



City of Huntington Beach Planning Department
STUDY SESSION REPORT

TO: Planning Commission
FROM: Scott Hess, AICP, Director of Planning
BY: Rami Talleh, Senior Planner
DATE: February 24, 2009
SUBJECT: **NEGATIVE DECLARATION NO. 08-018/CONDITIONAL USE PERMIT NO. 08-052 (BRETHREN CHRISTIAN SCHOOL GYMNASIUM)**
APPLICANT: Kevin A. Coleman, Net Development, 3130 Airway Avenue, Costa Mesa, CA 92626
PROPERTY OWNER: Huntington Beach City School District, P.O. Box 71, Huntington Beach, CA 92648
LOCATION: 21141 Strathmoor Lane (west side of Strathmoor Ln., south of Atlanta Ave. – former Gisler School site)

PROJECT REQUEST AND SPECIAL CONSIDERATIONS

The proposed project is a request to permit the construction of an approximately 27,000 sq. ft. gymnasium at an existing private junior high and high school. The proposal also includes enhancements to existing landscape areas, displacement of 87 parking spaces for the construction of the gymnasium, construction of three new parking areas totaling 92 parking spaces, and resurfacing existing parking lot areas.

The proposed gymnasium is located along the southerly property line furthest from residential uses to the north, east and west and will abut an approximately 180 ft. wide Southern California Edison easement currently developed as a park. The gymnasium will occupy a portion of the existing school parking lot and replace six outdoor basketball courts. The gymnasium will contain three practice size basketball courts which convert into one regulation sized basketball court that doubles as an indoor volleyball court. Additional gym amenities include bleacher seating, restrooms, team rooms, a weightlifting room, a concessions area, and restrooms for the adjacent outdoor fields.

The hours of operation for Brethren Christian School are between 7:00 am to 5:00 pm, Monday through Friday. School activities within the proposed gymnasium will consist of physical education, band and choir practice, and drama rehearsals and events. These uses will be relocated from unenclosed areas of the school campus in an attempt to reduce existing noise impacts. The applicant also proposes to make the gymnasium available to the surrounding community, churches, and youth sports programs for nighttime and weekend events.

The applicant proposes to expand the school's sports program to include basketball and football games. Basketball practice will occur during school hours. Basketball games will be scheduled two times per week after school hours between the hours of 7:00 pm and 9:30 pm during the basketball season. The school's football program has already begun in the existing lighted fields. Football practice is held during school hours. The football season consists of 5 night games after school between the hours of 7:00 pm

and 9:30 pm. The applicant proposes to construct bleachers for the existing full sized soccer field/football field along the southern property line abutting the Southern California Edison easement. Additional portable lighting will be used for the football matches. Up to four portable light standards will be wheeled out onto the field during night games. The portable light standards when cranked to their highest point are approximately 30 ft. high. The existing light standards are approximately 70 ft. high and are used throughout the existing sports fields by the American Youth Soccer Organization (A.Y.S.O.).

CURRENT LAND USE, HISTORY OF SITE, ZONING, AND GENERAL PLAN DESIGNATIONS

LOCATION	GENERAL PLAN	ZONING	LAND USE
Subject Property:	P-RL (Public – Residential Low Density Underlying Designation)	PS (Public Semi-Public)	Private Junior high and High School
North, East, and West (across Strathmoor Ln.) of Subject Property:	RL-7 (Residential Low Density)	RL (Residential Low Density)	Single Family Residential
West of Subject Property:	P (Public)	RL (Residential Low Density)	Park

The project site is located at Gisler School, a closed public school site currently being used as a private junior high and high school (Brethren Christian School). In 1998 the City approved Conditional Use Permit No. 98-27 to allow a private school on a temporary basis for up to two years with a maximum of 500 students. In 2000, the City approved Entitlement Plan Amendment No. 99-16 to allow the school to operate on a permanent basis with a maximum enrollment of 720 students. Other activities in operation at the time include six outdoor basketball courts, two baseball fields, and three soccer fields used by the American Youth Soccer Organization (A.Y.S.O.). Approximately 500 students are currently enrolled at the Brethren Christian School.

The surrounding uses consist of primarily single family residences to the north, east, and west. Gisler Park is located to the south of the site. The park is approximately 11 acres in size and is located within a Southern California Edison easement. The Gisler Park parking lot is located to the southwest of the site. The parking lot contains 55 parking spaces.

In addition, the Huntington Beach City School District has an agreement with A.Y.S.O. to allow use of the existing lighted, full sized soccer fields and parking at the Gisler School site. A.Y.S.O. uses the existing lighted fields and parking lot at the subject site on weekday afternoons and on weekends. The A.Y.S.O. uses the parking lot on weekdays between the hours of 5:00 pm and 9:00 pm and on weekends. The school buildings and soccer field uses do not occur simultaneously.

APPLICATION PROCESS AND TIMELINES

DATE OF COMPLETE APPLICATION:

December 17, 2008

MANDATORY PROCESSING DATE(S):

Negative Declaration: June 15, 2009 (180 days)

Conditional Use Permit: Within 60 days from Negative Declaration Approval

Conditional Use Permit No. 08-052 was filed on October 9, 2008, and deemed complete December 17, 2008. The application is scheduled for public hearing before the Planning Commission on March 10, 2009.

CEQA ANALYSIS/REVIEW

Negative Declaration No. 08-018 analyzes the potential environmental impacts associated with implementation of the proposed project. Staff determined that no potentially significant impacts are anticipated and that no mitigation measures are necessary. On January 26, 2009 the Environmental Assessment Committee reviewed Environmental Assessment No. 08-018 and approved the processing of a negative declaration. The Planning Department advertised draft Negative Declaration No. 08-018 for 20 days commencing on Thursday, January 29, 2009, and ending Tuesday, February 17, 2009. As of February 17, 2009, a total of 44 comment letter was received in opposition of the project. The opposition letters raised concerns with traffic, noise, and light glare. Two letters of support were received.

COMMENTS FROM CITY DEPARTMENTS AND OTHER PUBLIC AGENCIES

The Departments of Fire, Public Works, and Planning have reviewed the application and identified applicable code requirements. The Code Requirements letter was transmitted on December 5, 2008 and is attached for informational purposes (Attachment No. 4). In addition, the Public Works Department recommended the following suggested conditions of approval (Attachment No. 2):

- Damaged portions of the sidewalk along the Bluefield Drive and Strathmoor Lane frontages shall be removed and replaced upon inspection by the Public Works Department pursuant to the Public works Department Standard Plan No. 207.

The applicant does not concur with this condition in that the project constitutes construction of ancillary building which does not necessitate the repair of damaged sidewalks. Furthermore, the applicant argues that any damage along the sidewalks is minor in nature.

PUBLIC MEETINGS, COMMENTS AND CONCERNS

The project was reviewed by the Design Review Board (DRB) on November 20, 2008. The DRB recommended approval of the project with the following modifications to the plans:

- The landscape plans shall be modified to include landscaping along the entire length of the south elevation. The landscaping shall incorporate a horizontal element, such as three foot high shrubs, for the length of the building and vertical elements at every panel.
- The site plan shall be modified to include a pedestrian connection across the drive aisle perpendicular to Strathmore Lane between the main campus and the proposed gymnasium by

shifting the parking spaces on the north side of the drive aisle to the east. The pedestrian connection shall incorporate decorative materials to differential the walkway from the drive aisle.

- The building elevation shall be modified to include an awning or canopy above the gymnasium entrance. Final design of the entrance shall be reviewed and approved by the Planning Department.

The applicant concurs with the DRB recommended modifications.

Brethren Christian School held a community barbeque on July 24, 2008 to unveil plans for the proposed gymnasium and associated improvements to the surrounding community. According to the applicant, approximately 200 people attended and no major issues were raised.

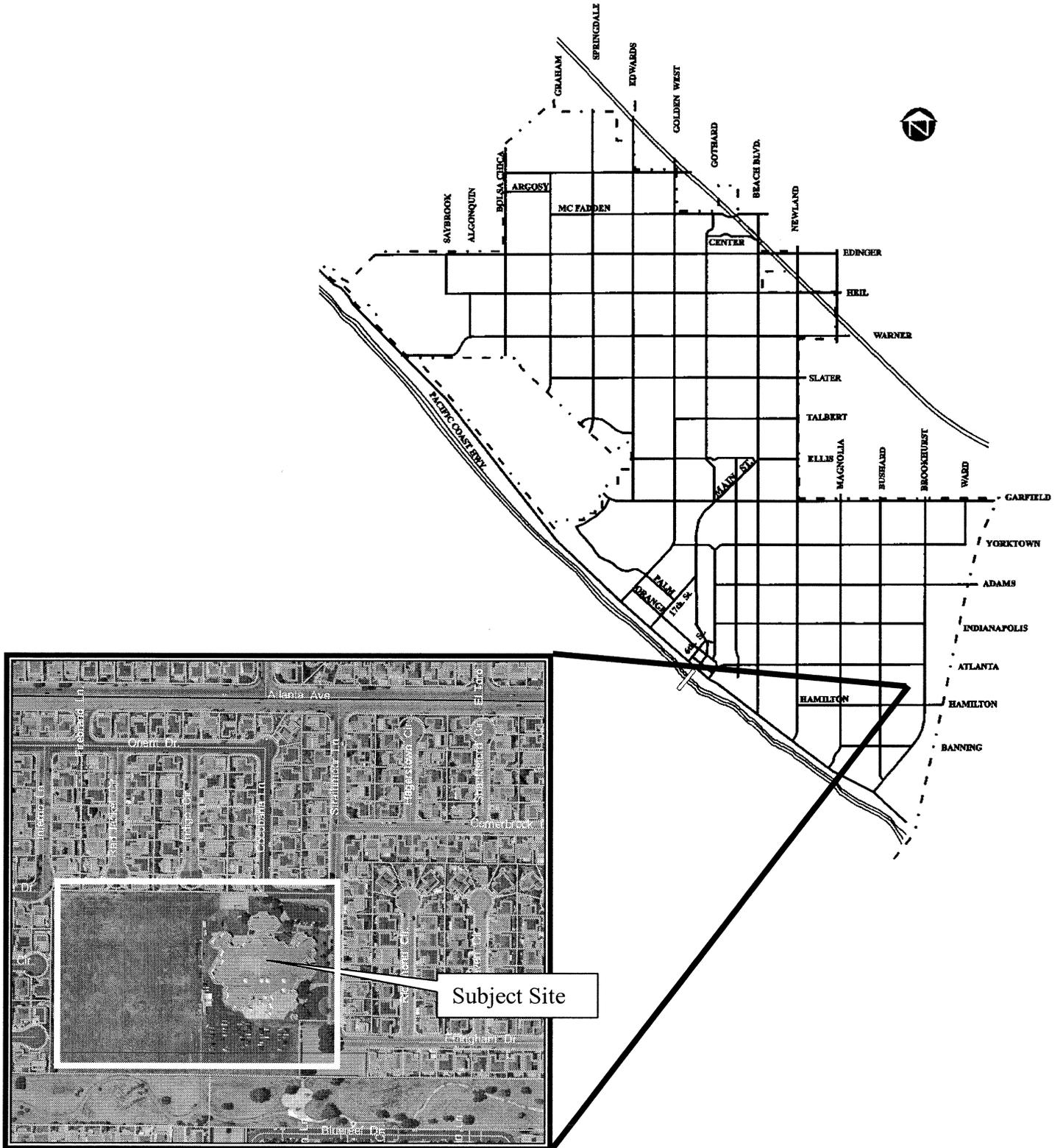
PLANNING ISSUES

The primary planning issues to consider with this request are consistency with the General Plan, compliance with applicable zoning requirements, compatibility with the surrounding land uses. The major site plan issues are building placement and orientation, and off-site site access and onsite circulation and traffic. Other issues include the operation of the site in relation to all of the existing and proposed activities such as hours of operation, school events, private events, and sports activities.

ATTACHMENTS:

1. Vicinity Map
2. Public Works Department suggested conditions of approval dated August 29, 2008 and Police Department suggested conditions of approval dated March 30, 2008
3. Site plan, floor plan, and elevations received and dated June 11, 2008
4. Code Requirements Letter dated April 21, 2008 (for informational purposes only)
5. Project Narrative dated March 10, 2008
6. Letters of opposition
7. Letters of support

SH:HF:RT:lw



VICINITY MAP
Negative Declaration No. 2008-018/
Conditional Use Permit No. 08-052 (Brethren Christian School Gymnasium)
21141 Strathmoor Lane (west side of Strathmoor Ln., south of Atlanta Ave.)



