illuminated; or, signs shall be of channel letter design.
- iii) Street addresses shall be included on all Pole Mounted or Tower Signs with minimum six (6) inch numerals.

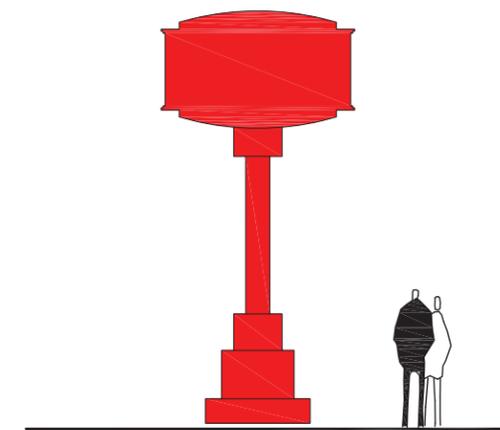
d) Changeable Copy

- i) The maximum area of freestanding signs with Changeable Copy shall be as follows:
 - (1) For Hotels with Convention Facility: A maximum of thirty (30) per cent of the allowable sign area as changeable copy.
 - (2) For Live Entertainment Uses: A maximum of thirty (30) per cent of the allowable sign area as changeable copy.
- ii) Sign location:
 - (1) Freestanding signs on the same site shall be located a minimum of 150 feet apart unless approved by a Planned Sign Program pursuant to Huntington Beach Zoning and Subdivision Ordinance, Chapter 233 Signs, Section 233.20 Planned Sign Program.
 - (2) The location of pole mounted and tower signs shall comply with the requirements of Figure 2.9.1.

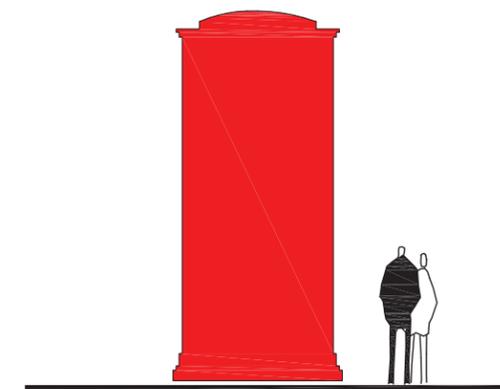
- (3) Monument or Ground Signs shall be located in a landscaped planter a minimum of three (3) feet wider than the sign itself.

e) Guidelines

- i) Pole Mounted or Tower Signs should have an articulated architectural character and well-crafted details.
 - (1) A single unornamented pole support design topped by a can sign typical of a commercial strip should not be used.
 - (2) At a minimum, design treatment or ornamentation of structural supports as a decorative composition (for example, featuring columns, struts, braces, fittings, caps, decorative frames, bases, etc.) together with decoratively framed sign panels is recommended.
 - (3) Alternatively, a Tower Sign should have an internal structural support within an architecturally composed exterior featuring a base, shaft, and top.
- ii) The architecture and composition of a Pole Mounted or Tower Sign structure should provide visual interest and detail at both automotive and pedestrian-scale speed and perception.
- iii) The architectural character, materials, and colors of a Pole Mounted or Tower Sign are recommended to be an extension of, or complementary to those from the primary building(s).
- iv) Exposed materials used in Pole Mounted or Tower Signs should be wood, metal, stone, brick, concrete (including precast and GFRC), and/or paint.
- v) Pole Mounted or Tower Signs should be illuminated by external, halo, exposed neon tube, or exposed LED illumination. Internally illuminated can signs with large translucent plastic panels should not be avoided.



