

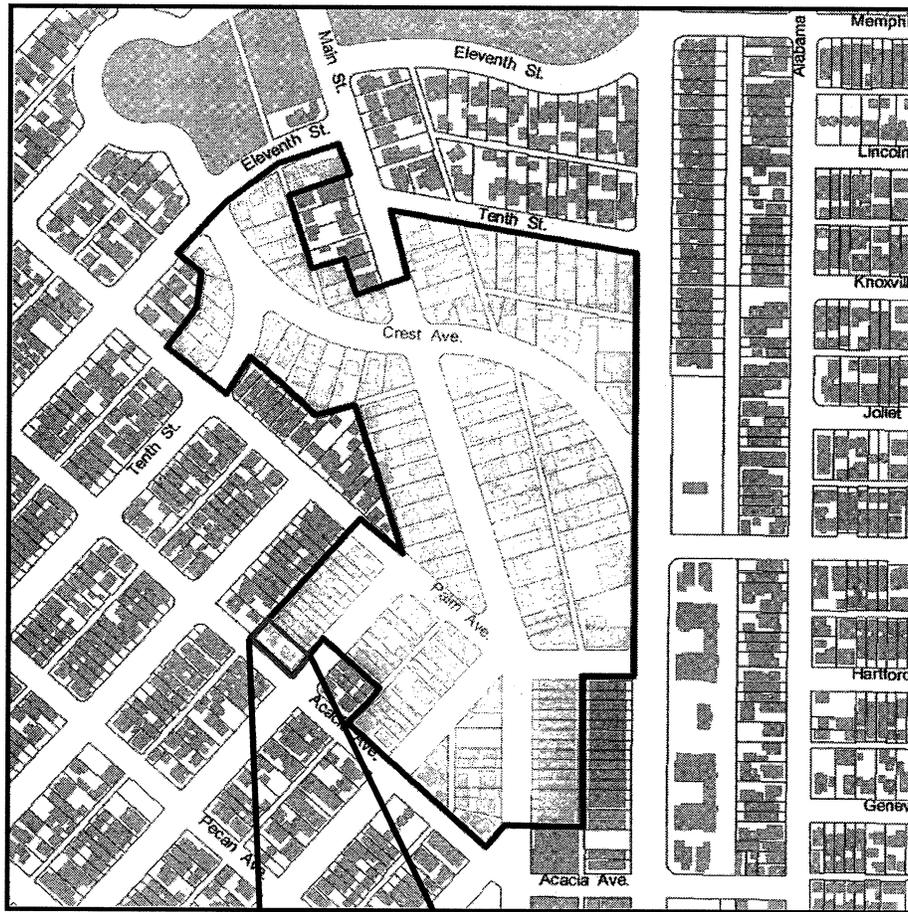
**ENVIRONMENTAL CHECKLIST FORM  
CITY OF HUNTINGTON BEACH  
PLANNING DEPARTMENT  
ENVIRONMENTAL ASSESSMENT NO. 2008-009**

- 1. PROJECT TITLE:** 601 8<sup>th</sup> Street/806 Acacia Street Demolition
- 2. LEAD AGENCY:** City of Huntington Beach  
Department of Planning  
2000 Main Street  
Huntington Beach, CA 92648
- Contact:** Hayden Beckman, Planning Aide  
**Phone:** (714) 374-5317  
**Email:** hbeckman@surfcity-hb.org
- 3. PROJECT LOCATION:** The project site is located on the northwest corner of 8<sup>th</sup> Street and Acacia Street. (Refer to *Figure 1*).
- 4. PROJECT PROPONENT:** Surendra P. Barot  
528 16<sup>th</sup> Street  
Huntington Beach, CA 92648  
(714) 849-1616
- 5. GENERAL PLAN DESIGNATION:** RMH-25-d (Residential Medium High Density – 25 du/acre – Design Overlay)
- 6. ZONING:** RMH-A (Residential Medium High Density – Small Lot Subdistrict)
- 7. PROJECT DESCRIPTION:** The applicant is requesting to demolish two existing single-family dwellings and an accessory structure (Refer to *Figure 2*) located within the Wesley Park Section, a potentially historic district identified in the Historic and Cultural Resources Element of the City of Huntington Beach General Plan.