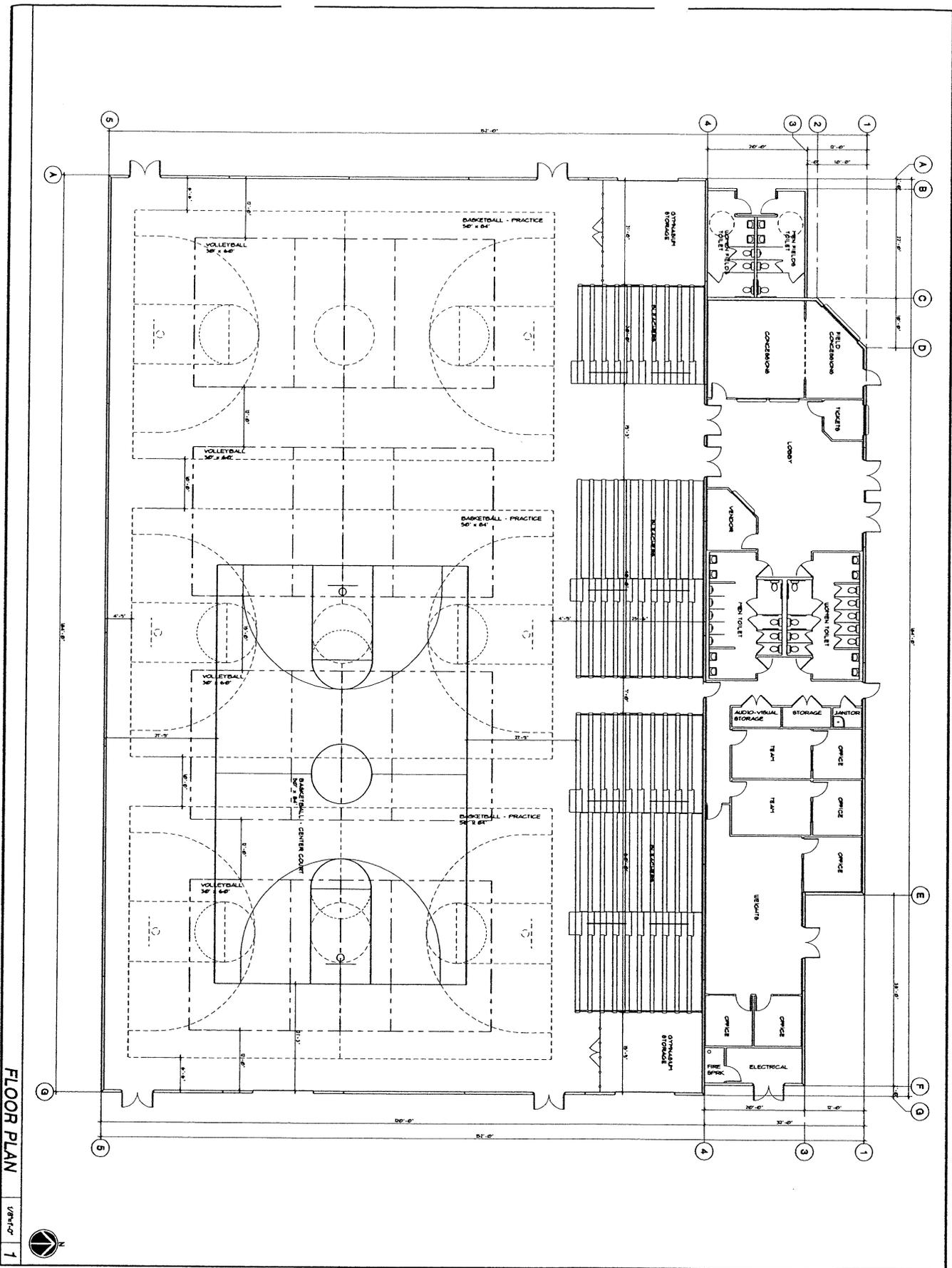
**HUNTINGTON BEACH
PUBLIC WORKS DEPARTMENT
SUGGESTED CONDITIONS OF APPROVAL**

DATE: NOVEMBER 19, 2008
PROJECT NAME: BRETHREN CHRISTIAN PRIVATE SCHOOL
ENTITLEMENTS: EPA 2008-005
PLNG APPLICATION NO: 2008-0202
DATE OF PLANS: OCTOBER 9, 2008
PROJECT LOCATION: 21141 STRATHMOOR LANE
PROJECT PLANNER: RAMI TALLEH, SENIOR PLANNER
TELEPHONE/E-MAIL: 714-374-1682 / RTALLEH@SURFCITY-HB.ORG
PLAN REVIEWER: STEVE BOGART, SENIOR CIVIL ENGINEER
TELEPHONE/E-MAIL: 714-536-5431 / SBOGART@SURFCITY-HB.ORG
PROJECT DESCRIPTION: TO AMEND A PREVIOUSLY APPROVED SITE PLAN FOR BRETHREN CHRISTIAN PRIVATE SCHOOL BY CONSTRUCTING A NEW 27,005 SQ. FT. GYMNASIUM AND RECONFIGURING / EXPANDING AN EXISTING PARKING LOT.

**THE FOLLOWING CONDITIONS ARE REQUIRED TO BE COMPLETED PRIOR TO
ISSUANCE OF A GRADING PERMIT:**

1. A Precise Grading Plan shall include the following improvements on the plan:
 - a. Damaged portions of the sidewalk along the Bluefield Drive and Strathmoor Lane frontages shall be removed and replaced upon inspection by the Public Works Department pursuant to the Public works Department Standard Plan No. 207.

ATTACHMENT NO. 21



FLOOR PLAN

VERSION 1



DATE: 08/17/07

PROJECT: BRETHREN CHRISTIAN HIGH SCHOOL

LOCATION: 21141 STRATHMOOR LANE, HUNTINGTON BEACH, CA

SCALE: AS SHOWN

DESIGNER: net development co

DATE: 08/17/07

REVISION	DATE
SCHEMATIC - A	1/22/06
SCHEMATIC - B	1/22/06
SCHEMATIC - C	1/22/06
SCHEMATIC - D	01/18/07
SCHEMATIC - E	08/17/07
PERMANENT DISPLAY	08/17/07

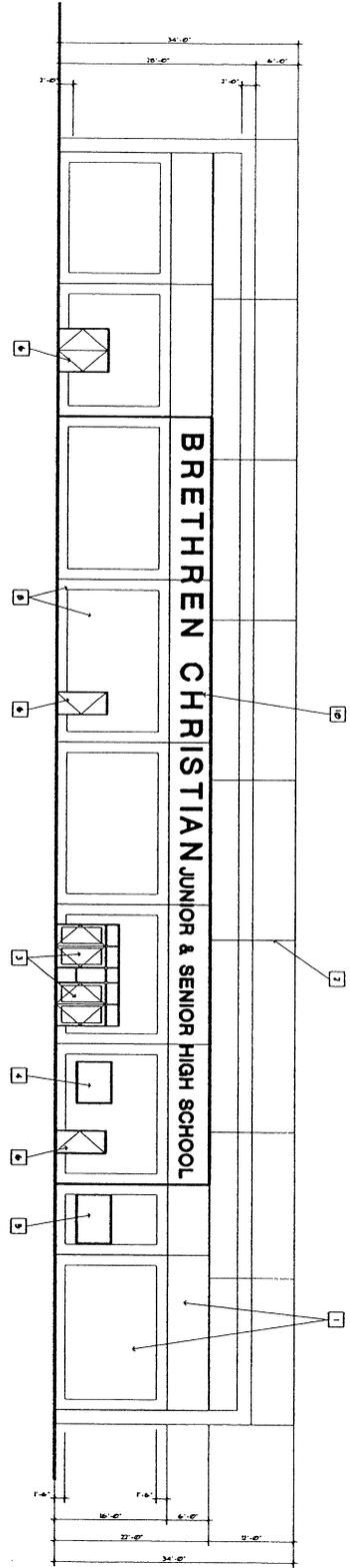
**BRETHREN CHRISTIAN
HIGH SCHOOL**

21141 STRATHMOOR LANE
HUNTINGTON BEACH, CA

net development co

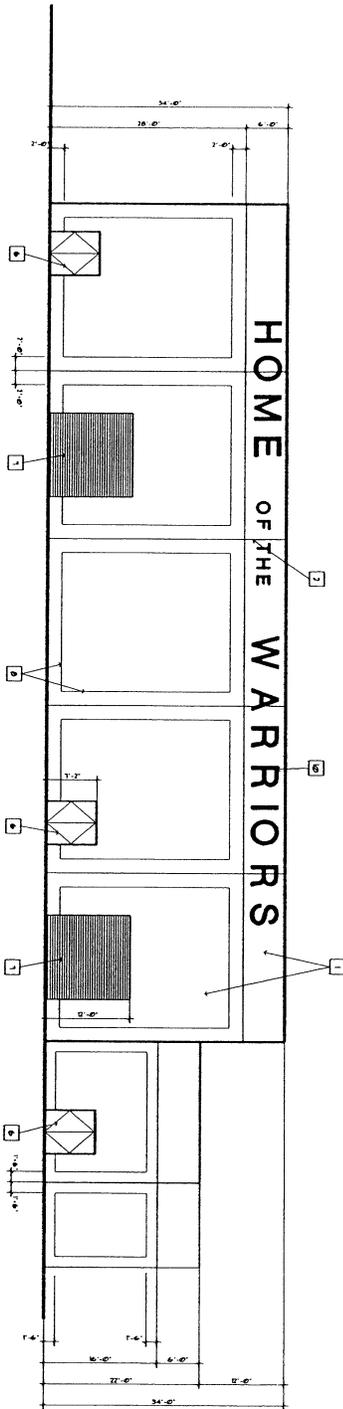
3130 Alhambra Avenue, Costa Mesa, California 92626
Phone (714) 754-6454 Fax (714) 754-0198

ATTACHMENT NO. 33



NORTH - FRONT ELEVATION

1/8"=1'-0"



EAST - LEFT SIDE ELEVATION

1/8"=1'-0"

KEY NOTES

- 1 CONCRETE TILT-UP WALL PANEL PAINTED
- 2 CONCRETE PANEL JOINT
- 3 ALUMINUM STOREFRONT DOOR AND WINDOW SYSTEM WITH TINTED GLASS
- 4 ALUMINUM STOREFRONT WINDOW UNIT WITH TINTED GLASS AND PASS THROUGH TICKET EXCHANGE
- 5 ALUMINUM OPERABLE SLIDING WINDOW UNIT WITH TINTED GLASS AND OPERATOR
- 6 HOLLOW METAL DOOR AND FRAME PAINTED
- 7 OVERHEAD ROLL UP DOOR PAINTED
- 8 3/4" CONCRETE SCORE REVEAL
- 9 PAINTED SCHOOL LOGO/ARTWORK

**BRETHREN CHRISTIAN
HIGH SCHOOL**
21141 STRATHMOOR LANE
HUNTINGTON BEACH, CA.

**net
developmentco**
5130 Alvey Avenue Costa Mesa, California 92626
Phone (714) 754-4454 Fax (714) 754-0196

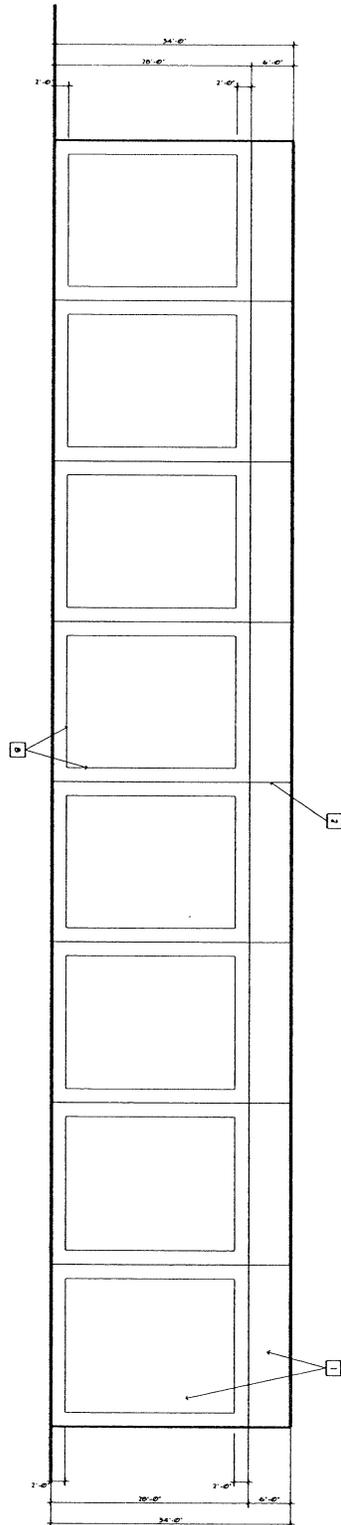
REVISION	DATE
SCHEMATIC A	11 MAY 88
SCHEMATIC B	19 MAY 88
SCHEMATIC C	18 MAY 88
SCHEMATIC D	03 SEP 88
SCHEMATIC E	09 SEP 88
PLANNING DEPT	09 OCT 88
ISSUED FOR PERMITS	

THIS SET OF ARCHITECTURAL DRAWINGS IS THE PROPERTY OF NET DEVELOPMENT COMPANY. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF NET DEVELOPMENT COMPANY.

DATE: 04/10/88

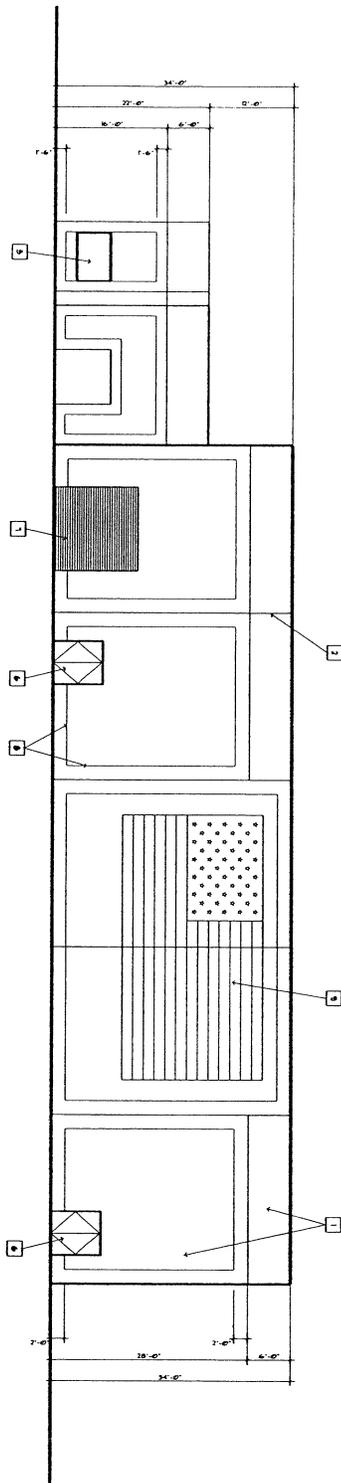
EXTENSION ELEVATIONS

D3:1



SOUTH - REAR ELEVATION

1/8"=1'-0" 3



WEST - RIGHT SIDE ELEVATION

1/8"=1'-0" 4

KEY NOTES

- 1 CONCRETE TILT-UP WALL PANEL, PAINTED
- 2 CONCRETE PANEL JOINT
- 3 ALUMINUM STOREFRONT DOOR AND WINDOW SYSTEM WITH TINTED GLASS
- 4 ALUMINUM STOREFRONT WINDOW UNIT WITH TINTED GLASS AND PASS THROUGH TICKET ENCLOSURE
- 5 ALUMINUM STOREFRONT BLINDING WINDOW UNIT WITH TINTED GLASS FOR CONCESSIONS
- 6 HOLLOW METAL DOOR AND FRAME PAINTED
- 7 OVERHEAD ROLL UP DOOR PAINTED
- 8 3/4" CONCRETE SCORE REVEAL
- 9 3/4" CONCRETE SCORE REVEAL FLAG DELINEATION PAINTED SCHOOL LOGO/ANVRS

**BRETHREN CHRISTIAN
HIGH SCHOOL**
21141 STRATHMOOR LANE
HUNTINGTON BEACH, CA

net development co
3120 Alway Avenue, Costa Mesa, California 92626
Phone (714) 754-4654 Fax (714) 754-0188