6) Pole Mounted Sign



7) Tower Sign

8) Projecting Signs

Projecting Signs are signs which are oriented perpendicularly to the building façade and which are mounted directly to the building façade or suspended under a bracket, armature, or other mounting device attached to the façade and project to the wall more the eighteen (18) inches.

a) Number of Signs

Projecting Signs shall only be permitted for non-residential uses with a dedicated ground floor entrance.

b) Sign Location

Projecting Signs shall only be mounted on the wall area below the second floor, centered above the store entrance or lease length. They may be mounted above or below an awning or canopy.

c) Design

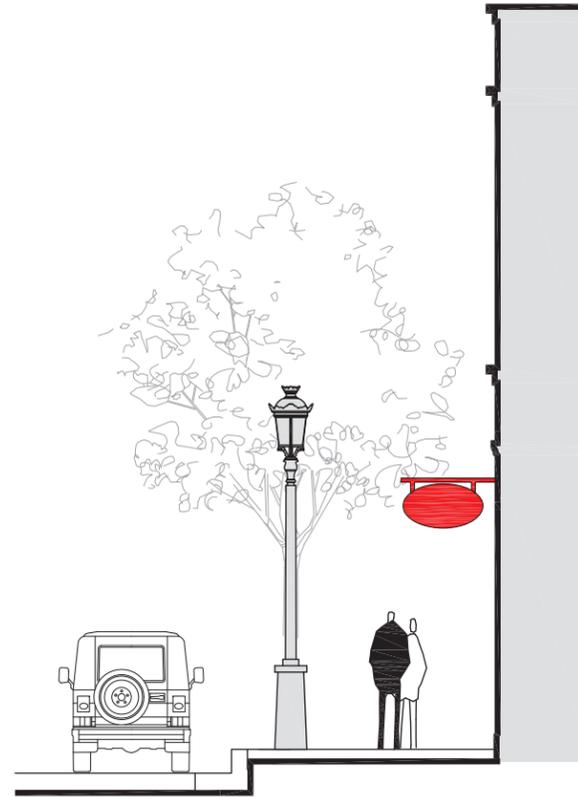
- i) Projecting Signs shall project no more than four (4) feet from the façade of the building.
- ii) No portion of a Projecting Sign shall be lower than eight (8) feet above the level of the sidewalk or other public right-of-way over which it projects.
- iii) Projecting Signs shall be illuminated by external illumination only.

d) Barber Pole

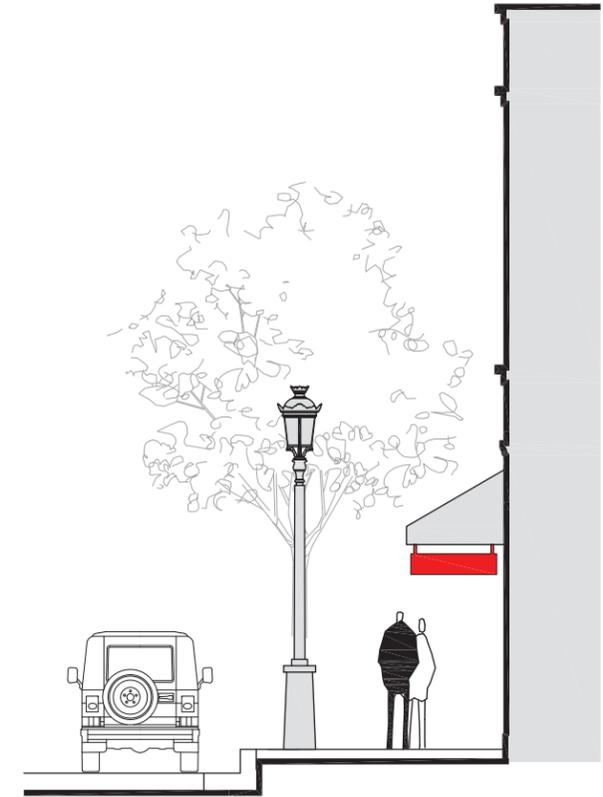
- i) Any barber shop shall be entitled to display one (1) barber pole in addition to other permitted signs.
- ii) Barber poles shall not exceed four (4) feet in length (height).
- iii) Barber poles may be internally illuminated.
- iv) Barber shall not be mechanically rotated.
- v) Shall not count towards the total sign area permitted based on Linear Frontage Ratio.