*Concurrent Entitlements (Discretionary Approvals) Required: None*

8. **SURROUNDING LAND USES AND SETTING:** Existing land uses surrounding the project site have similar Zoning and General Plan Land Use designations and are currently developed with single and multi-family uses.
9. **OTHER PREVIOUS RELATED ENVIRONMENTAL DOCUMENTATION:** **None**
10. **OTHER AGENCIES WHOSE APPROVAL IS REQUIRED (AND PERMITS NEEDED)** (i.e., permits, financing approval, or participating agreement): **None**

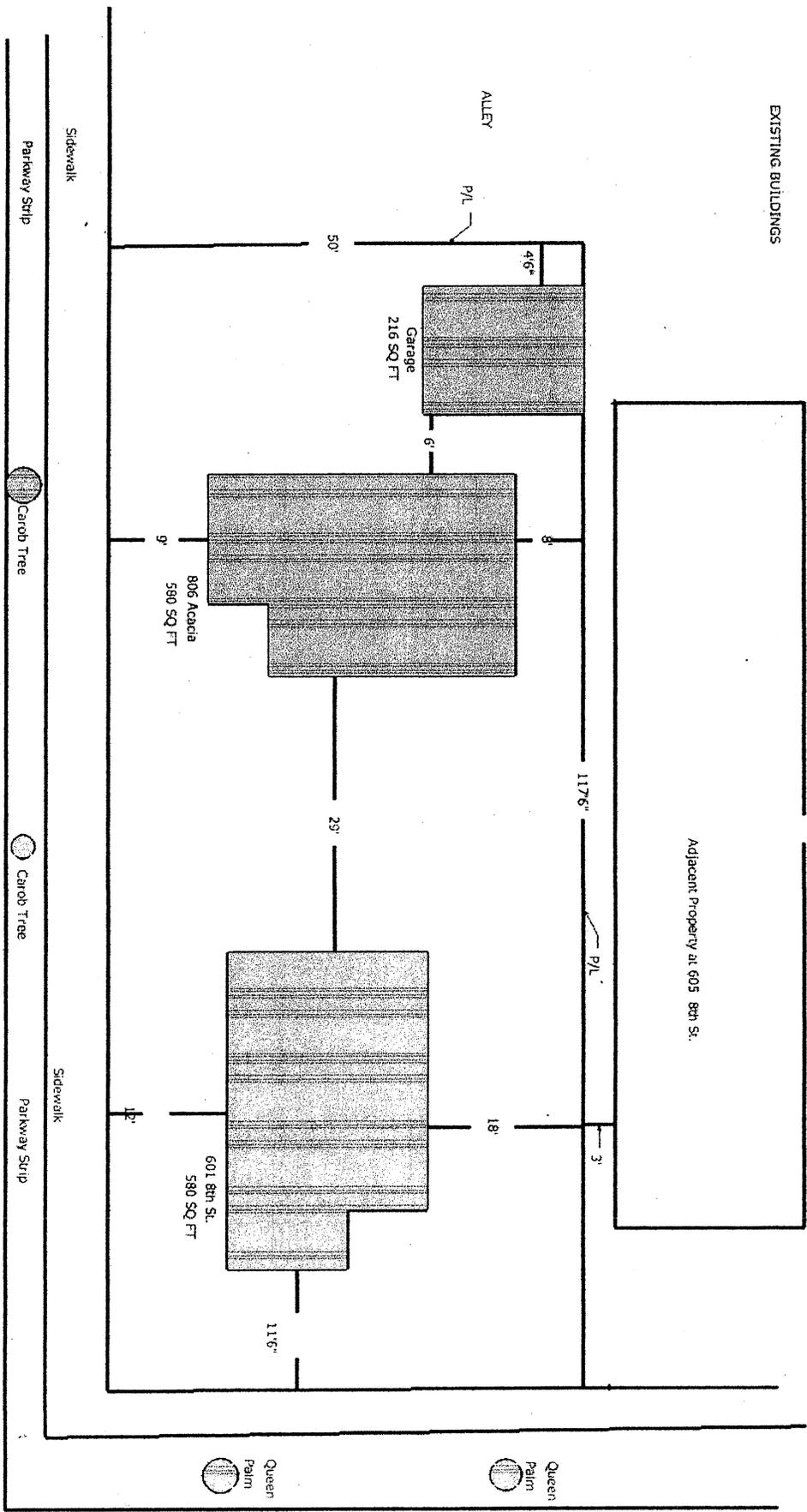
# Wesley Park Section



**SUBJECT SITE**



**Figure 1  
Vicinity Map**



EIGHTH STREET

Figure 2  
Site Plan

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or is "Potentially Significant Unless Mitigated," as indicated by the checklist on the following pages.