ATTACHMENT NO. 3.5

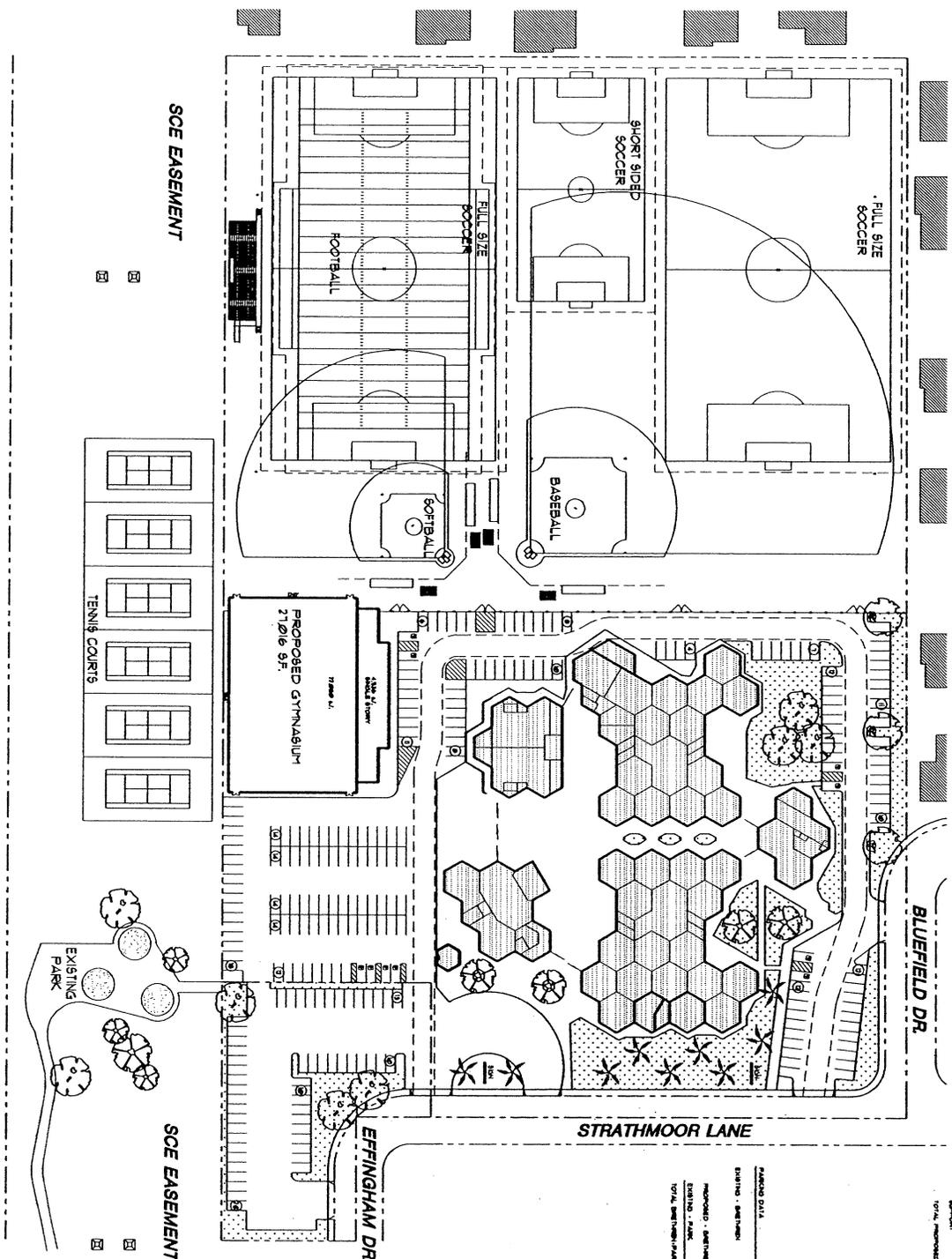
REVISIONS

NO.	DATE	DESCRIPTION
1	12 JAN 84	SCHEMATIC
2	15 MAR 84	SCHEMATIC
3	01 SEP 84	SCHEMATIC
4	16 SEP 84	SCHEMATIC
5	04 OCT 84	SCHEMATIC

DATE: 04/17
JOB NO.: 04107
PROJECT: BRETHREN CHRISTIAN HIGH SCHOOL
DRAWN BY: [Name]
CHECKED BY: [Name]
APPROVED BY: [Name]

EXTERIOR ELEVATIONS
D3.2

BRETHREN CHRISTIAN JUNIOR & SENIOR HIGH SCHOOL



STATHMOOR DATA

COMPLETION	2011
CONTRACTOR	THE BRETHREN CHRISTIAN CHURCH
ALLOTMENT AREA	100,000 SF
PROPOSED AREA	21,000 SF
STATHMOOR	4,000 SF
EXISTING	1,000 SF
TOTAL PROPOSED	26,000 SF

PLANNING DATA

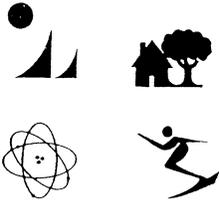
EXISTING - BUILDINGS	NO BUILDINGS
PROPOSED - BUILDINGS	11 BUILDINGS
EXISTING - PARK	11 SPACES
TOTAL PROPOSED/PARK	22 SPACES

**BRETHREN CHRISTIAN
HIGH SCHOOL**
2141 STRATHMOOR LANE
HUNTINGTON BEACH, CA

REVISIONS

NO.	DATE	DESCRIPTION
1	10/10/10	ISSUED FOR PERMITTING
2	10/10/10	ISSUED FOR PERMITTING
3	10/10/10	ISSUED FOR PERMITTING

DATE: 10/10/10
SCALE: AS SHOWN
DRAWN BY: [Name]
CHECKED BY: [Name]
APPROVED BY: [Name]



City of Huntington Beach

2000 MAIN STREET

CALIFORNIA 92648

DEPARTMENT OF PLANNING

December 5, 2008

Kevin A. Coleman
Net Development
3130 Airway Avenue
Costa Mesa, CA 92626

**SUBJECT: ENTITLEMENT PLAN AMENDMENT 08-005/ CONDITIONAL USE PERMIT
NO. 08-052 (21141 STRATHMOOR LANE – BRETHERN CHRISTIAN SCHOOL
GYMNASIUM)
PROJECT IMPLEMENTATION CODE REQUIREMENTS**

Dear Mr. Coleman:

In order to assist you with your development proposal, staff has reviewed the project and identified applicable city policies, standard plans, and development and use requirements, excerpted from the City of Huntington Beach Zoning & Subdivision Ordinance and Municipal Codes. This list is intended to help you through the permitting process and various stages of project implementation.

It should be noted that this requirement list is in addition to any “conditions of approval” adopted by the Planning Commission. Please note that if the design of your project or site conditions change, the list may also change.

The attached project implementation code requirements may be appealed to the Planning Commission as a matter separate from the associated entitlement(s) within ten calendar days of the approval of the project pursuant to the Huntington Beach Zoning and Subdivision Ordinance Section 248.24. The appeal fee is \$494.00.

If you would like a clarification of any of these requirements, an explanation of the Huntington Beach Zoning & Subdivision Ordinance and Municipal Codes, or believe some of the items listed do not apply to your project, and/or you would like to discuss them in further detail, please contact me at 714-374-1682 or at rtalleh@surfcity-hb.org and/or the respective source department (contact person below).

Sincerely,


Rami Talleh,
Associate Planner

Enclosure

cc: Gerald Caraig, Building and Safety Department – 714-374-1575
Lee Caldwell, Fire Department – 714-536-5531
Steve Bogart, Public Works – 714-536-1692
Herb Fauland, Principal Planner
Jason Kelley, Planning Department
Huntington Beach City School District, P.O. Box 71, Huntington Beach, CA 92648

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HUNTINGTON BEACH PLANNING DEPARTMENT

PROJECT IMPLEMENTATION CODE REQUIREMENTS

PROJECT NAME: BRETHREN CHRISTIAN SCHOOL

PLANNING APPLICATION NO. PLANNING APPLICATION NO. 2008-202

ENTITLEMENTS: ENTITLEMENT PLAN AMENDMENT NO. 2008-005

DATE OF PLANS: OCTOBER 9, 2008

PROJECT LOCATION: 21141 STRATHMOOR LANE (EAST SIDE OF STRATHMOOR LN., SOUTH OF ATLANTA AVE.)

PLAN REVIEWER: RAMI TALLEH, SENIOR PLANNER

TELEPHONE/E-MAIL: (714) 374-1682

PROJECT DESCRIPTION: TO AMEND A PREVIOUSLY APPROVED SITE PAN FOR BRETHREN CHRISTIAN SCHOOL BY CONSTRUCTING A 27,005 SQ. FT. GYMNASIUM AND RECONFIGURING/EXPANDING AN EXISTING PARKING LOT.

The following is a list of code requirements deemed applicable to the proposed project based on plans stated above. The list is intended to assist the applicant by identifying requirements which must be satisfied during the various stages of project permitting and implementation. A list of conditions of approval adopted by the Planning Commission in conjunction with the requested entitlement(s), if any, will also be provided upon final project approval. If you have any questions regarding these requirements, please contact the Plan Reviewer.

ENTITLEMENT PLAN AMENDMENT 08-005/ CONDITIONAL USE PERMIT NO. 08-052:

1. The site plan, floor plans, and elevations approved by the Planning Commission shall be the conceptually approved design with the following modifications:
 - a. Parking lot striping shall comply with Chapter 231 of the Zoning and Subdivision Ordinance and Title 24, California Administrative Code.
 - b. Depict all utility apparatus, such as but not limited to, back flow devices and Edison transformers on the site plan. Utility meters shall be screened from view from public right-of-ways. Electric transformers in a required front or street side yard shall be enclosed in subsurface vaults. Backflow prevention devices shall be prohibited in the front yard setback and shall be screened from view.
 - c. All exterior mechanical equipment shall be screened from view on all sides. Rooftop mechanical equipment shall be setback a minimum of 15 feet from the exterior edges of the building.

Equipment to be screened includes, but is not limited to, heating, air conditioning, refrigeration equipment, plumbing lines, ductwork and transformers. Said screening shall be architecturally compatible with the building in terms of materials and colors. If screening is not designed specifically into the building, a rooftop mechanical equipment plan showing proposed screening must be submitted for review and approval with the application for building permit(s).

- d. Depict the location of all gas meters, water meters, electrical panels, air conditioning units, mailboxes (as approved by the United States Postal Service), and similar items on the site plan and elevations. If located on a building, they shall be architecturally integrated with the design of the building, non-obtrusive, not interfere with sidewalk areas and comply with required setbacks.
 - e. All parking area lighting shall be energy efficient and designed so as not to produce glare on adjacent residential properties. Security lighting shall be provided in areas accessible to the public during nighttime hours, and such lighting shall be on a time-clock or photo-sensor system. **(HBZSO 231.18(C))**
 - f. Bicycle parking facilities shall be provided in accordance with the provisions of HBZSO Section 231.20 – *Bicycle Parking*.
2. Prior to submittal for building permits, the following shall be completed:
 - a. Zoning entitlement conditions of approval, code requirements identified herein and code requirements identified in separately transmitted memorandum from the Departments of Building & Safety, Fire and Public Works shall be printed verbatim on one of the first three pages of all the working drawing sets used for issuance of building permits (architectural, structural, electrical, mechanical and plumbing) and shall be referenced in the sheet index. The minimum font size utilized for printed text shall be 12 point.
 - b. Submit three (3) copies of the site plan and the processing fee to the Planning Department for addressing purposes. The addressing Assignment shall be reviewed and approved prior to submittal for building permits.
 3. The Development Services Departments (Building & Safety, Fire, Planning and Public Works) shall be responsible for ensuring compliance with all applicable code requirements and conditions of approval. The Director of Planning may approve minor amendments to plans and/or conditions of approval as appropriate based on changed circumstances, new information or other relevant factors. Any proposed plan/project revisions shall be called out on the plan sets submitted for building permits. Permits shall not be issued until the Development Services Departments have reviewed and approved the proposed changes for conformance with the intent of the Planning Commission's action. If the proposed changes are of a substantial nature, an amendment to the original entitlement reviewed by the Planning Commission may be required pursuant to the provisions of HBZSO Section 241.18.
 4. The applicant and/or applicant's representative shall be responsible for ensuring the accuracy of all plans and information submitted to the City for review and approval.
 5. Entitlement Plan Amendment No. 08-005/ Conditional Use Permit No. 08-052 shall not become effective until the ten calendar day appeal period following the approval of the entitlements has elapsed.
 6. Entitlement Plan Amendment No. 08-005/ Conditional Use Permit No. 08-052 shall become null and void unless exercised within one year of the date of final approval or such extension of time as may be granted by the Director pursuant to a written request submitted to the Planning Department a minimum 30 days prior to the expiration date.

7. The Planning Commission reserves the right to revoke Entitlement Plan Amendment No. 08-005/ Conditional Use Permit No. 08-052 pursuant to a public hearing for revocation, if any violation of the conditions of approval, Huntington Beach Zoning and Subdivision Ordinance or Municipal Code occurs.
8. The project shall comply with all applicable requirements of the Municipal Code, Building & Safety Department and Fire Department, as well as applicable local, State and Federal Fire Codes, Ordinances, and standards, except as noted herein.
9. Construction shall be limited to Monday – Saturday 7:00 AM to 8:00 PM. Construction shall be prohibited Sundays and Federal holidays.
10. The applicant shall submit a check in the amount of \$50 for the posting of a Notice of Exemption or Notice of Determination at the County of Orange Clerk's Office. The check shall be made out to the County of Orange and submitted to the Planning Department within two (2) days of the Planning Commission's action. If a Notice of Determination is required an additional check in the amount of \$1,800 for California Department of Fish and Game shall be made out to County of Orange and submitted within two (2) days of the Planning Commission's action.
11. All landscaping shall be maintained in a neat and clean manner, and in conformance with the HBZSO. Prior to removing or replacing any landscaped areas, check with the Departments of Planning and Public Works for Code requirements. Substantial changes may require approval by the Planning Commission.



**CITY OF HUNTINGTON BEACH
DEPARTMENT OF BUILDING & SAFETY
PROJECT IMPLEMENTATION CODE REQUIREMENTS**

DATE: NOVEMBER 3, 2008
PROJECT NAME: BRETHREN CHRISTIAN SCHOOL
PLANNING APPLICATION NO. PLANNING APPLICATION NO. 2008-202
ENTITLEMENTS: ENTITLEMENT PLAN AMENDMENT NO. 2008-005
DATE OF PLANS: OCTOBER 9, 2008
PROJECT LOCATION: 21141 STRATHMOOR LANE (EAST SIDE OF STRATHMOOR LN., SOUTH OF ATLANTA AVE.)
PLAN REVIEWER: JASON KWAK, PLAN CHECK ENGINEER
TELEPHONE/E-MAIL: (714) 536-5278 / jkwak@surfcity-hb.org
PROJECT DESCRIPTION: TO AMEND A PREVIOUSLY APPROVED SITE PAN FOR BRETHREN CHRISTIAN SCHOOL BY CONSTRUCTING A 27,005 SQ. FT. GYMNASIUM AND RECONFIGURING/EXPANDING AN EXISTING PARKING LOT.

The following is a list of code requirements deemed applicable to the proposed project based on plans received as stated above. The list is intended to assist the applicant by identifying requirements which must be satisfied during the various stages of project permitting and implementation. This list is not intended to be a full and complete list and serves only to highlight possible building code issues on the proposed preliminary plans. Electrical, plumbing, and mechanical items are not included in this review. If you have any questions regarding these comments, please contact the plan reviewer.