e) Guidelines

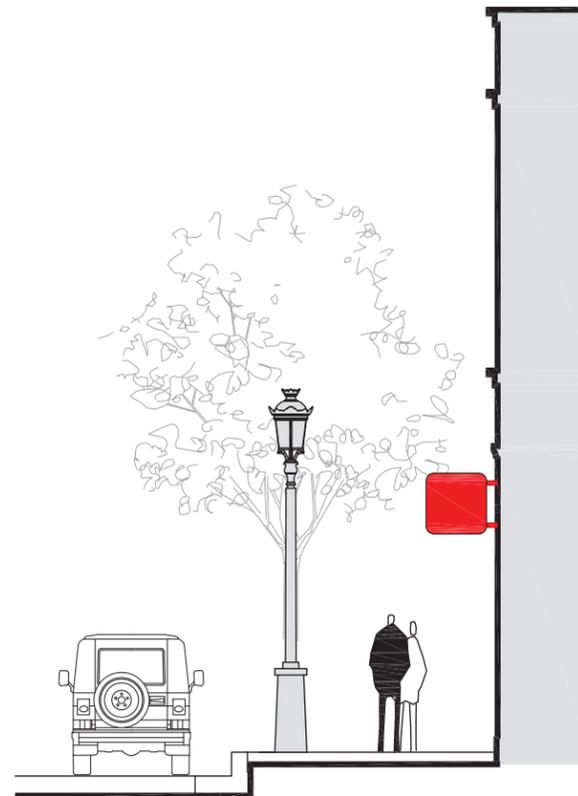
- i) Exposed materials used in Projecting Signs should be wood, metal, and paint. Use of plastics should be avoided or minimized.
- ii) Projecting Signs incorporating a distinctive shape relating to the business are recommended, as well as signs utilizing three-dimensional and well-crafted designs.



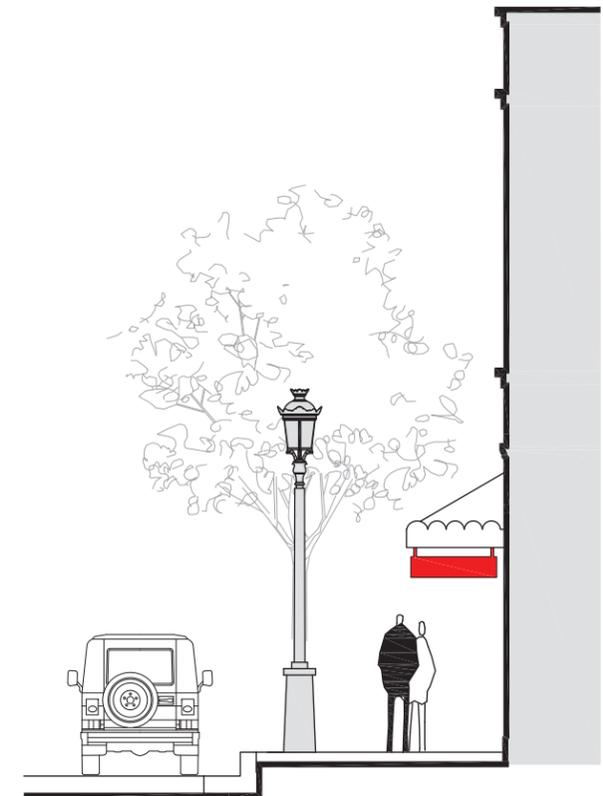
8) Projecting Sign 1



8) Projecting Sign 3



8) Projecting Sign 2



8) Projecting Sign 4

9) Awning Face Signs

Awning Face Signs are signs applied to the primary face of an awning, including sloped awning faces and vertical box awning faces.