- Land Use / Planning                       Transportation / Traffic                       Public Services
- Population / Housing                       Biological Resources                       Utilities / Service Systems
- Geology / Soils                               Mineral Resources                       Aesthetics
- Hydrology / Water Quality               Hazards and Hazardous Materials       Cultural Resources
- Air Quality                                       Noise     Recreation
- Agriculture Resources                       Mandatory Findings of Significance

**DETERMINATION:**

(To be completed by the Lead Agency)

On the basis of this initial evaluation:

I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.

I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described on an attached sheet have been added to the project. A **MITIGATED NEGATIVE DECLARATION** will be prepared.

I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.

I find that the proposed project **MAY** have a "potentially significant impact" or a "potentially significant unless mitigated impact" on the environment, but at least one impact (1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and (2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An **ENVIRONMENTAL IMPACT REPORT** is required, but it must analyze only the effects that remain to be addressed.

I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or **NEGATIVE DECLARATION** pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or **NEGATIVE DECLARATION**, including revisions or mitigation measures that are imposed upon the proposed project, **nothing further is required.**

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Title

**EVALUATION OF ENVIRONMENTAL IMPACTS:**

1. A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to the project. A “No Impact” answer should be explained where it is based on project-specific factors as well as general standards.
2. All answers must take account of the whole action involved. Answers should address off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
3. “Potentially Significant Impact” is appropriate, if an effect is significant or potentially significant, or if the lead agency lacks information to make a finding of insignificance. If there are one or more “Potentially Significant Impact” entries when the determination is made, preparation of an Environmental Impact Report is warranted.
4. “Potentially Significant Impact Unless Mitigated” applies where the incorporation of mitigation measures has reduced an effect from “Potentially Significant Impact” to a “Less than Significant Impact.” The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from Section XVIII, “Earlier Analyses,” may be cross-referenced).
5. Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063(c)(3)(D). Earlier analyses are discussed in Section XVIII at the end of the checklist.
6. References to information sources for potential impacts (e.g., general plans, zoning ordinances) have been incorporated into the checklist. A source list has been provided in Section XVIII. Other sources used or individuals contacted have been cited in the respective discussions.
7. The following checklist has been formatted after Appendix G of Chapter 3, Title 14, California Code of Regulations, but has been augmented to reflect the City of Huntington Beach’s requirements.

(Note: Standard Conditions of Approval - The City imposes standard conditions of approval on projects which are considered to be components of or modifications to the project, some of these standard conditions also result in reducing or minimizing environmental impacts to a level of insignificance. However, because they are considered part of the project, they have not been identified as mitigation measures.)

***SAMPLE QUESTION:***

<i>ISSUES (and Supporting Information Sources):</i>	<i>Potentially Significant Impact</i>	<i>Potentially Significant Unless Mitigation Incorporated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
<i>Would the proposal result in or expose people to potential impacts involving:</i>				
<i>Landslides? (Sources: 1, 6)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<i>Discussion: The attached source list explains that 1 is the Huntington Beach General Plan and 6 is a topographical map of the area which show that the area is located in a flat area. (Note: This response probably would not require further explanation).</i>				

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------------	--	------------------------------------	-----------

**I. LAND USE AND PLANNING. Would the project:**

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect? (Sources: #1, 2, & 3) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

***Discussion:***

The subject property is designated for residential use(s) and development. The proposed demolition will not conflict with any applicable land use plan in the City of Huntington Beach, including the Municipal Code, the Zoning and Subdivision Ordinance and the General Plan (see Section XIV – Cultural Resources). The project site is not located within the Coastal Zone or an area designated as a Specific Plan. No impacts would occur, and no further analysis is required.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Conflict with any applicable habitat conservation plan or natural community conservation plan? (Sources: #1) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

***Discussion:***

No habitat conservation plan or natural community conservation plan is applicable to the project site. No impacts would occur, and no further analysis of this issue is required.

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c) Physically divide an established community? (Sources: Figure 2) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

***Discussion:***

The proposed project will not disrupt or physically divide an established community. The project involves demolition of two existing single-family dwelling units and an accessory structure, and does not consist of construction of any roads or other features that would physically divide a community. No impacts would occur, and no further analysis is required.

**II. POPULATION AND HOUSING. Would the project:**

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Induce substantial population growth in an area, either directly (e.g., by proposing new homes and businesses) or indirectly (e.g., through extensions of roads or other infrastructure)? (Sources: #1 & Figure 2) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

***Discussion:***

The proposed project consists of the demolition of two existing single-family dwellings and, as such, will not induce substantial population growth. No impacts would occur, and no further analysis is required.