I. SPECIAL CONDITIONS:

1. None

II. CODE ISSUES BASED ON PLANS & DRAWINGS SUBMITTED:

1. Project shall comply with the 2007 California Building Code, 2007 California Mechanical Code, 2007 California Plumbing Code, 2007 California Electrical Code, 2007 California Energy Code and the Huntington Beach Municipal Code (HBMC). Compliance to all applicable state and local codes is required prior to issuance of building permit.
2. The exit discharge shall provide a direct and unobstructed access to a public way per Section 1024.6 of the CBC.
3. Where the building is classified as a Group A occupancy, the main exit shall front on at least one street or an unoccupied space of not less than 20 feet in width that adjoins a street or public way, per Section 1025.2.
4. Provide compliance with disabled accessibility requirements of Chapter 11B including accessible seating or accommodations for Group A occupancies.



HUNTINGTON BEACH PUBLIC WORKS DEPARTMENT

PROJECT IMPLEMENTATION CODE REQUIREMENTS

DATE: NOVEMBER 19, 2008
PROJECT NAME: BRETHERN CHRISTIAN PRIVATE SCHOOL
ENTITLEMENTS: EPA 2008-005
PLNG APPLICATION NO: 2008-0202
DATE OF PLANS: OCTOBER 9, 2008
PROJECT LOCATION: 21141 STRATHMOOR LANE
PROJECT PLANNER: RAMI TALLEH, SENIOR PLANNER
TELEPHONE/E-MAIL: 714-374-1682 / RTALLEH@SURFCITY-HB.ORG
PLAN REVIEWER: STEVE BOGART, SENIOR CIVIL ENGINEER *SB*
TELEPHONE/E-MAIL: 714-536-5431 / SBOGART@SURFCITY-HB.ORG
PROJECT DESCRIPTION: TO AMEND A PREVIOUSLY APPROVED SITE PLAN FOR BRETHERN CHRISTIAN PRIVATE SCHOOL BY CONSTRUCTING A NEW 27,005 SQ. FT. GYMNASIUM AND RECONFIGURING / EXPANDING AN EXISTING PARKING LOT.

The following is a list of code requirements deemed applicable to the proposed project based on plans as stated above. The items below are to meet the City of Huntington Beach's Municipal Code (HBMC), Zoning and Subdivision Ordinance (ZSO), Department of Public Works Standard Plans (Civil, Water and Landscaping) and the American Public Works Association (APWA) Standards Specifications for Public Works Construction (Green Book), the Orange County Drainage Area management Plan (DAMP), and the City Arboricultural and Landscape Standards and Specifications. The list is intended to assist the applicant by identifying requirements which shall be satisfied during the various stages of project permitting, implementation and construction. If you have any questions regarding these requirements, please contact the Plan Reviewer or Project Planner.

THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A DEMOLITION PERMIT:

1. Applicant shall provide a consulting arborist report on all the existing trees. Said report shall quantify, identify, size and analyze the health of the existing trees. The report shall also recommend how the existing trees that are to remain (if any) shall be protected and how far construction/grading shall be kept from the trunk. (Resolution 4545)
 - a. Existing mature trees that are to be removed must be replaced at a 2 for 1 ratio with a 36" box tree or palm equivalent (13'-14' of trunk height for Queen Palms and 8'-9' of brown trunk).

**THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO
ISSUANCE OF A GRADING PERMIT:**

1. A Precise Grading Plan, prepared by a Licensed Civil Engineer, shall be submitted to the Public Works Department for review and approval. (MC-17.05/ZSO 230.84) The plan shall comply with Public Works plan preparation guidelines and include the following improvements on the plan:
 - a. The existing two southerly driveway approaches on Strathmoor Lane shall be removed and replaced with an ADA compliant driveway approaches per Public Works Standard Plan No. 209 or 211. (ZSO 230.84)
 - b. A new sewer lateral shall be installed connecting to the main in the street. (ZSO 230.84)
 - c. The existing 4-inch domestic water service currently serving the property may potentially be utilized to serve the new gymnasium if it is of adequate size, conforms to current standards and is in working condition as determined by the City Water Inspector. If the property owner elects to utilize the existing domestic water service, the existing non-conforming 4-inch compound meter assembly (including meter box and/or vault) shall be upgraded and a new by-pass pipeline within the meter box shall be constructed to conform to current Water Standards. (ZSO 230.84)
 - d. Alternatively, a new separate domestic water service, meter and backflow protection device(s) may be installed per Water Standards and shall be sized to meet the minimum requirements set by the California Plumbing Code (CPC). The domestic water service shall be a minimum of 2-inches in size. (ZSO 255.04E)
 - e. The existing 4" backflow protection device shall be removed and replaced with a backflow protection device that conforms to the current Water Standards. (ZSO 230.84)
 - f. Separate dedicated fire water service(s) shall be constructed per Water Standards for the fire sprinkler system required by the Fire Department. (ZSO 230.84)
 - g. Separate backflow protection device(s) shall be installed per Water Standards for the fire water service. (Resolution 5921 and Title 17)
2. A Landscape and Irrigation Plan, prepared by a Licensed Landscape Architect shall be submitted to the Public Works Department for review and approval by the Public Works and Planning Departments. (ZSO 232.04)
 - a. Existing mature trees that are to be removed must be replaced at a 2 for 1 ratio with a 36" box tree or palm equivalent (13'-14' of trunk height for Queen Palms and 8'-9' of brown trunk).
 - b. "Smart irrigation controllers" and/or other innovative means to reduce the quantity of runoff shall be installed. (ZSO 232.04D)
 - c. Standard landscape code requirements apply. (ZSO 232)
3. All landscape planting, irrigation and maintenance shall comply with the City Arboricultural and Landscape Standards and Specifications. (ZSO 232.04B)
4. Landscaping plans should utilize native, drought-tolerant landscape materials where appropriate and feasible. (DAMP)
5. The Consulting Arborist (approved by the City Landscape Architect) shall review the final landscape tree planting plan and approve in writing the selection and locations proposed for new trees and the protection measures and locations of existing trees to remain. Said Arborist report

shall be incorporated onto the Landscape Architect's plans as construction notes and/or construction requirements. The report shall include the Arborist's name, certificate number and the Arborist's wet signature on the final plan.

6. Prior to the issuance of any grading or building permits for projects that will result in soil disturbance of one or more acres of land, the applicant shall demonstrate that coverage has been obtained under California's General Permit for Stormwater Discharges Associated with Construction Activity by providing a copy of the Notice of Intent (NOI) submitted to the State Water Resources Control Board and a copy of the subsequent notification of the issuance of a Waste Discharge Identification (WDID) Number. Projects subject to this requirement shall prepare and implement a Stormwater Pollution Prevention Plan (SWPPP) conforming to the current National Pollution Discharge Elimination System (NPDES) requirements shall be submitted to the Department of Public Works for review and acceptance. A copy of the current SWPPP shall be kept at the project site and another copy to be submitted to the City. (DAMP)
7. A Project Water Quality Management Plan (WQMP) conforming to the City of Huntington Beach's Project WQMP Preparation Guidance Manual dated June 2006 and prepared by a Licensed Civil Engineer, shall be submitted to the Department of Public Works for review and acceptance and shall include the following:
 - a. Discusses regional or watershed programs (if applicable).
 - b. Addresses Site Design BMPs (as applicable) such as minimizing impervious areas, maximizing permeability, minimizing directly connected impervious areas, creating reduced or "zero discharge" areas, and conserving natural areas.
 - c. Incorporates the applicable Routine Source Control BMPs as defined in the Drainage Area Management Plan. (DAMP)
 - d. Incorporates Treatment Control BMPs as defined in the DAMP.
 - e. Generally describes the long-term operation and maintenance requirements for the Treatment Control BMPs.
 - f. Identifies the entity that will be responsible for long-term operation and maintenance of the Treatment Control BMPs.
 - g. Describes the mechanism for funding the long-term operation and maintenance of the Treatment Control BMPs.
 - h. Includes an Operations and Maintenance (O&M) Plan for all structural BMPs.
 - i. After incorporating plan check comments of Public Works, three final WQMPs (signed by the owner and the Registered Civil Engineer of record) shall be submitted to Public Works for acceptance. After acceptance, two copies of the final report shall be returned to applicant for the production of a single complete electronic copy of the accepted version of the WQMP on CD media that includes:
 - i) The 11" by 17" Site Plan in .TIFF format (400 by 400 dpi minimum).
 - ii) The remainder of the complete WQMP in .PDF format including the signed and stamped title sheet, owner's certification sheet, Inspection/Maintenance Responsibility sheet, appendices, attachments and all educational material.
 - j. The applicant shall return one CD media to Public Works for the project record file.
8. Indicate the type and location of Water Quality Treatment Control Best Management Practices (BMPs) on the Grading Plan consistent with the Project WQMP. The WQMP shall follow the City

of Huntington Beach; Project Water Quality Management Plan Preparation Guidance Manual dated June 2006. The WQMP shall be submitted with the first submittal of the Grading Plan.

9. A suitable location, as approved by the City, shall be depicted on the grading plan for the necessary trash enclosure(s). The area shall be paved with an impervious surface, designed not to allow run-on from adjoining areas, designed to divert drainage from adjoining roofs and pavements diverted around the area, and screened or walled to prevent off-site transport of trash. The trash enclosure area shall be covered or roofed with a solid, impervious material. Connection of trash area drains into the storm drain system is prohibited. If feasible, the trash enclosure area shall be connected into the sanitary sewer. (DAMP)
10. A soils report, prepared by a Licensed Engineer shall be submitted for reference only. (MC 17.05.150)
11. The applicant's grading/erosion control plan shall abide by the provisions of AQMD's Rule 403 as related to fugitive dust control. (AQMD Rule 403)
12. The name and phone number of an on-site field supervisor hired by the developer shall be submitted to the Planning and Public Works Departments. In addition, clearly visible signs shall be posted on the perimeter of the site every 250 feet indicating who shall be contacted for information regarding this development and any construction/grading-related concerns. This contact person shall be available immediately to address any concerns or issues raised by adjacent property owners during the construction activity. He/She will be responsible for ensuring compliance with the conditions herein, specifically, grading activities, truck routes, construction hours, noise, etc. Signs shall include the applicant's contact number, regarding grading and construction activities, and "1-800-CUTSMOG" in the event there are concerns regarding fugitive dust and compliance with AQMD Rule No. 403.
13. The applicant shall notify all property owners and tenants within 300 feet of the perimeter of the property of a tentative grading schedule at least 30 days prior to such grading.

THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLIED WITH DURING GRADING OPERATIONS:

1. An Encroachment Permit is required for all work within the City's right-of-way. (MC 12.38.010/MC 14.36.030)
2. The developer shall coordinate the development of a truck haul route with the Department of Public Works if the import or export of material in excess of 5000 cubic yards is required. This plan shall include the approximate number of truck trips and the proposed truck haul routes. It shall specify the hours in which transport activities can occur and methods to mitigate construction-related impacts to adjacent residents. These plans must be submitted for approval to the Department of Public Works. (MC 17.05.210)
3. Water trucks will be utilized on the site and shall be available to be used throughout the day during site grading to keep the soil damp enough to prevent dust being raised by the operations. (California Stormwater BMP Handbook, Construction Wind Erosion WE-1)
4. All haul trucks shall arrive at the site no earlier than 8:00 a.m. or leave the site no later than 5:00 p.m., and shall be limited to Monday through Friday only. (MC 17.05)
5. Wet down the areas that are to be graded or that is being graded, in the late morning and after work is completed for the day. (WE-1/MC 17.05)
6. The construction disturbance area shall be kept as small as possible. (California Stormwater BMP Handbook, Construction Erosion Control EC-1) (DAMP)

7. All haul trucks shall be covered or have water applied to the exposed surface prior to leaving the site to prevent dust from impacting the surrounding areas. (DAMP)
8. Prior to leaving the site, all haul trucks shall be washed off on-site on a gravel surface to prevent dirt and dust from leaving the site and impacting public streets. (DAMP)
9. Comply with appropriate sections of AQMD Rule 403, particularly to minimize fugitive dust and noise to surrounding areas. (AQMD Rule 403)
10. Wind barriers shall be installed along the perimeter of the site. (DAMP)
11. Remediation operations, if required, shall be performed in stages concentrating in single areas at a time to minimize the impact of fugitive dust and noise on the surrounding areas. (CHECK WITH LEE CALDWELL- HE SHOULD INCLUDE THIS)
12. All construction materials, wastes, grading or demolition debris and stockpiles of soils, aggregates, soil amendments, etc. shall be properly covered, stored and secured to prevent transport into surface or ground waters by wind, rain, tracking, tidal erosion or dispersion. (DAMP)

THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A BUILDING PERMIT:

1. A Precise Grading Permit shall be issued. (MC 17.05)
2. Traffic impact fees for commercial development shall be paid at the rate applicable at the time of Building Permit issuance. The current rate of \$154 per net new added daily trip is adjusted annually on December 1st. The new daily trips shall be determined by the approved Traffic Impact Analysis or calculated by staff. (MC 17.65)

THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO FINAL INSPECTION OR OCCUPANCY:

1. Complete all improvements as shown on the approved grading and landscape plans. (MC 17.05)
2. The current tree code requirements shall apply to this site. (ZSO 232)
 - a. Existing trees to remain on site shall not be disfigured or mutilated, (ZSO 232.04E) and,
 - b. General tree requirements, regarding quantities and sizes. (ZSO 232.08B and C)
3. All landscape irrigation and planting installation shall be certified to be in conformance to the City approved landscape plans by the Landscape Architect of record in written form to the City Landscape Architect. (ZSO 232.04D)
4. Applicant shall provide City with CD media TIFF images (in City format) and CD (AutoCAD only) copy of complete City Approved landscape construction drawings as stamped "Permanent File Copy" prior to starting landscape work. Copies shall be given to the City Landscape Architect for permanent City record.
5. Prior to grading or building permit close-out and/or the issuance of a certificate of use or a certificate of occupancy, the applicant shall:
 - a. Demonstrate that all structural Best Management Practices (BMPs) described in the Project WQMP have been constructed and installed in conformance with approved plans and specifications.