a) Number of Signs

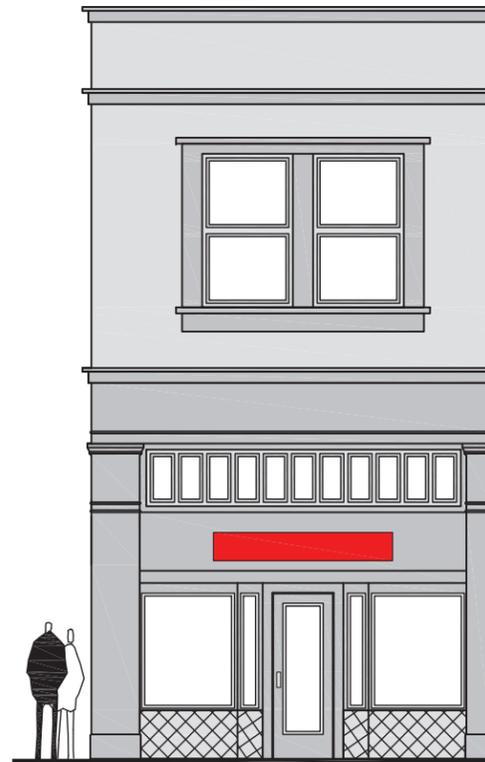
Awning Face Signs shall only be permitted for non-residential uses with a dedicated ground floor entrance.

b) Design

- i) Awning Face Signs shall project no farther from the building than its associated awning.
- ii) No portion of an Awning Face Sign shall be less than eight (8) feet above the level of the sidewalk or other public right-of-way over which it projects.
- iii) Awning Face Signs should consist of vinyl or paint applied directly to the awning, or as printed or woven directly into the awning fabric.
- iv) Awning Face Signs shall not be illuminated.

c) Guidelines

- i) Awning materials should be canvas or nylon; plastic should not be used.



9) Awning Face Sign

10) Awning Valance Signs

Awning Valance Signs are signs applied to the awning valance.

a) Number of Signs

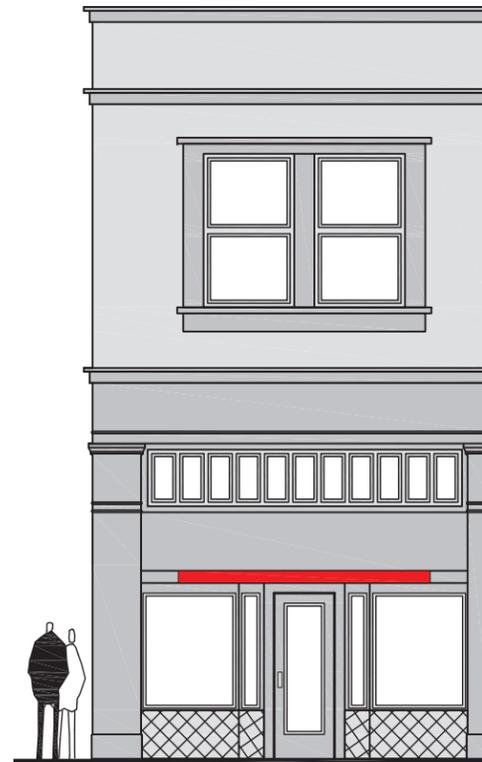
Awning Valance Signs shall only be permitted for non-residential uses with a dedicated ground floor entrance and multi-family buildings with a common lobby entry.

b) Design

- i) Lettering for Awning Valance Signs shall not exceed one (1) line of lettering.
- ii) Awning Valance Signs should consist of vinyl or paint applied directly to the awning, or as printed or woven directly into the awning fabric.
- iii) Awning Valance Signs shall not be illuminated.

c) Guidelines

Awning materials should be canvas or nylon; plastic should not be used.