- |  |                          |                          |                                     |                          |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere? (Sources: #1 & Figure 2) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------------	--	------------------------------------	-----------

**Discussion:**  
See discussion below.

- |  |                          |                          |                                     |                          |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere? (Sources: #1 & Figure 2) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

**Discussion (b & c):**  
The City has over 77,900 existing dwelling units of which approximately 75,800 are occupied. The proposed demolition will result in the loss of two single-family dwellings, an accessory structure, and displacement of its tenants, if any. The loss of two dwelling units is minor in relation to the existing housing stock and will not result in the need for construction of replacement housing elsewhere in the City. Thus, less than significant impacts will occur.

**III. GEOLOGY AND SOILS.** Would the project:

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:  |                          |                          |                          |                                     |
| i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? (Sources: #8) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Discussion:**  
See discussion below.

- |  |                          |                          |                                     |                          |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| ii) Strong seismic ground shaking? (Sources: #8) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

**Discussion (i & ii):**  
The property may be subject to ground shaking in the event of an earthquake in the region. However, the project site is not located within the Alquist-Priolo Earthquake Fault Zone, and no active fault is known to traverse the site. Less than significant impacts would occur.

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| Seismic-related ground failure, including liquefaction? (Sources: #1 & 12) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion:**  
The subject site is not identified as being subject to seismic-related ground failure or liquefaction on the State Seismic Hazards Zones Map.

- |                                |                          |                          |                          |                                     |
|--------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| Landslides? (Sources: #1 & 12) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion:**  
The subject site is relatively flat and not subject to potentially unstable slope areas as indicated in the General Plan Environmental Hazards Element (Figure EH-2). No impacts would occur and no further analysis is required.

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Result in substantial soil erosion, loss of topsoil, or changes in topography or unstable soil conditions from excavation, grading, or fill? (Sources: #1 & Figure 1)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Discussion:**

Demolition of the existing dwellings and accessory structure on the subject site could result in some alterations to the existing topography. However, because the subject site is relatively flat, less than significant impacts would occur.

c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on or off-site landslide, lateral spreading, subsidence, liquefaction or collapse? (Sources: #1 & 12, Figure 1)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--	--------------------------	--------------------------	--------------------------	-------------------------------------

**Discussion:**

The subject site is located in an area that is subject to low potential for liquefaction and no potential for unstable slope areas. In addition, the site is not in an area expected to be subject to subsidence. As a result, the proposed demolition project would not have any adverse impacts and no further analysis is required.

d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property? (Sources: #1)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--	--------------------------	--------------------------	--------------------------	-------------------------------------

**Discussion:**

The subject site is located in an area of low to moderate expansive soil conditions (Figure EH-12, General Plan Environmental Hazards Element). The proposed project is for demolition of existing structures only and no construction is proposed as part of this request. Therefore, no impacts would occur and no further analysis is required.

e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of wastewater (Sources: #1)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--	--------------------------	--------------------------	--------------------------	-------------------------------------

**Discussion:**

The subject site is already connected to the public sewer system. No septic tanks or alternative wastewater disposal systems are necessary as a result of the proposed project.

**IV. HYDROLOGY AND WATER QUALITY. Would the project:**

a) Violate any water quality standards or waste discharge requirements? (Sources: #8)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
---	--------------------------	--------------------------	-------------------------------------	--------------------------

**Discussion:**

The project consists of only demolition of existing on-site structures. During demolition, the applicant is required to implement an effective combination of erosion/sediment controls and waste/materials management

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------------	--	------------------------------------	-----------

Best Management Practices pursuant to the countywide Drainage Area Management Plan to minimize any impacts. Therefore, there will be no significant impacts to water quality standards or waste discharge requirements.

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted? (Sources:# 8) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion:**

The proposed demolition will not deplete groundwater supplies or interfere with groundwater recharge. No impacts would occur and no further analysis is required.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on or off-site? (Sources: #8) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion:**

See discussion below.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on or off-site? (Sources: Figure 2, #8) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion (c & d):**

There are no streams or rivers on the project site and surrounding area. The property currently drains onto the public right-of-way. The proposed demolition will not alter this condition and no impacts would occur.

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| e) Create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff? (Sources: Figure 2, #8) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion:**

See discussion below.