- b. Demonstrate all drainage courses, pipes, gutters, basins, etc. are clean and properly constructed.
 - c. Demonstrate that applicant is prepared to implement all non-structural BMPs described in the Project WQMP.
 - d. Demonstrate that an adequate number of copies of the approved Project WQMP are available for the future occupiers.
6. All new utilities shall be undergrounded. (MC 17.64)
 7. All applicable Public Works fees shall be paid at the current rate unless otherwise stated, per the Public Works Fee Schedule adopted by the City Council and available on the city web site at http://www.surfcity-hb.org/files/users/public_works/fee_schedule.pdf. (ZSO 240.06/ZSO 250.16)
 8. The Water Ordinance #14.52, the "Water Efficient Landscape Requirements" apply for projects with 2500 square feet of landscaping and larger. (MC 14.52)



HUNTINGTON BEACH FIRE DEPARTMENT

PROJECT IMPLEMENTATION CODE REQUIREMENTS

PROJECT NAME: BRETHREN CHRISTIAN SCHHOOOL GYMNASIUM
ENTITLEMENTS: PLANNING APPLICATION NO. 2008-005/2008-202
PROJECT LOCATION: 21141 STATHMOOR LANE, HUNTINGTON BEACH, CA
PLANNER: RAMI TALLEH, ASSOCIATE PLANNER
TELEPHONE/E-MAIL: (714) 374-1682/ rtalleh@surfcity-hb.org
PLAN REVIEWER-FIRE: DARIN MARESH, FIRE DEVELOPMENT SPECIALIST
TELEPHONE/E-MAIL: (714) 536-5531/ dmaresh@surfcity-hb.org
PROJECT DESCRIPTION: TO PERMIT A BRETHERN CHRISTIAMN SCHOOL TO CONSTRUCT A 27,005 SP FT GYMNASIUM AND RECONFIGURING/EXPANDING AN EXISTING PARKING LOT.

The following is a list of code requirements deemed applicable to the proposed project based on plans received and dated October 9, 2008. The list is intended to assist the applicant by identifying requirements which must be satisfied during the various stages of project permitting and implementation. A list of conditions of approval adopted by the Planning Commission in conjunction with the requested entitlement(s), if any, will also be provided upon final project approval. If you have any questions regarding these requirements, please contact the Plan Reviewer- Fire: DARIN MARESH, FIRE DEVELOPMENT SPECIALIST.

PRIOR TO DEMOLITION, GRADING, SITE DEVELOPMENT, ISSUANCE OF GRADING PERMITS, BUILDING PERMITS, AND/OR CONSTRUCTION, THE FOLLOWING SHALL BE REQUIRED:

Fire Hydrants and Water Systems

Private Fire Hydrants are required. Hydrants must be portrayed on the site plan. Hydrants shall be installed and in service **before** combustible construction begins. Installation of hydrants and service mains shall meet NFPA 13 and 24, 2002 Edition, Huntington Beach Fire Code Appendix B and C, and City Specification # 407 Fire Hydrant Installation Standards requirements. Private fire hydrants shall not be pressurized by Fire Department Connections to the sprinkler system. The system design shall ensure that recirculation of pressurized water from the hydrant, thru the FDC and back through the sprinkler system supply to the hydrant does not occur. Installation of the private fire service main, including fire department connections, shall meet NFPA 13 and 24, 2002 Edition requirements. Maximum allowed velocity of fire flow in supply piping is 12 fps. The maintenance of private fire hydrants is the responsibility of the owner or facility association. Shop drawings shall be submitted to and approved by the Fire Department. For Fire Department

approval, portray the fire hydrants and reference compliance with City Specification #407 Fire Hydrant Installation Standards in the plan notes. (FD)

Private Fire Service Connection to the Public Water Supply - Separate plans shall be submitted to the Public Works Department detailing the connection, piping, valves and back-flow prevention assembly (DDCA) for approval and permits. Approval by Public Works and the Fire Department must be completed prior to issuance of a grading permit. The dedicated private fire water service off-site improvements shall be shown on a precise grading plan, prepared by a Licensed Civil Engineer. (FD)

Fire Protection Systems

Fire Extinguishers shall be installed and located in all areas to comply with Huntington Beach Fire Code standards found in *City Specification #424*. The minimum required dry chemical fire extinguisher size is 2A 10BC and shall be installed within 75 feet travel distance to all portions of the building. Extinguishers are required to be serviced or replaced annually. (FD)

Fire Personnel Access

Main Secured Building Entries shall utilize a KNOX[®] Fire Department Access Key Box, installed and in compliance with City Specification #403, Fire Access for Pedestrian or Vehicular Security Gates & Buildings. Please contact the Huntington Beach Fire Department Administrative Office at (714) 536-5411 for information. Reference compliance with City Specification #403 - KNOX[®] Fire Department Access in the building plan notes. (FD)

Fire Sprinkler System Controls access shall be provided, utilizing a KNOX[®] Fire Department Access Key Box, installed and in compliance with City Specification #403, Fire Access for Pedestrian or Vehicular Security Gates & Buildings. The approximate location of the system controls shall be noted on the plans. Reference compliance in the plan notes. (FD)

Building Construction

Exit Signs And Exit Path Markings will be provided in compliance with the Huntington Beach Fire Code and Title 24 of the California Administrative Code. Reference compliance in the plan notes. (FD)

Posting Of Room Occupancy is required. Any room having an occupant load of 50 or more where fixed seats are not installed, and which is used for assembly purposes, shall have the

capacity of the room posted in a conspicuous place near the main exit per HBFC sec. 2501.16.1. **(FD)**

Egress Illumination/Emergency Exit Lighting with emergency back-up power is required. Provide means of egress illumination per HBFC 1211.1 and UBC 1003.2.9. **(FD)**

THE FOLLOWING CONDITIONS SHALL BE MAINTAINED DURING CONSTRUCTION:

- a. Fire/Emergency Access And Site Safety shall be maintained during project construction phases in compliance with HBFC Chapter 14, Fire Safety During Construction And Demolition. **(FD)**

- b. Fire/Emergency Access And Site Safety shall be maintained during project construction phases in compliance with City Specification #426, Fire Safety Requirements for Construction Sites. **(FD)**

OTHER:

- a. Discovery of additional soil contamination or underground pipelines, etc., must be reported to the Fire Department immediately and the approved work plan modified accordingly in compliance with City Specification #431-92 Soil Clean-Up Standards. **(FD)**

- b. Outside City Consultants The Fire Department review of this project and subsequent plans may require the use of City consultants. The Huntington Beach City Council approved fee schedule allows the Fire Department to recover consultant fees from the applicant, developer or other responsible party. **(FD)**

Fire Department City Specifications may be obtained at:
Huntington Beach Fire Department Administrative Office
City Hall 2000 Main Street, 5th floor
Huntington Beach, CA 92648
or through the City's website at www.surfcity-hb.org

If you have any questions, please contact the Fire Prevention Division at (714) 536-5411.

November 13, 2008

City of Huntington Beach
NOV 17 2008

City of Huntington Beach
Planning Department
2000 Main Street
Huntington Beach, CA 92648

To Whom It May Concern,

As part of our request for an issuance of a *Conditional Use Permit*, please find the following narrative that describes the background of Brethren Christian Junior and Senior High School (BCHS) and the modifications we are requesting:

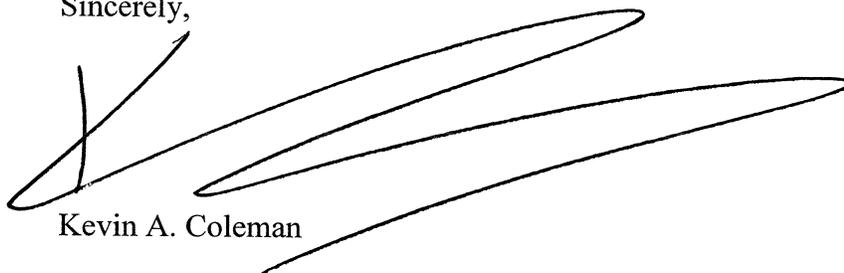
BCHS has operated at the former Gisler Huntington Beach City School District property for the last 10 years on a short term, year to year lease; the lease recently amended to a 35 year term. BCHS respectfully requests permission to develop a multi purpose community gymnasium that will house basketball, volleyball and other indoor activities.

The Gisler campus has existed at the location as an institutional school for 45 years. The North and West sides of the school are homes; on the East side are Strathmoor Street and the South side is an SCE Easement. The gym will be located against the SCE Easement, open sports fields, and a parking lot on the other two sides; it does not abut any residences.

The purpose of the gymnasium is to support BCHS activities as well as Huntington Beach community, churches, and youth programs. Operation hours will be regular school hours, some weekends and evenings.

I hope this information along with the attached plans covers your needs. If you have any concerns or questions; please feel free to contact me. Thank you for your consideration.

Sincerely,



Kevin A. Coleman

KAC:klw

ATTACHMENT NO. 51

City of Huntington Beach

FEB 17 2009

City of Huntington Beach Department of Planning

I am a 71 and retired, live in Villa Pacific Condos across the street from Gisler Park and Brethren Christian School. I enjoy having the school there on Strathmoor Ln. I like hearing the band play and having the kids around. I didn't get to any of the football games last year, but hope to this year. I am for the new building and the other improvements. I have lived here 31 years and it is nice to have the school site occupied. I would like to see the field still to be used by the soccer teams in the community.

Regards,
Ina Hunter
21311 Seasprite Circle
Huntington Beach, Ca. 92646

714-962-1209



ATTACHMENT NO. 601

Talleh, Rami

From: Bill & Dianna Burhans [bdburhans@yahoo.com]
Sent: Friday, February 13, 2009 10:29 AM
To: Talleh, Rami
Subject: Brethren Christian School Gym

Dear Mr. Talleh,

A letter has been distributed around to help "the integrity" of our neighborhood.

In my opinion the gym would do just that.

My wife and I have lived on Panacea Drive since 1982 and in that time a lot of changes have occurred. When we moved in most kids were in high school or above. Now our cul-de-sac has lots of new families with ten children under the age of eight years.

With the addition of Brethren Christian School, the area has been revitalized.

Friday night football may be loud with the drums, trumpets and cheers from the crowd and believe me we hear it all, but this is a community and we have spirit.

I could go on but to the point. The school gym will have a positive impact.

Very few kids are good enough to make the school basketball teams, so now they could join basketball leagues and use the new gym.

There is a large condo complex south of the school site with many children. Lots of potential here for their use. The gym has other uses for the community; meetings, school concerts and plays.

I'm getting carried away in my "short note" to you.

Keep in mind that if there is one note written to you in favor of the gym, there are probably twenty who would agree.

Thanks for your time and consideration.

Bill Burhans
9551 Panacea Dr.
Huntington Beach, CA 92646
714-968-8087

February 14th, 2009

TO: Rami Talleh, Senior Planner
Planning Department
City of Huntington Beach

Subject: Brethren Christian School Gymnasium Project

We are responding to your departments "Public Notice" regarding the above planned project.

My wife and I purchased our home at 21192 Lockhaven Circle (2 blocks from this tentative project) in January of 1968, having now lived here over 41 years. We purchased the home because it was in a quiet residential area, with schools close by for our four children, a nice small park nearby, and traffic that was very light and safe for small children. We have observed numerous positive changes in our city and have been quite happy with the City of Huntington Beach leaders for keeping this a wonderful place to live. As some of us long time residents are "aging", passing away, or just moving away, many new families have come into the community. We now have many small children playing on our streets. We love it and we do not want to see any added danger to those children, just as we didn't want that for our children. Now comes the problem!

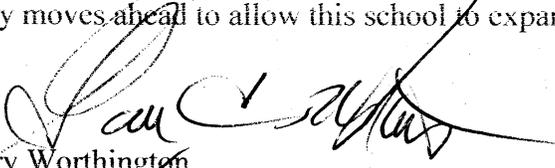
We watched this school become "under utilized" a few years back, falling into disrepair. We were happy when this school was repaired and converted into a private high school. Yes, it did increase the traffic a lot but it was better than watching the school fall further into disrepair. Then the soccer teams took over the large play area, installed VERY BRITE lights so they could play night games, and we watched the traffic increase drastically, almost every night! The streets in the area became full of potholes, as this quiet little school enrolled more students and increased traffic even more. Last year the city spent big dollars to finally repair the streets in our neighborhood and it will probably be another 40 years before they do it again.

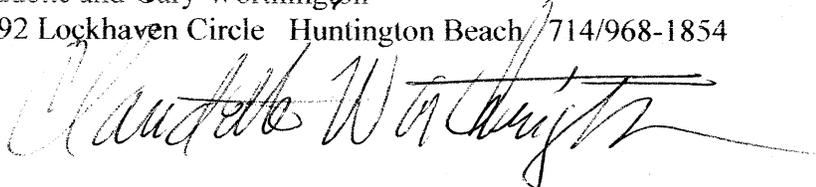
This school signed a long term lease to use this property and now wants to enlarge it even more by adding a large gymnasium so they can attract more students and enlarge their sports programs. This is just an accident waiting to happen! This facility was never intended to be put to the use the Brethren School would like and the access roads were NEVER intended to handle the current traffic, let alone the added traffic that will take place with this facility. Parking is no where near adequate for these types of use. Special events already have people parking on the nearby residential streets up to four blocks away.

The current lighting at night is already "blinding" when heading West on Effingham. I don't believe any "controls" were ever put in place to restrict or control this lighting, and if they were, someone dropped the ball. I have already observed a number of "near misses" with regard to drivers speeding down Effingham and narrowly missing children in the area, not to mention other vehicles. Is this really what we want for this area?

I hope the planning commission will take a long hard look at these plans and finally "veto" them. While you are at it you should also look into the current "lighting problems" currently in place, making sure they are within City of Huntington Beach guidelines. Most of the residents in our area are not in favor of any expansion of this school property and I hope it doesn't come to a "class action" lawsuit from concerned residents if the city moves ahead to allow this school to expand further.

Regards,


Claudette and Gary Worthington
21192 Lockhaven Circle Huntington Beach / 714/968-1854



City of Huntington Beach

FEB 17 2009

ATTACHMENT NO. 7.1

City of Huntington Beach

February 12, 2009

FEB 18 2009

Rami Talleh, Senior Planner
City of Huntington Beach, Planning Department
2000 Main Street
Huntington Beach, Ca. 92648

Re: Notice of Availability of a Negative Declaration for the Brethren Christian School
Gymnasium Project

Dear Rami Talleh,

After reviewing the public notice regarding the proposed Brethren Christian School
Gymnasium Project, I am hopeful my concerns for our neighborhood will be considered.

We have lived on Strathmoor Lane for thirty-five years. I even attended the school at the
end of my street when it was called Gisler Middle School. Although, ever since Brethren
Christian Junior & Senior High School opened, we have been coping with many traffic
incidents and a few vandalism issues.

We currently experience a high level amount of traffic, with the more than occasional
speeder. We live one house in from Atlanta on the east side of Strathmoor Lane. I have
personally witnessed a young student completely loose control of his car and spin out as
he turned right (at an unsafe speed) onto Strathmoor Lane from Atlanta this past fall
(check the HB Police records). My truck, which I occasionally park in front of my house,
has a large dent on the driver side door due to a hit and run. It is an undertaking to back
out of our driveway before school begins, at the end of the school day, and during all
sporting events and other recitals taking place at the school. The loud base music played
from some of the cars can be disruptive while the traffic is backed up in front of my
house waiting to turn onto Atlanta. I have had chewing gum thrown onto the hood of my
truck. There is yellow paint all over the street directly in front of my house. Recently,
another driver turning right onto Strathmoor Lane off of Atlanta (again at a higher than
safe speed) avoided hitting my neighbor directly across the street from me as he was
backing out of his driveway, but then nearly hit my truck.