10) Awning Valance Sign

11) Awning Side Signs

Awning Side Signs are signs applied to the side panel of an awning, perpendicular to the building wall surface.

a) Number of Signs

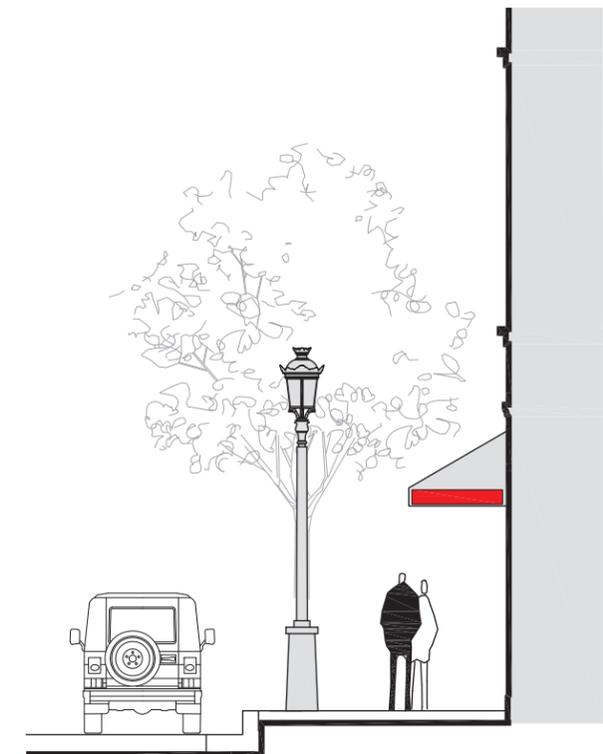
Awning Side Signs shall only be permitted for non-residential uses with a dedicated ground floor entrance and multi-family buildings with a common lobby entry.

b) Design

- i) The area of Awning Side Signs shall not count towards the total sign area permitted based on the Linear Frontage Ratio.
- ii) Lettering for Awning Side Signs shall not exceed one (1) line of lettering.
- iii) Awning Side Signs shall project no farther from the building than its associated awning.
- iv) No portion of an Awning Side Sign shall be less than eight (8) feet above the level of the sidewalk or other public right-of-way over which it projects.
- v) Awning Side Signs should consist of vinyl or paint applied directly to the awning, or as printed or woven directly into the awning fabric.
- vi) Awning Side Signs shall not be illuminated.

c) Guidelines

Awning materials should be canvas or nylon; plastic should not be used.



11) Awning Side Sign

12) Canopy Fascia Signs

Canopy Fascia Signs are signs that are mounted to the front or side fascia of a canopy, contained completely within that fascia, and oriented parallel to the building wall surface.

a) Number of Signs

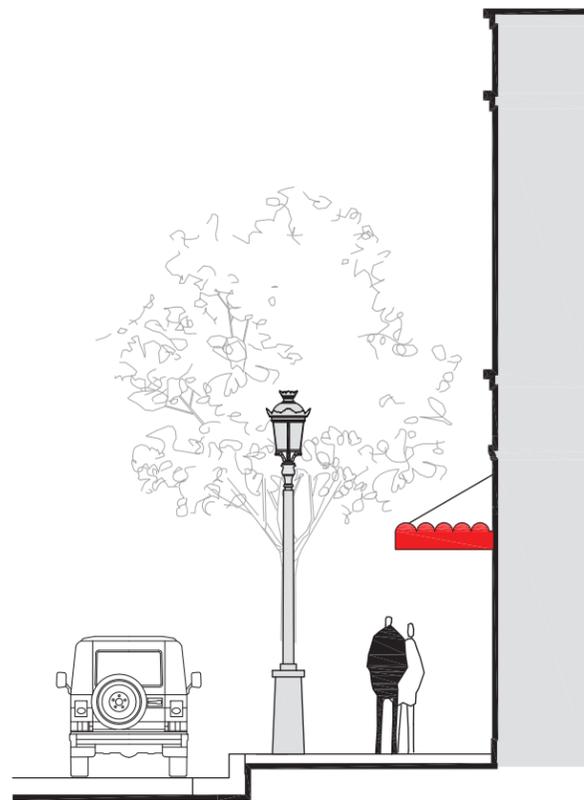
Canopy Fascia Signs shall only be permitted for non-residential uses with a dedicated ground floor entrance and multi-family buildings with a common lobby entry.