- |  |                          |                          |                                     |                          |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| f) Otherwise substantially degrade water quality? (Sources: # 8) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

**Discussion(e & f):**

The project site is currently developed with impervious surfaces including the existing residences and an accessory structure. The proposed demolition will not add impervious surfaces to the property. Implementation

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------------	--	------------------------------------	-----------

of erosion/sediment controls and waste/materials Best Management Practices, as required by the countywide Drainage Area Management Plan, will result in less than significant impacts.

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map? (Sources: #6) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion:**  
See discussion below.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| h) Place housing within a 100-year flood hazard area structures which would impede or redirect flood flows? (Sources: #6) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion:**  
See discussion below.

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam? (Sources: Figure 2, #6) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion (g – i):**  
The proposed demolition project is located within Flood Zone “X”, which would not place housing or structures within a 100-year flood hazard area nor expose people or structures to a significant risk of loss due to flooding or failure of a dam. No impacts would occur and no further analysis is required.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| j) Inundation by seiche, tsunami, or mudflow? (Sources: #1) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion:**  
According to the General Plan Environmental Hazards Element, the project site is not subject to inundation by seiche, tsunami or mudflow and therefore no adverse impacts would occur.

- |  |                          |                          |                                     |                          |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| k) Potentially impact storm water runoff from construction activities? (Sources: #8) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

**Discussion:**  
See discussion in Section IV.a.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| l) Potentially impact storm water runoff from post-construction activities? (Sources: #8) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion:**  
The project involves demolition of two existing single-family dwellings only and will not involve any post demolition activities.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| m) Result in a potential for discharge of storm water | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>pollutants from areas of material storage, vehicle or equipment fueling, vehicle or equipment maintenance (including washing), waste handling, hazardous materials handling or storage, delivery areas, loading docks or other outdoor work areas? (Source: #8)</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion:**

The proposed demolition will not include any of the activities described above and therefore will not have any impacts.

<p>n) Result in the potential for discharge of storm water to affect the beneficial uses of the receiving waters? (Sources: #8)</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
---	--------------------------	--------------------------	-------------------------------------	--------------------------

**Discussion:**

See discussion in Section IV.a.

<p>o) Create or contribute significant increases in the flow velocity or volume of storm water runoff to cause environmental harm? (Sources: #8)</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--	--------------------------	--------------------------	--------------------------	-------------------------------------

**Discussion:**

The subject site is developed with two single-family residences and demolition of the dwelling and accessory structure will reduce the amount of impervious surface on the property thereby reducing the potential for runoff.

<p>p) Create or contribute significant increases in erosion of the project site or surrounding areas? (Sources: Figure 2 &amp; #8)</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--	--------------------------	--------------------------	--------------------------	-------------------------------------

**Discussion:**

The project site and surrounding area are relatively flat. The proposed demolition will not create an increase in erosion. No impacts would occur and no further analysis is required.

**V. AIR QUALITY.** The city has identified the significance criteria established by the applicable air quality management district as appropriate to make the following determinations. Would the project:

<p>a) Violate any air quality standard or contribute substantially to an existing or projected air quality violation? (Sources: #7 &amp; 8)</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
---	--------------------------	--------------------------	-------------------------------------	--------------------------

**Discussion:**

See discussion below.

<p>b) Expose sensitive receptors to substantial pollutant concentrations? (Sources: : #7 &amp; 8)</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
---	--------------------------	--------------------------	-------------------------------------	--------------------------

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------	--	------------------------------	-----------

**Discussion:**  
See discussion below.

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| c) Create objectionable odors affecting a substantial number of people? (Sources: : #7 & 8) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

**Discussion:**  
See discussion below.

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| d) Conflict with or obstruct implementation of the applicable air quality plan? (Sources: : #7 & 8) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

**Discussion:**  
See discussion below.

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| e) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)? (Sources: #7 & 8) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

**Discussion (a – e):**  
Demolition activities may result in a short-term increase in dust and demolition equipment emissions. With implementation of standard code requirements, short-term air pollution impacts from demolition will be less than significant. As needed, these code requirements may include but not be limited to: frequent watering of the site to prevent dust, street sweeping as necessary, use of low sulfur fuel and discontinuing demolition on days when there is a second stage smog alert. No long-term impacts to air quality as a result of the proposed project will occur because the project involves one to two days of demolition activity and no new construction is proposed. Dust control while the site remains vacant is addressed through the regulations of the Air Quality Management District (AQMD).