Unfortunately I do not have dates and times for the events listed above although I do have
witnesses if necessary.

My fear is that if this gymnasium is built, the traffic will increase and it will negatively
impact our neighborhood even more than it already is.

Your consideration to my concerns will be greatly appreciated.

Sincerely,


Jennifer Percival

ATTACHMENT NO. 7.2

February 15, 2008

Rami Talleh
Senior Planner
City of Huntington Beach
Planning Department
2000 Main Street
Huntington Beach, CA 92648

(2 X PAGES)
to (714) 536-5271

Dear Mr Talleh,

I write with respect to the preposterous proposed School Gymnasium Project at the Brethren Christian School.

This development is completely incongruous with the neighborhood. It is a monstrous development that will severely impact both our quality of life and the value of our homes.

The traffic associated with the school is already a problem. Too many cars in too small a space with insufficient parking is a recipe for trouble and downright dangerous.

The proposed signage is horrific and the building itself will give a 'warehouse' feel to our neighborhood.

We the taxpayers are livid that this abomination is even allowed to be discussed. If the Brethern Christian School is really trying to be a good neighbor then why did they proceed with plans before meeting with residents. We already put up with the fleet of speeding SUVs that accompany their current sports events and the litter that they leave behind. Not to mention their intrusive lighting and the unacceptable noise that accompany their sporting events. They have done nothing to prevent the 'spillage' from their lights as is required by their conditional use permit.

In summary, this proposed monstrosity should be abandoned due primarily to the following:

- (1) Traffic – the neighborhood cannot currently cope with the traffic associated with this school. It is already dangerous. There are many people with young children in this neighborhood and you are putting these children at risk by inviting further traffic to these small streets. There is not enough parking as it is. Traffic and parking is already a problem and you are going to make it unlivable.
- (2) Noise – the current outdoor night games are already too loud. Furthermore, to suggest that vehicles for their night-games will have departed by 9:30PM is

City of Huntington Beach

FEB 17 2009

ATTACHMENT NO. 7.3

absurd. Currently they are still departing at 10:30PM. It's like the Keystone Cops in our neighborhood whenever they have their events.

(3) Aesthetics – we will now have a lovely view of a 27,000 warehouse facility thereby destroying our property values. Would you buy a house on Strathmoor Lane with a view of a 27,000 foot building with large signage? It is preposterous.

(4) Crime – we already have frequent visits from the police helicopter at night. I can assure you that such visits will increase when we have a 27,000 square foot 'warehouse' gymnasium acting as a buffer from street views.

For the love of God, in these difficult times, will you please spare us this nonsense and please apply a modicum of common sense.

We are entitled to "quiet enjoyment" of our homes. It is the responsibility of the City to ensure that our quiet enjoyment is maintained. If this abomination proceeds we will take legal action.

Peter and Sandra Nealon
21211 Lockhaven Circle
Huntington Beach, CA 92646

Pete Nealon
2/17/09

Sandra Nealon
2/17/09

P.S. WE ALSO OWN THE PROPERTY
AT 21062 STRATHMOOR LANE
WHICH IS CURRENTLY RENTED.

February 11, 2009

City of Huntington Beach

Rami Talleh, Senior Planner
City of Huntington Beach
Planning Department

FEB 17 2009

We reside at 21121 Cocobana Lane, directly north of the school. We have always been in favor of having Brethren as neighbors, however having a school as your neighbor can have disadvantages. There are traffic issues, stadium light issues, noise issues, which are all understandable but do need addressed. On many occasions we have had to discourage vandalism, vagrancy on the school property during nights and weekends. We have even had a camper who decided to camp overnight on the school property in a tent. We have the usual adolescents who decide to take refuge and drink and party because it's difficult for the police to spot them in the backside of the school. With adding the parking lot alongside our home, we feel this will only accelerate these type of activities. We have had a broken window, injured dog and numerous foreign objects in our yard. We have spoken with the principal, Rick Niswonger regarding our concerns. When he had shown us the proposal months ago, we made known our concerns, and his response was that they would make this parking lot accessible to staff only during the week by using some type of gate barrier. We notice in the plans that were submitted that this parking lot not only lacks the gate, but now it is connected to the main lot south of the school. Rick has stated that the gate should not be a problem, but we feel it's in the neighborhoods best interest to have this stated in the plans. The gymnasium will bring extra traffic and individuals into our quiet neighborhood. Our neighborhood was designed to have a middle school not a high school with football games and activities in a gym. Brethren's website states that they are located in a quiet neighborhood. With the additions that they propose, will it still be a quiet neighborhood?



Paul & Pam Bertsch
21121 Cocobana Lane
Huntington Beach, CA 92646
714 968 1033

ATTACHMENT NO. 7.5

February 11th, 2009

Rami Talleh
Senior Planner
City of Huntington Beach
Planning Department
2000 Main Street
Huntington Beach, CA 92646

FEB 12 2009

Dear Mr. Talleh:

Re: Public Notice concerning Brethern Christian School – **Negative Declaration**

I refer to the Public Notice I have received with regard to the planned School Gymnasium at Brethern Christian School. As a resident of the tract in which the school is located I am writing to express my concerns about this project. I have no doubt that it will impact this neighborhood in several negative ways.

The situation with BCS is already barely tolerable. The streets in our neighborhood are inundated with traffic at the start and at the end of each school day. Speeding cars, huge SUV after huge SUV and inattentive drivers talking on hand-held cell phones (despite the ban) are already presenting challenges for those of us who live here. On those days when sporting events are held at the school it's decidedly worse. Our streets are jammed with parked cars, SUVs and trucks. People take short cuts through our front yards, plants and shrubs en route to the playing field. They litter our sidewalks, block our driveways, allow their pets to urinate and defecate on our lawns, etc. Adding "*ancillary events catering to the surrounding community, churches and youth programs during school hours in addition to some weekend and nighttime events*" will most certainly exacerbate all of these problems. Apart from providing residents (in what used to be a "*quiet residential neighborhood*") with a toxic mix of noise, pollution and structures which do not fit the locale, it will present an even more dangerous traffic situation than that which prevails today in this neighborhood. There is simply no room here for more cars and buses and the plan as it stands makes inadequate accommodation for any more. We do not want any more heavy traffic, engine-revving, horn-honking and people yelling their goodbyes at the tops of their voices in this neighborhood at 9.30 pm or 10pm after the fun and games have ended. Many of us adults and most children are in bed trying to sleep at that time of night. Nor do we want any more of the same on Sunday afternoons.

Furthermore, the prospect of having a 34 foot-tall, 27,000 square foot building with roll-up doors and large signage in this location is simply not compatible with the existing low profile tract homes in this neighborhood. It will be an eyesore...a monstrosity...completely incongruous in the landscape. Homeowners on Strathmoor Lane are already having problems with the school's extremely bright spotlights which illuminate their second stories at night. As if that wasn't enough, they now face the prospect of having a building as big as an aircraft hanger built in full view of their front door and windows. The effect that will have on their property values is alarming and we are well aware that falling values in one part of a neighborhood invariably ricochet around the entire neighborhood.

ATTACHMENT NO. 7-6

Finally, we are already kept awake night after night during the summer by Huntington Beach Police helicopters buzzing the local area and the Southern California Edison easement which borders the BSC grounds. Youngsters find it a convenient place to party and we need less youngsters partying in our neighborhood, not more. The events planned for this gymnasium will doubtless bring many more of them around. Much as it would be nice to think that they will all leave the tract as soon as the games end, they won't. A small but loud minority will hang around afterwards and cause problems. The plan does not provide for policing of the events to make sure that attendees arrive and depart in a quiet and orderly fashion and that they don't damage our property or cause us problems. Who will provide such policing and who will pay for it? Will BSC assume responsibility and provide compensation for damages resulting from the activities held at the gymnasium?

I'm sorry to have to advise that I have personally experienced both rude and dangerous behavior on the part of people attending sporting events at BSC. As I mentioned previously the school's impact on our neighborhood is already only barely tolerable. I could continue *ad infinitum* to list my additional concerns but, suffice to say in conclusion, the proposed plan will have nothing but negative consequences for the residents of this neighborhood. It will compromise our quality of life, our safety and our property values and for the vast majority of us it will provide no advantage whatsoever.

Sincerely,



Louis D. Nealon
21211 Lockhaven Circle
Huntington Beach, CA 92646

Talleh, Rami

From: The Beuerleins [bermlines@verizon.net]
Sent: Thursday, February 12, 2009 9:05 PM
To: Talleh, Rami
Subject: Brethren Christian School Gymnasium Project

Rami Talleh:

We received the Public Notice regarding the project listed above. With the intended expansion and the addition of activities resulting in more traffic, we believe this proposal will definitely have a negative impact on our neighborhood. In particular, we are concerned about the safety of our children who occasionally play in or around our street (i.e. bikes, skateboards, basketball, etc.).

Due to the excessive speed and traffic of the current drivers to and from Brethren Christian School, we feel that speed bumps are currently needed on Effingham Drive. The gymnasium project will generate an exponential increase in neighborhood traffic. At the very least, the City of Huntington Beach should put speed bumps on Effingham Drive, and possibly Strathmoor, to reduce the City's liability exposure and to protect our children's safety.

Please include this document in your packet for the public hearing in early March. We look forward to a reply from the City on this matter.

Thank you!

Michael & Stephanie Beuerlein
9842 Effingham Drive
Huntington Beach, CA 92646

2/13/2009

ATTACHMENT NO. 78

City of Huntington Beach

FEB 17 2009

February 17, 2009

Rami Talleh, Senior Planner
City of Huntington Beach
2000 Main Street
Huntington Beach, CA. 92648

**RE: ENVIRONMENTAL ASSESSMENT NO. 2008-018
BRETHREN CHRISTIAN SCHOOL GYMNASIUM**

Dear Mr. Talleh:

We are writing a response to the Draft Negative Declaration for the School Gymnasium project that is currently under review. We have several concerns with the proposed project and the impact it may have on our surrounding community that are not reflected by the Planning Departments analysis of the project. Our specific concerns address increased traffic, neighborhood security, and increase in noise. In addition, we are concerned with the expansion of high school activities on an existing middle school site.

Traffic

Currently, the traffic in the morning and afternoon use Strathmoor and Effingham as the ingress and egress to the school site. During the morning the traffic is quite heavy as well as the afternoon. While there is an impact, it has been tolerable.

The concern arises over the increase of "ancillary events catering to the surrounding community, churches ... in addition to some weekend and nighttime events." Further, the existing sports program will be expanded to games on week nights in addition to the Friday night football games. These events will far increase the amount of traffic that currently enters and exits in the morning and afternoon. Not only will the school community be driving to the evening events, outside groups and other private school supporters will be doing so also. An example of this problem can be seen with the addition of Friday night football games. The amount of cars and patrons to the events far outnumber the available parking and capacity for the site. Cars can be observed parking on the adjacent streets over a block away due to lack of on-site parking. While the event may be a two hour event, the traffic begins forty-five minutes before and after the scheduled event. In addition, local school sites should serve their immediate neighborhood it serves.

Security

With the additional events and activities proposed as a result of the construction of gymnasium, comes additional security issues the community may face. While the school has control over the students and parents within their jurisdiction, they have limited, if any, control over the groups coming into the area for scheduled games and events. We are unaware of any plans as to how the school will address this issue and control the visitors to the site.

ATTACHMENT NO. 7A

Noise

Living near a school one expects to hear noise from the school due to physical education, bells, field days and activities. However, this project is the beginning of expanding an existing middle school site to one that accommodates high school students with an increase of activities. With the additional activities comes increased noise, not only in the day, but expanding into the evening. In the proposal it states that activities such as band and choir practice and drama rehearsals will be relocated from unenclosed areas. The middle school does have two enclosed area with existing stages. One area can hold several hundred people and was used as a large multi-purpose room and a smaller room that holds over 60 to seventy people. When the middle school was open, the enrollment reached over 900 students and they were able to provide appropriate space for the various programs. There should be ample space to support the existing programs in the current facility.

Middle School Site

While we can appreciate the administration of the Brethren School and their Board's effort to expand the facilities to provide an education for the students that attend the private school, we are concerned with the site's capability to meet their needs. The school is nestled in the center of existing homes and was once a neighborhood middle school. It now is being expanded to address the needs of both middle school and high school age students. We believe this creates a problem as the site will not be conducive to such an expansion.

According to the Guide to School Site Analysis and Development, "requirements in this guide can serve to assist in the program modifications necessary to make the best use of a reduced site size in areas where land is scarce and costly."

Site requirements for grades nine through twelve

Area Use	Enrollment up to 400 Usable Acres Required	Enrollment 401 to 600 Usable Acres Required	Enrollment 601 to 800 Usable Acres Required	Enrollment 801 to 1000 Usable Acres Required	Enrollment 1001 to 1200 Usable Acres Required
Physical Education	13.8	15.6	17.6	19.5	19.8
Buildings and Grounds	3.3	4.0	5.1	6.3	7.6
Parking and Roads	2.1	3.6	4.4	5.2	6.1
Total acres without CSR	19.2	23.2	27.1	31.0	33.5

Guide to School Site Analysis and Development, 2000 edition, California Department of Education, Sacramento, Ca.

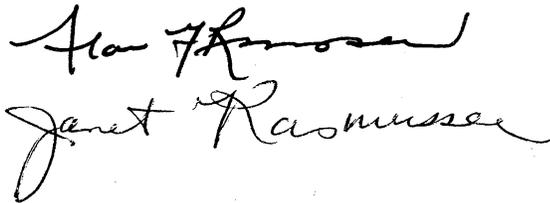
Rami Talleh, Senior Planner
February 17, 2009
Page three

As stated earlier, the existing site should be sufficient to house their programs. The only justification to add a large facility to the site would be to expand the programs that would generate greater appeal in attracting students to enroll in the school.

More time and community input is necessary to determine if this expansion project is necessary and even feasible. As can be seen on the above chart, the acreage necessary for this school should be between 19 and 23 acres.

Based upon the foregoing information, we believe that the project is ill advised and should not be approved as presented. Further discussion and review of their long-term plans need to be presented and addressed with the community for further understanding. Until then we must oppose the proposed building project as it negatively impacts the surrounding residents. The increase in traffic, the noise, the issue of security and the site capacity are major concerns and issues that must be addressed and resolved.

Sincerely,

The image shows two handwritten signatures in black ink. The top signature is "Alan Rasmussen" and the bottom signature is "Janet Rasmussen". Both are written in a cursive, flowing style.

Alan Rasmussen, Ed.D.
Janet Rasmussen
21061 Amberwick Ln
Huntington Beach, CA. 92646

February 6, 2009

Rami Talleh
Senior Planner
City of Huntington Beach
Planning Department
2000 Main Street
Huntington Beach, Ca. 92648

Re: Public Notice
Brethren Christian School Gymnasium Project
Negative Declaration

Dear Mr. Talleh:

We received the Public Notice regarding the above.