b) Design

- i) Canopy Fascia Signs shall project no farther from the building than its associated canopy.
- ii) No portion of a Canopy Fascia Sign shall be less than eight (8) feet above the level of the sidewalk or other public right-of-way over which it projects.
- iii) Canopy Fascia Signs shall consist of only one (1) line of lettering articulated as individual letters mounted directly to the canopy.

c) Guidelines

- i) Materials used in Canopy Fascia Signs should be metal, wood, and paint only.
- ii) Canopy Fascia Signs should be illuminated by external, halo, exposed LED, or exposed neon tube illumination only.



12) Canopy Fascia Sign

13) Above Canopy Sign

Above Canopy Signs are signs which are mounted partially or entirely above the front fascia of a canopy and oriented parallel to the building wall surface.

a) Number of Signs

Above Canopy Signs shall only be permitted for non-residential uses with a dedicated ground floor entrance and multi-family buildings with a common lobby entry.

b) Sign Location

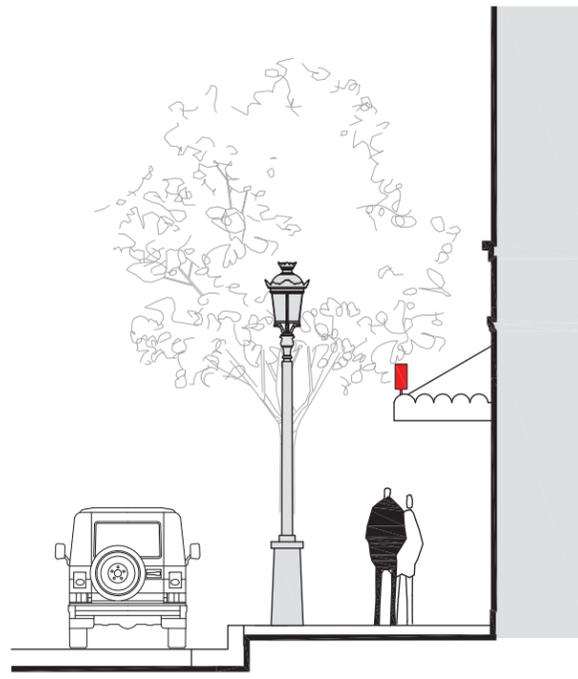
Above Canopy Signs are permitted only above the front fascia of a canopy.

c) Design

- i) Above Canopy Signs shall project no farther from the building than its associated canopy.
- ii) No portion of an Above Canopy Sign shall be less than eight (8) feet above the level of the sidewalk or other public right-of-way over which it projects.
- iii) Lettering for Above Canopy Signs shall include only one (1) line of lettering using individual letters only.

d) Guidelines

- i) Exposed materials used in Above Canopy Signs should be wood, metal, and paint only.
- ii) Above Awning Signs should be illuminated by external, halo, exposed neon tube, exposed incandescent bulb, or exposed LED illumination only. They may