**VI. TRANSPORTATION/TRAFFIC.** Would the project:

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Cause an increase in traffic which is substantial in relation to the existing traffic load and capacity of the street system (e.g., result in a substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads, or congestion at intersections)? (Sources: #1 & 9) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion:**  
See discussion below.

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Exceed, either individually or cumulatively, a level of service standard established by the county congestion management agency for designated roads or highways? (Sources: #1 & 9) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion:**

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------	--	------------------------------	-----------

See discussion below.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks? (Sources: Figure 1) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion:**  
See discussion below.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses? (Sources: Figure 2) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion:**  
See discussion below.

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| e) Result in inadequate emergency access? (Sources: Figures 1 & 2) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion:**  
See discussion below.

- |  |                          |                          |                                     |                          |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| f) Result in inadequate parking capacity? (Sources: Figures 1 & 2) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

**Discussion (a-f):**  
The proposed project involves demolition of existing structures and will not result in a hazardous design feature or incompatible use of the site. Demolition activity will not increase vehicular traffic or impact air traffic patterns, air traffic levels, or locations. Associated demolition equipment will be placed on site and immediately adjacent to the subject site on the street, without impacting emergency access. Additionally, the total duration of the project would occur over a period of two days and, as such, any decrease in available on-street parking due to demolition equipment and worker's vehicles will be temporary and less than significant impacts would occur.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| g) Conflict with adopted policies supporting alternative transportation (e.g., bus turnouts, bicycle racks)? (Sources: Figures 1 & 2) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion:**  
Associated demolition equipment will occupy existing and available parking spaces along the subject site during demolition activity without conflicting policies supporting alternative transportation. No impacts would occur and no further analysis is required.

**VII. BIOLOGICAL RESOURCES.** Would the project:

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service? (Sources: #1 &amp; 8)</p> <p><b>Discussion:</b> See discussion below.</p>				
<p>b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Game or US Fish and Wildlife Service? (Sources: #1 &amp; 8)</p> <p><b>Discussion:</b> See discussion below.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means? (Sources: #1 &amp; 8)</p> <p><b>Discussion:</b> See discussion below.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors or impede the use of native wildlife nursery sites? (Sources: #1 &amp; 8)</p> <p><b>Discussion:</b> See discussion below.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance? (Sources: #1, 2 &amp; 3)</p> <p><b>Discussion:</b> See discussion below.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan? (Sources: #1 &amp; 8)</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------------	--	------------------------------------	-----------

***Discussion (a – f):***

The project site is a developed residential property located in an urbanized area. The project site does not support any unique or endangered species or any natural community identified in any plans, policies, or regulations and is not shown in the General Plan as a generalized habitat area. The project site does not contain any wetlands and the demolition is not expected to interfere with the movement of any wildlife. No impacts would occur and no further analysis is required.

**VIII. MINERAL RESOURCES.** Would the project:

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state? (Sources: #1) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

***Discussion:***

See discussion below.

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan, or other land use plan? (Sources: #1) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

***Discussion (a & b):***

The project site is not designated as a known or important mineral resource recovery site in the General Plan or any other land use plan. Therefore, demolition of existing onsite improvements will not result in the loss of a known mineral resource. No impacts would occur and no further analysis of the issue is required.

**IX. HAZARDS AND HAZARDOUS MATERIALS.**

Would the project:

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials? (Sources: Figure 2) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

***Discussion:***

See discussion below.

- |  |                          |                          |                                     |                          |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment? (Sources: #1 & Figure 2) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

***Discussion:***

See discussion below.

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c) Emit hazardous emissions or handle hazardous or acutely hazardous material, substances, or waste within one-quarter mile of an existing or proposed school? (Sources: #1) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------------	--	------------------------------------	-----------

**Discussion:**

See discussion below.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment? (Sources: #11) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion (a – d):**

The project does not involve routine transport, use, or disposal of hazardous materials. The site is not located on the State’s list of hazardous materials sites and the nearest school facility is located more than a quarter mile away. Any potential onsite soil contamination must comply with the City’s standard development requirements including submittal of soil sample data to show compliance with the *City of Huntington Beach Soil Cleanup Standard* (Specification No. 431-92), and submittal of a plan showing all abandoned oil wells within 100 feet of the property. Any asbestos or lead paint in the structure to be demolished will be addressed through compliance with AQMD requirements for proper removal of asbestos and lead elements and construction equipment is required to comply with established safety standards. Thus, less than significant impacts would occur.