In our review of the Draft Negative Declaration for the School Gymnasium Project, we find it interesting that with the Planning Department's review of the entire project description that you have concluded that there will be "No Significant Impact" or "No Impact" to our community.

The proposed building is 100% inconsistent with what exists in our City. There are no other schools located in an interior residential neighborhood that have lighted fields and high profile buildings.

We have a number of concerns, most of them shown in the following sections:

VI. Transportation and Traffic

The Public Notice identifies there will be "ancillary events catering to the surrounding community, churches and youth programs during school hours in addition to some weekend and nighttime events.

Because we currently deal with a number of traffic and speeding issues with the current school traffic and activities, in all probability, adding more events, extending hours, and adding more traffic will definitely be an issue for our neighborhood. Additionally, because of the absence of any statement in the documents, we're concerned this could possibly mean year round activities.

With the added visitors and activities, you do not show any impact on the parking issue. Where will the added buses and visitor's vehicles park? Granted, the school proposes to add five additional spaces as they reconfigure the parking areas, but at this time, a number of staff and/or students don't park on-site. They park on the residential streets and the park's spaces. During the football season, we even had overflow parking on our street, one block away. And how do they intend to inform visitors that we have many young families in this residential community and to drive the speed limit coming and going to the site. How can this be patrolled? Are the residents going to be at more risk with these added vehicles?

X. Noise

It's indicated that an indoor facility, i.e., the gym, will reduce noise. Noise during the school hours really isn't a current issue. However, the outdoor night games can be quite loud, as any sporting event is. And it's unlikely that the completion of the football games, and the departure of the vehicles, will end by 9:30 p.m. So, there is an impact on us.

XI. Public Services

Given the proposed gymnasium will back to the Southern California Edison easement – the park – is it possible it might attract unwanted activity? We have occasional issues during the summer prompting the helicopter to fly over. With the building being a buffer from the street area this may increase. We do think it could have an impact on the neighborhood.

XIII. Aesthetics

Your review doesn't identify lighting as an issue, nor that a 34 ft. high, 27,000 sq.ft. building is incompatible with the existing neighborhood. Also, the drawings show, but there's no written comment, there will be large signage on the east side of the building, along with two oversized roll-up doors; this is what will be seen as you enter from Brookhurst west on Effingham; the signage on the north side won't be as large, but still appears larger than current lettering, and will be seen as you go south on Strathmoor from Atlanta.

The school indicates they will have portable lights for the football games. They have told us night use of the 70 ft. lights are for ASOP. However, they are also used by the school for night games. This past season, the lights have appeared much brighter than years past. They may have changed the wattage. The school had indicated to us they would try to adjust them as we have them shining into some of our second story windows, as well as impairing vision when driving west on Effingham.

Based on the Conditional Use Permit No. 98-27, "all outside lighting shall be directed to prevent "spillage" onto adjacent properties".

The Aesthetics section does have an impact on us.

Where it's our belief that the school has all good intentions to remain a good neighbor, we wonder why there wasn't more thought in meeting with the residents prior to having architectural plans completed and moving forward with such an expansion. In attracting new students to their school on their website, they indicate "Located in a quiet Huntington Beach residential neighborhood less than two miles from the beach.". This is why we live in this neighborhood and want to remain as such.

With the intended expansion and the addition of activities resulting in more traffic, we believe this proposal will definitely have a negative impact on our community, to include safety issues, as well as possibly affecting property values.

The gymnasium is oversized and does not fit with the current low-profile buildings or neighborhood and is inconsistent with other interior neighborhood schools' land use.

Sincerely,



Terry L. and Sharon L. Crowther
21191 Richmond Circle
Huntington Beach, Ca. 92646
714-93-0312
trcrowther@earthlink.net

cc: City Council, City of Huntington Beach

February 7, 2009

FEB 12 2009

Dear Neighbor:

Last week we received a Public Notice from the City of Huntington Beach Planning Department for a Negative Declaration for the Brethren Christian School Gymnasium Project.

After looking at the draft, we sent the attached letter to the Planning Department.

Because the proposed expansion and added activities change the entire profile of the school, we urge you to review the information. As stated in our letter, we feel there could be a negative impact on our community should this proposal be approved.

Should you agree with our concerns, it would be great if you could send your comments to the Planning Department as well. If you'd prefer, you could sign agreement of our letter, forwarding it to the Planner.

All comments must be to the Planner by 5:00 p.m., Tuesday, February 17, 2009, with a public hearing tentatively scheduled for early March, which we should all attend.

Hoping you agree that we need to maintain the integrity of our neighborhood.

TERRY & SHARON

Terry and Sharon Crowther
21191 Richmond Circle
Huntington Beach, Ca. 92646 714-963-0312

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

Agreement of attached letter: Date: 2/10/2009

Name: MICHAEL WALKER

Signature: *[Signature]*

Address: 21202 AMBERWICK LN
HUNT BCH CA 92646

February 7, 2009

FEB 12 2009

Dear Neighbor:

Last week we received a Public Notice from the City of Huntington Beach Planning Department for a Negative Declaration for the Brethren Christian School Gymnasium Project.

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Hoping you agree that we need to maintain the integrity of our neighborhood.

TERRY & SHARON

Terry and Sharon Crowther
21191 Richmond Circle
Huntington Beach, Ca. 92646 714-963-0312

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

Agreement of attached letter: Date: Feb. 11, 2009

Name: RAMRIZ KIANI + MAHI KIANI

Signature: Kamly Kiani M. Dehghan Kiani

Address: 9706 Blueberry DR. H.B. 92646

ATTACHMENT NO. 7.15

City of Huntington Beach
FEB 12 2009

February 7, 2009

Dear Neighbor:

Last week we received a Public Notice from the City of Huntington Beach Planning Department for a Negative Declaration for the Brethren Christian School Gymnasium Project.

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Because the proposed expansion and added activities change the entire profile of the school, we urge you to review the information. As stated in our letter, we feel there could be a negative impact on our community should this proposal be approved.

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Hoping you agree that we need to maintain the integrity of our neighborhood.

Terry & Sharon

Terry and Sharon Crowther
21191 Richmond Circle
Huntington Beach, Ca. 92646 714-963-0312

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

Agreement of attached letter: Date: 2-10-09

Name: Bruce W. Brown

Signature: *[Signature]*

Address: 21111 Indigo Circle
Hunt, Bch, CA 92646

I am adamantly against the school proposal. The noise is already intolerable. It should all be (activities) moved to the new Sports Complex at the H.Bch Library location. *Bruce Brown*

ATTACHMENT NO. 4.16

FEB 12 2009

February 7, 2009

Dear Neighbor:

Last week we received a Public Notice from the City of Huntington Beach Planning Department for a Negative Declaration for the Brethren Christian School Gymnasium Project.

After looking at the draft, we sent the attached letter to the Planning Department.

Because the proposed expansion and added activities change the entire profile of the school, we urge you to review the information. As stated in our letter, we feel there could be a negative impact on our community should this proposal be approved.

Should you agree with our concerns, it would be great if you could send your comments to the Planning Department as well. If you'd prefer, you could sign agreement of our letter, forwarding it to the Planner.

All comments must be to the Planner by 5:00 p.m., Tuesday, February 17, 2009, with a public hearing tentatively scheduled for early March, which we should all attend.

Hoping you agree that we need to maintain the integrity of our neighborhood.

Terry & Sharon

Terry and Sharon Crowther
21191 Richmond Circle
Huntington Beach, Ca. 92646 714-963-0312

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

Agreement of attached letter: Date: 2-11-09
Name: Randy + Nancy Mader
Signature: Nancy Mader
Address: 21851 Lockhaven circle

ATTACHMENT NO. 7.17

February 7, 2009

FEB 12 2009

Dear Neighbor:

Last week we received a Public Notice from the City of Huntington Beach Planning Department for a Negative Declaration for the Brethren Christian School Gymnasium Project.

After looking at the draft, we sent the attached letter to the Planning Department.

Because the proposed expansion and added activities change the entire profile of the school, we urge you to review the information. As stated in our letter, we feel there could be a negative impact on our community should this proposal be approved.

Should you agree with our concerns, it would be great if you could send your comments to the Planning Department as well. If you'd prefer, you could sign agreement of our letter, forwarding it to the Planner.

All comments must be to the Planner by 5:00 p.m., Tuesday, February 17, 2009, with a public hearing tentatively scheduled for early March, which we should all attend.

Hoping you agree that we need to maintain the integrity of our neighborhood.

Terry & Sharon

Terry and Sharon Crowther
21191 Richmond Circle
Huntington Beach, Ca. 92646 714-963-0312

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

Agreement of attached letter: Date: Feb. 10, 2009
Name: NANCY GOODFELLOW
Signature: Nancy M Goodfellow
Address: 21132 Strathmoor Ln.

City of Huntington Beach

FEB 12 2009

February 7, 2009

Dear Neighbor:

Last week we received a Public Notice from the City of Huntington Beach Planning Department for a Negative Declaration for the Brethren Christian School Gymnasium Project.

After looking at the draft, we sent the attached letter to the Planning Department.

Because the proposed expansion and added activities change the entire profile of the school, we urge you to review the information. As stated in our letter, we feel there could be a negative impact on our community should this proposal be approved.

Should you agree with our concerns, it would be great if you could send your comments to the Planning Department as well. If you'd prefer, you could sign agreement of our letter, forwarding it to the Planner.

All comments must be to the Planner by 5:00 p.m., Tuesday, February 17, 2009, with a public hearing tentatively scheduled for early March, which we should all attend.

Hoping you agree that we need to maintain the integrity of our neighborhood.

TERRY & SHARON

Terry and Sharon Crowther
21191 Richmond Circle
Huntington Beach, Ca. 92646 714-963-0312

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

Agreement of attached letter: Date: Feb. 10, 2009
Name: CHI YU HU
Signature: *Chi Yu Hu*
Address: 21091 Inferno Ln. H.B. 92646

ATTACHMENT NO. 7.19

FEB 10 2009

February 7, 2009

Dear Neighbor:

Last week we received a Public Notice from the City of Huntington Beach Planning Department for a Negative Declaration for the Brethren Christian School Gymnasium Project.

After looking at the draft, we sent the attached letter to the Planning Department.

Because the proposed expansion and added activities change the entire profile of the school, we urge you to review the information. As stated in our letter, we feel there could be a negative impact on our community should this proposal be approved.

Should you agree with our concerns, it would be great if you could send your comments to the Planning Department as well. If you'd prefer, you could sign agreement of our letter, forwarding it to the Planner.

All comments must be to the Planner by 5:00 p.m., Tuesday, February 17, 2009, with a public hearing tentatively scheduled for early March, which we should all attend.

Hoping you agree that we need to maintain the integrity of our neighborhood.

TERRY & SHARON

Terry and Sharon Crowther
21191 Richmond Circle
Huntington Beach, Ca. 92646 714-963-0312

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

Agreement of attached letter: Date: 2/08/2009

Name: Edgar & Christina Frias

Signature: [Handwritten Signature]

Address: 21142 Richmond Cir, HB, CA 92646

February 7, 2009

Dear Neighbor:

Last week we received a Public Notice from the City of Huntington Beach Planning Department for a Negative Declaration for the Brethren Christian School Gymnasium Project.

After looking at the draft, we sent the attached letter to the Planning Department.

Because the proposed expansion and added activities change the entire profile of the school, we urge you to review the information. As stated in our letter, we feel there could be a negative impact on our community should this proposal be approved.

Should you agree with our concerns, it would be great if you could send your comments to the Planning Department as well. If you'd prefer, you could sign agreement of our letter, forwarding it to the Planner.

All comments must be to the Planner by 5:00 p.m., Tuesday, February 17, 2009, with a public hearing tentatively scheduled for early March, which we should all attend.

Hoping you agree that we need to maintain the integrity of our neighborhood.

TERRY + SHARON

Terry and Sharon Crowther
21191 Richmond Circle
Huntington Beach, Ca. 92646 714-963-0312

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

FAX 714-374-1540

3 PAGES

Agreement of attached letter: Date: FEB. 9, 2009

Name: DON D. JENNINGS

Signature: *Don Jennings*

Address: 21091 STRATHMOOR LN, H.B. 92646

ATTACHMENT NO. 7.21

February 7, 2009

Dear Neighbor:

Last week we received a Public Notice from the City of Huntington Beach Planning Department for a Negative Declaration for the Brethren Christian School Gymnasium Project.

After looking at the draft, we sent the attached letter to the Planning Department.

Because the proposed expansion and added activities change the entire profile of the school, we urge you to review the information. As stated in our letter, we feel there could be a negative impact on our community should this proposal be approved.

Should you agree with our concerns, it would be great if you could send your comments to the Planning Department as well. If you'd prefer, you could sign agreement of our letter, forwarding it to the Planner.

All comments must be to the Planner by 5:00 p.m., Tuesday, February 17, 2009, with a public hearing tentatively scheduled for early March, which we should all attend.

Hoping you agree that we need to maintain the integrity of our neighborhood.

TERRY + SHARON

Terry and Sharon Crowther
21191 Richmond Circle
Huntington Beach, Ca. 92646 714-963-0312

To: Rami Talleh, Senior Planner
 Senior Planner
 City of Huntington Beach
 Planning Department

FAX 714-374-1540
 3 PAGES

Agreement of attached letter: Date: 2.11.09

Name: EVERLYN + JOSEPH STANES

Signature: *Joseph Stanes*

Address: 9801 ORIENT DR. H.B. 92648

City of Huntington Beach

FEB 13 2009

February 7, 2009

Dear Neighbor:

Last week we received a Public Notice from the City of Huntington Beach Planning Department for a Negative Declaration for the Brethren Christian School Gymnasium Project.

After looking at the draft, we sent the attached letter to the Planning Department.

Because the proposed expansion and added activities change the entire profile of the school, we urge you to review the information. As stated in our letter, we feel there could be a negative impact on our community should this proposal be approved.

Should you agree with our concerns, it would be great if you could send your comments to the Planning Department as well. If you'd prefer, you could sign agreement of our letter, forwarding it to the Planner.

All comments must be to the Planner by 5:00 p.m., Tuesday, February 17, 2009, with a public hearing tentatively scheduled for early March, which we should all attend.

Hoping you agree that we need to maintain the integrity of our neighborhood.



Terry and Sharon Crowther
21191 Richmond Circle
Huntington Beach, Ca. 92646 714-963-0312

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

Agreement of attached letter: Date: FEB. 10, 2009
Name: STEVE HODGMAN
Signature: 
Address: 21201 AMBERLWICK LN. H.B.

City of Huntington Beach

February 7, 2009

FEB 13 2009

Dear Neighbor:

Last week we received a Public Notice from the City of Huntington Beach Planning Department for a Negative Declaration for the Brethren Christian School Gymnasium Project.