13) Above Canopy Sign

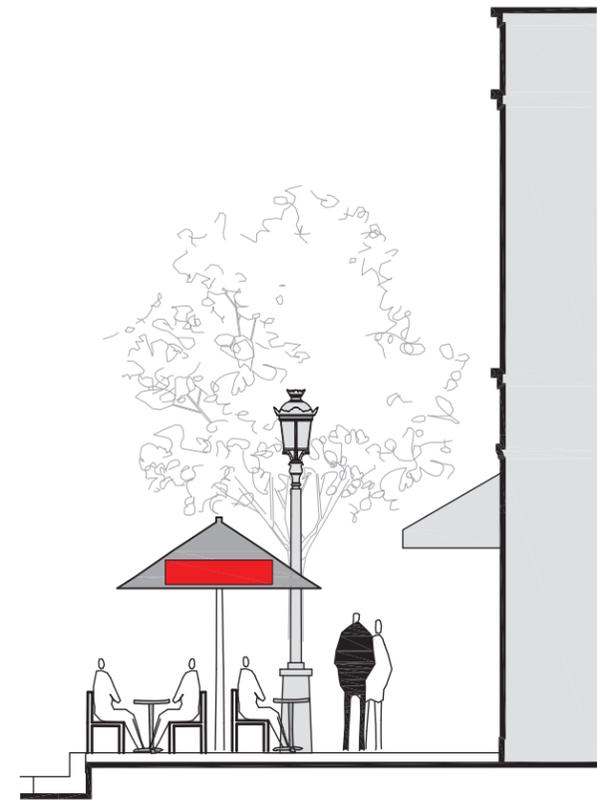
also be translucent letters that are edge-lit.

14) Café Umbrella Signs**a) Number of Signs**

Café Umbrella Signs shall only be permitted for non-residential uses with a dedicated ground floor entrance.

b) Design

- i) The area of café umbrella signs shall not count towards the total sign area permitted based on the Linear Frontage Ratio.
- ii) Café Umbrella Signs shall only be permitted to display the name and/or a business logo of the business. Generic advertising such as a product name shall not be permitted.
- iii) Sign letter height shall be a maximum of six (6) inches.
- iv) A business logo shall not exceed one (1) square foot in area.

c) Guidelines

14) Cafe Umbrella Sign

The color combination of signs and umbrella fabric should be simple and contrasting for legibility and avoidance of visual clutter.

15) Recessed Entry Signs

Recessed Entry Signs are signs which are oriented parallel to the building façade and which are suspended over a recessed entry.

a) Number of Signs

Recessed Entry Signs shall only be permitted for non-residential uses with a dedicated ground floor entrance and multi-family buildings with a common lobby entry.

b) Design

- i) Recessed Entry Signs shall not project beyond the façade of the building.
- ii) No portion of a Recessed Entry Sign shall be lower than eight (8) feet above the level of the sidewalk.
- iii) If illuminated, recessed Entry Signs shall utilize external illumination only.

c) Guidelines

Exposed materials used in Recessed Entry Signs should be wood, metal, and paint only.

16) Window Signs

Window Signs are signs which are applied directly to a window or mounted or suspended directly behind a window.

a) Number of Signs

Window Signs shall only be permitted for non-residential uses with a dedicated ground floor entrance.

b) Sign Location

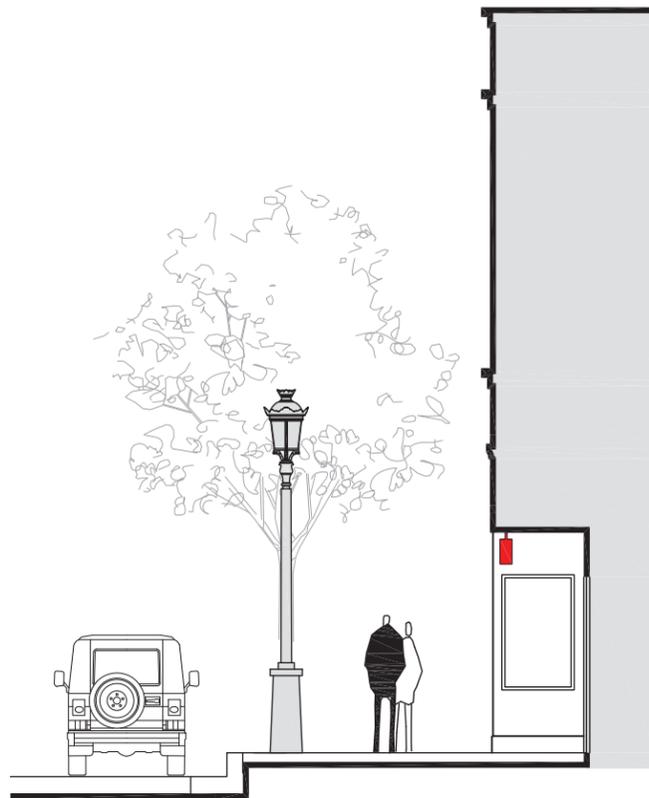
Window Signs shall be permitted on windows below the second floor level only.