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area? (Sources: # 10) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion:**

See discussion below.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area? (Sources: # 10) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion (e & f):**

The City of Huntington Beach is located within the Planning Area for the Joint Forces Training Center, Los Alamitos. However, the project only involves the demolition of two single-family dwellings and an accessory structure. In addition, the site is not located within the height-restricted boundaries identified in the Airport Environs Land Use Plan or within two miles of any known public or private airstrip.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan? (Sources: Figure 1) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion:**

The proposed demolition will not impair implementation or physically interfere with any adopted emergency response plan or evacuation plan. No impacts would occur and no further analysis is required.

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| h) Expose people or structures to a significant risk of loss, injury, or death involving wildland fires, including | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------------	--	------------------------------------	-----------

where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?  
(Sources: Figure 1)

**Discussion:**

The project site is located in an established residential neighborhood within a highly urbanized area not adjacent to any wildlands. No impacts would occur and no further analysis is required.

**X. NOISE.** Would the project result in:

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies? (Sources: #1 & 3) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

**Discussion:**

See discussion below.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Exposure of persons to or generation of excessive ground borne vibration or ground borne noise levels? (Sources: #1 & 3) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion:**

See discussion below.

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project? (Sources: #1 & 3) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion:**

See discussion below.

- |  |                          |                          |                                     |                          |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project? (Sources: #1 & 3) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

**Discussion:**

See discussion below.

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels? (Sources: #10) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion:**

See discussion below.

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------------	--	------------------------------------	-----------

the project area to excessive noise levels? (Sources: #10)

**Discussion (a – f):**

The project may result in a short-term increase in noise levels during the demolition process. However, the project is required to comply with the City’s Noise Ordinance (Chapter 8.40 Huntington Beach Municipal Code), which restricts the hours of construction to reduce impacts to the area. The project is not expected to generate an increase in traffic or groundborne noise levels. There will be no long-term noise impacts for the demolition of the structures. The project site is not located within two miles of any known public airport or private airstrip.

**XI. PUBLIC SERVICES.** Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

- |                                       |                          |                          |                          |                                     |
|---------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Fire protection? (Sources: #1 & 8) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---------------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion:**  
See discussion below

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Police Protection? (Sources: #1 & 8) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion:**  
See discussion below.

- |                               |                          |                          |                          |                                     |
|-------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c) Schools? (Sources: #1 & 8) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|-------------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion:**  
See discussion below

- |                             |                          |                          |                          |                                     |
|-----------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| d) Parks? (Sources: #1 & 8) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|-----------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion:**  
See discussion below.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| e) Other public facilities or governmental services?<br>(Sources: #1 & 8) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion (a – e):**

The proposed project involves the demolition of two residential dwellings and an accessory structure only. No new construction is proposed as part of this project and therefore the project would not increase demand on police, fire, parks or other governmental services, nor would it require the construction of new schools. No impacts would occur, and no further analysis is required.

**XII. UTILITIES AND SERVICE SYSTEMS.** Would the project:

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board? (Sources: #1 & 8)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<i>Discussion:</i> See discussion below.				
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? (Sources: #1 & 8)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<i>Discussion:</i> See discussion below.				
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? (Sources: #1 & 8)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<i>Discussion:</i> See discussion below.				
d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed? (Sources: #1 & 8)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<i>Discussion:</i> See discussion below.				
e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments? (Sources: #1 & 8)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<i>Discussion:</i> See discussion below.				
f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs? (Sources: #1 & 8)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<i>Discussion:</i> See discussion below.				
g) Comply with federal, state, and local statutes and regulations related to solid waste? (Sources: #1 & 8)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------------	--	------------------------------------	-----------

**Discussion:**  
See discussion below.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| h) Include a new or retrofitted storm water treatment control Best Management Practice (BMP), (e.g. water quality treatment basin, constructed treatment wetlands?)<br>(Sources: # 1 & 8) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion (a – h):**  
The proposed project is only for the demolition of two existing single-family dwellings and an accessory structure, and will not result in an increased demand on utility systems beyond what is already generated by the residences. The project will comply with regulations regarding municipal solid wastes, and such materials will be controlled by permitted unloading at the Frank R. Bowerman Landfill. Thus, less than significant impacts would occur.

**XIII. AESTHETICS.** Would the project:

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Have a substantial adverse effect on a scenic vista?<br>(Sources: #1 & 8) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion:**  
The subject site is not located within or adjacent to any identified scenic vista. No impacts would occur, and no further analysis is required.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway? (Sources: #1, & 8) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

**Discussion:**  
The State of California Department of Transportation designates scenic highway corridors. The project site is not within a state scenic highway; nor is the project site visible from any officially designated scenic highway. Therefore, the project will not have any impacts to scenic resources within a State scenic highway.