After looking at the draft, we sent the attached letter to the Planning Department.

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Should you agree with our concerns, it would be great if you could send your comments to the Planning Department as well. If you'd prefer, you could sign agreement of our letter, forwarding it to the Planner.

All comments must be to the Planner by 5:00 p.m., Tuesday, February 17, 2009, with a public hearing tentatively scheduled for early March, which we should all attend.

Hoping you agree that we need to maintain the integrity of our neighborhood.

TERRY & SHARON

Terry and Sharon Crowther
21191 Richmond Circle
Huntington Beach, Ca. 92646 714-963-0312

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

Agreement of attached letter: Date: 11 FEB 2009
Name: HANS AND IDA GRAAFMANS
Signature: *[Signature]*
Address: 21112
INFERNOLN H.B. 92646

Ida Graafmans

ATTACHMENT NO. 7.24

FEB 13 2009

February 7, 2009

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Terry & Sharon

Terry and Sharon Crowther
21191 Richmond Circle
Huntington Beach, Ca. 92646 714-963-0312

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

Agreement of attached letter: Date: 10 FEBRUARY 2009
Name: PETER AND PATTY MURRAY
Signature: *Patty Murray*
Address: 9882 EFFINGHAM DR. H.B.

714 968 2689

FEB 13 2009

February 7, 2009

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Terry and Sharon Crowther
21191 Richmond Circle
Huntington Beach, Ca. 92646 714-963-0312

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

Agreement of attached letter: Date: 2-12-09
Name: Albert W. Dittmar
Signature: Albert W. Dittmar
Address: 21201 Binghampton Cr.
Hunt. Beach, Ca. 92646

City of Huntington Beach

February 7, 2009

FEB 13 2009

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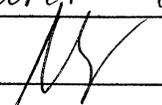


Terry and Sharon Crowther
21191 Richmond Circle
Huntington Beach, Ca. 92646 714-963-0312

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

Agreement of attached letter: Date: 2-11-09

Name: Margaret Chang

Signature: 

Address: 21052 Amberwick Ln, Huntington Beach, CA 92646

ATTACHMENT NO. 7.27

City of Huntington Beach

February 7, 2009

FEB 13 2009

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Terry and Sharon Crowther
21191 Richmond Circle
Huntington Beach, Ca. 92646 714-963-0312

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

Agreement of attached letter: Date: 2-11-09

Name: Paul SKINNER

Signature: *PS*

Address: 9902 CORNER BROOK DR.

H.B. CA. 92646 714-968-8369

ATTACHMENT NO. 7.28

February 7, 2009

City of Huntington Beach
FEB 13 2009

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Terry & Sharon

Terry and Sharon Crowther
21191 Richmond Circle
Huntington Beach, Ca. 92646 714-963-0312

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

Agreement of attached letter: Date: FEBRUARY 11, 2009
Name: HOWARD E. KRAUSE
Signature: Howard E. Krause
Address: 21042 Red Jacket Circle
HUNTINGTON BEACH,
CALIF. 92646-6444

ATTACHMENT NO. 7.29

February 7, 2009

City of Huntington Beach
FEB 18 2009

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Terry and Sharon Crowther
21191 Richmond Circle
Huntington Beach, Ca. 92646 714-963-0312

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

Agreement of attached letter: Date: 2-13-09

Name: GENE R. SAUNDERS

Signature: Gene R. Saunders

Address: 21092 COCOBANA LANE HUNT. BCH, CA
92646

February 7, 2009

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Terry and Sharon Crowther
21191 Richmond Circle
Huntington Beach, Ca. 92646 714-963-0312

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

Agreement of attached letter: Date: 2-14-09

Name: ROBBIE SAUNDERS

Signature: Robbie Saunders

Address: 21092 Cocobana Lane
HB, Ca. 92646

ATTACHMENT NO. 7.31

February 7, 2009

Dear Neighbor:

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TERRY & SHARON

Terry and Sharon Crowther
21191 Richmond Circle
Huntington Beach, Ca. 92646 714-963-0312

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

Agreement of attached letter: Date: FEB 12, 2009
Name: BETTY & JENNIFER PERCIVAL
Signature: *Betty Percival* *J. J. Percival*
Address: 21022 SPATHMOOR LANE

City of Huntington Beach

FEB 17 2009

February 7, 2009

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Terry and Sharon Crowther
21191 Richmond Circle
Huntington Beach, Ca. 92646 714-963-0312

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

Agreement of attached letter: Date: 2/15/09

Name: Leslie Rudolph

Signature: Leslie Rudolph

Address: 9531 Panacea Dr, HB 92646

ATTACHMENT NO. 7.33

City of Huntington Beach

FEB 17 2009

February 7, 2009

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Terry and Sharon Crowther
21191 Richmond Circle
Huntington Beach, Ca. 92646 714-963-0312

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

Agreement of attached letter: Date: 2/12/09
Name: Marc and Kate Demers
Signature: Kate Demers
Address: 9882 Cornerbrook Drive

ATTACHMENT NO. 7.34

City of Huntington Beach

FEB 18 2009

February 7, 2009

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Huntington Beach, Ca. 92646 714-963-0312

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

Agreement of attached letter: Date: FEB 10, 2009
Name: R E MCHENRY
Signature: *R E MCHENRY*
Address: 21101 INFERNAL LN

Huntington Beach 92646

ATTACHMENT NO. 7.35

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

City of Huntington Beach

FEB 17 2009

Agreement of attached letter: Date: 2/17/09

Name: Charles & Alison Goldenberg

Signature: Charles & Alison Goldenberg

Address: 21161 Lockhaven Cir, HB 92646

I can't see how this would not severely change the traffic, noise, etc in our neighborhood - it will be a disaster - all the high schools w/ big gyms & community activities are not within tracts — Please don't ruin our neighborhood

ATTACHMENT NO. 7.36

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

Response to Crowther 2-7-09
letter

Agreement of attached letter: Date: 2-12-2009

Name: [Signature]

Signature: M JEAN BAILEY

Address: 1042 STRATHMOOR Ln.
H Beh CA 92646

Am already so
tired of teens &
Moms speeding
down my street!

City of Huntington Beach
FEB 17 2009

No Gym — Home values
have already decreased too
much!

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

Agreement of attached letter: Date: 2/13/09

Name: Maria Nicolau

Signature: Maria Nicolau

Address: 21202 Lockhaven Circle, Huntington Beach, CA 92646

City of Huntington Beach

FEB 17 2009

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

Agreement of attached letter: **Date:** 2/11/09
Name: Mary BENEDICT HILLIARD
Signature: Mary Benedict Hilliard
Address: 2152 RICHMOND circle
HB 92646

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

Agreement of attached letter: Date: 2/11/09

Name: George Gesch & Barbara Gesch

Signature: GEORGE GESCH & BARBARA GESCH

Address: 21161 AMBERNICK LANE
HUNTINGTON BEACH, CA 92646

ATTACHMENT NO. 7.40

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

City of Huntington Beach

Agreement of attached letter: Date: 2-8-2009 FEB 11 2009

Name: Mark Zombek & Mary Zombek

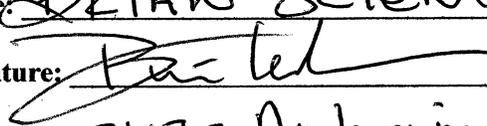
Signature: Mark Zombek & Mary Zombek

Address: 21122 Richmond Cr. Huntington Beach

ATTACHMENT NO. 7.41

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

City of Huntington Beach

Agreement of attached letter: Date: 2-11-09
Name: Brian Seleno
Signature: 
Address: 21172 Amberwick Ln. HB 92646

FEB 13 2009

ATTACHMENT NO. 7.42

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

City of Huntington Beach

FEB 18 2009

Agreement of attached letter: Date: 2-13-09

Name: VICTOR & EDITH DWORAK

Signature: Victor Dworak Edith Dworak

Address: 21161 RICHMOND CIRCLE

ATTACHMENT NO. 7.43

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

City of Huntington Beach
FEB 18 2009

Agreement of attached letter: Date: Feb. 14, 2009
Name: Marvin E. Reynolds
Signature: Marvin E. Reynolds
Address: 21052 Red Jacket Circle H.B. Ca) 92646

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

City of Huntington Beach

Agreement of attached letter: Date: 2-10-09 FEB 18 2009

Name: BRIAN AND PAMELA BAILEY

Signature: *Pamela Bailey & Brian Bailey*

Address: 21102 Indigo Circle, HB

Please don't devalue our sweet quiet neighborhood further by adding even more buildings and traffic.

ATTACHMENT NO. 7.45

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

City of Huntington Beach

City of Huntington Beach

Agreement of attached letter: Date: 2-12-09 FEB 17 2009
Name: Lois N. Whelan
Signature: Lois N. Whelan
Address: 21211 Amberwick Lane
H.B. - 92646

ATTACHMENT NO. 7.46

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

City of Huntington Beach

FEB 17 2009

Agreement of attached letter: Date:

2.12.09

Name:

Deanna Miller

Signature:

Deanna Miller

Address:

21212 Binghampton Cir.
HB. CA 92646

ATTACHMENT NO. 7.47

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

February 10, 2009

City of Huntington Beach

Pamela Tyloch

Agreement of attached letter: Date: Richard Huizenga

FEB 13 2009

Signature: Pamela Tyloch
Name: Pamela Tyloch

Signature: Richard Huizenga

Address: 2141 Richmond Circle
HB, CA 92646

To: **Rami Talleh, Senior Planner**
Senior Planner
City of Huntington Beach
Planning Department

Agreement of attached letter: **Date:**

February 10 - 2008

Name:

Jim & Kay Barone

Signature:

Jim Barone / Kay Barone

Address:

21192 Strathmore Ln.
N.B. CA 92646

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

Based on our location in the neighborhood,
the gymnasium will be our only view out our
kitchen window - we oppose the project.

Agreement of attached letter: Date: 2/11/09

Name: John Kin & Katherine Hanse

Signature: [Handwritten Signature]

Address: 9792 Effinger Drive, HB, CA 92646

City of Huntington Beach

FEB 17 2009

February 7, 2009

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Terry and Sharon Crowther
21191 Richmond Circle
Huntington Beach, Ca. 92646 714-963-0312

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

Agreement of attached letter: Date: 2/13/09

Name: James R. & Theresa Nowling

Signature: JR Nowling - Theresa Nowling

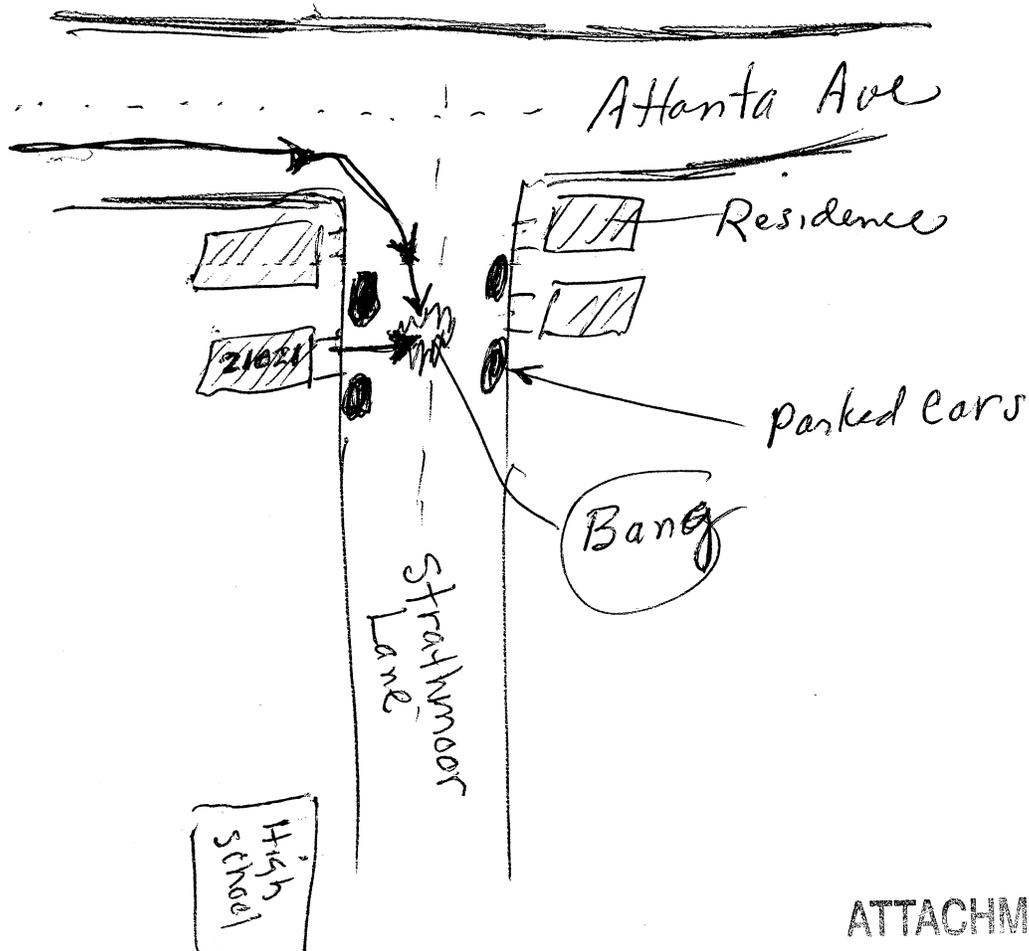
Address: 21021 Strathmoor Lane, HB 92646

Our driveway is 25 yds from Atlanta Ave. Cars on Atlanta sometimes hit 50 MPH (speed limit is 45). Sometimes East bound traffic slows only 15 MPH & then makes the sharp right turn on Strathmoor to reach the high school or soccer fields. Their visibility
(Next page)

ATTACHMENT NO. 151

is restricted by high speed, parked car (or SUV's) & the sharp turn angle. When backing out of our driveway it is very unsafe. Many fender benders have occurred to myself, my wife, friends family & neighbors. Let's restrict traffic & not increase it with more & new facilities in our noisy & dangerous residential area in H.B.

R Nowlin's
(714) 964-1005



FEB 12 2009

February 7, 2009

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Terry and Sharon Crowther
21191 Richmond Circle
Huntington Beach, Ca. 92646 714-963-0312

To: Rami Talleh, Senior Planner
Senior Planner
City of Huntington Beach
Planning Department

Agreement of attached letter: Date: FEB 11, 2009

Name: JOHN & DOTTIE CARDULLO

Signature: [Handwritten Signature]

Address: 21051 BEEKWORTH CR, 92646

PLEASE SEE LAST PAGE

ATTACHMENT NO. 7.53

The Crowthers make some compelling arguments against the Brethren Christian School gymnasium/expansion Project. Are what they state facts? We think there is some validity to their point of view.

What are your positions/answers to their questions?

JOHN CARBUCCO
2-11-09