c) Design

The letter height of each Window Sign shall not exceed twelve (12) inches.

d) Guidelines

- i) Ground floor Window Signs should consist of gold or silver leaf, vinyl, or paint applied to the glass, neon mounted or suspended behind the glass, or framed and mounted paper signs. For metallic leaf or vinyl signs, a drop shadow behind letters is recommended to increase visibility.
- ii) If illuminated, Ground floor Window Signs should be illuminated by exposed



15) Recessed Entry Sign



16) Window Sign

neon tube illumination only.

2.9.4 Sign Guidelines – All Sign Types

- 1) In general, natural construction materials such as wood, metals, ceramic, glass, and stone should be used for visible components of signs. Synthetic materials should only be used if they are designed to be indistinguishable from the recommended natural materials, or if they have a secondary or minor visual presence. Large plastic panels should be avoided. Materials subject to yellowing from exposure to sunlight or heat such as polycarbonate should not be used.
- 2) Internally illuminated “can” signs consisting of rectangular enclosures with large translucent plastic sign faces should be avoided. Can signs will only be considered for use to incorporate longs, and are not permitted as the primary wall sign. If used, one of the following treatments should be applied:
 - A sheet metal or opaque sign surface with letters cut out so that only letter shapes or outlines are illuminated from within by translucent surfaces;
 - Or, a color scheme of translucent panels with dark colored background with light colored letters.
- 3) Recommended exposed and non-exposed illumination (light source) types include incandescent, halogen, neon, warm-white encapsulated compact fluorescent, warm-white encapsulated induction lamps, and LED light sources. Exposed spiral-tube compact fluorescent, fluorescent tube, metal halide, and cold-cathode light sources should only be used for non-exposed illumination, i.e. where lamps are shielded from view. Exposed high pressure sodium and low pressure sodium light sources are not recommended due to their color. The use of energy-efficient illumination sources is strongly encouraged.
- 4) For legibility, contrasting colors should be used for the color of the background and the color of the letters or symbols. Light letters on a dark background or dark letters on a light background are most legible.
- 5) Colors or color combinations that interfere with the legibility of the sign copy should be avoided. Too many colors can weaken the legibility of the sign.
- 6) Fluorescent paint or material colors should not be used as predominant colors in permanent signs or on their structural supports (except as required for municipal traffic and public safety signs). When fluorescent colors are used as part of temporary signage, they should be limited to ten (10) square feet of sign area per façade per establishment.
- 7) Sign design, including color, should be appropriate to the establishment, conveying a sense of what type of business is being advertised.
- 8) The location of all permanent building-mounted signs should be incorporated into the architectural design and composition of the building. Placement of signs should be considered an integral part of the overall facade design. Locations should be carefully composed and align with major architectural features. Visible architectural features such as panels, columns, etc. should not be haphazardly overlapped by building-mounted signs.
- 9) Storefront signage should help create architectural variety from establishment to establishment. In multi-tenant buildings, signage should be used to create interest and variety.
- 10) All signs (including temporary signs) should present a neat and aligned appearance.
 - All signs (including temporary signs) should be constructed and installed utilizing the services of a professional sign fabricator.