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| c) Substantially degrade the existing visual character or quality of the site and its surroundings? (Sources: #1 & 8) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

**Discussion:**  
The project site is located at the northwest corner of 8<sup>th</sup> Street and Acacia Street, one block west of the Main Street Landscape Corridor, as indicated on Figure UD-3 of the General Plan Circulation Element. Additionally, the General Plan delineates the adjacent Main Street corridor area as a Secondary Path/Image Corridor. Moreover, the current aesthetic condition of the site is poor, as on-site landscaping is minimal and the structures are not well-maintained. There is a low wall along the front property line separating the property from the sidewalk. The proposed demolition will clear the site of all existing improvements and is not anticipated to substantially degrade the existing visual character of the site and its surroundings. Pursuant to City requirements, the applicant is responsible for repairing any damage to sidewalks, curbs, and gutters as a result of the proposed demolition. The property is also subject to compliance with the City’s nuisance code (Chapter 17.10 Huntington Beach Municipal Code) to avoid degrading the quality of the site and its surroundings.

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------------	--	------------------------------------	-----------

Demolition of the existing single-family units and accessory structure on the site will not further detract from the overall appearance of the area. Impacts are considered less than significant.

- d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area? (Sources: Figure 2 & 8)
- 

**Discussion:**

The proposed project is for the demolition of two single-family residences and an accessory structure, and will not create a new source of light or glare in the area. Thus, the project will not have any adverse impacts.

**XIV. CULTURAL RESOURCES.** Would the project:

- a) Cause a substantial adverse change in the significance of a historical resource as defined in Section 15064.5? (Sources: #1, 4, 8, & 14)
- 

**Discussion:**

The proposed project involves the demolition of two existing single-family dwellings and an accessory structure on a site located within the Wesley Park section, an area of the City that is listed in Table HCR-2 (Local Landmarks) in the Historic and Cultural Resources Element of the General Plan. The Wesley Park Section is described in the General Plan as a potential Historic/Conservation District.

Cynthia Ward, Architectural Historian, conducted a Historic Resource Assessment for the subject site between April and May 2008. The survey discloses that the two dwellings and accessory structure were constructed as they exist on the subject property in 1916. The residential units, described as “Craftsman cottages” and the incidental accessory structure have not been subject to documented change of any significance. The survey further concludes that the subject property is not associated with any significant historical events, does not have distinct characteristics of a type, period or method of construction, or represent the work of a master. Finally, the study concluded that the subject property does not meet necessary criteria for listing as a historic resource in the National Register of Historic Places, or criteria for inclusion in a State or local listing of historic significance.

The subject property was included as part of the Windshield Survey of the 1986 Historic Resources Survey Report for the City of Huntington Beach. Each of the 556 buildings included in the Survey were given an A, B, C, or D rating. Only A-rated and B-rated buildings were found to be “architecturally distinctive” in terms of characteristics or age. The subject property, along with the majority of the buildings in the survey, was given a C-rating, which means that while the buildings retain most of their original style, they are of modest design and are generally important when they are part of a group of structures that may convey a sense of history by retaining the image of the original neighborhood. However, many surrounding residences adjacent to the subject site have been altered significantly since the time the survey was conducted, and the subject structures’ eligibility as contributing to a potentially significant historical district has been considerably endangered.

While the General Plan has given a local landmark designation to the Wesley Park section and identified the area as a potential Historic/Conservation District, no standards or requirements have been adopted to preserve the area. This has resulted in many alterations to properties within the Wesley Park section. Based on the findings of the Historic Resources Assessment, the project’s potential impacts on the Wesley Park section as a significant historic resource are considered less than significant.

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5? (Sources: #1 & 8)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<i>Discussion:</i> See discussion below.				
c) Directly or indirectly destroy a unique paleontological resource or site unique geologic feature? (Sources: #1 & 8)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<i>Discussion:</i> See discussion below.				
d) Disturb any human remains, including those interred outside of formal cemeteries? (Sources: #1 & 8)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<i>Discussion (b – d):</i> The subject site is located within an established residential neighborhood. It is not located within or adjacent to an identified archeological or paleontological site and does not have any unique geologic features. No impacts would occur and no further analysis is required.				

**XV. RECREATION.** Would the project:

a) Would the project increase the use of existing neighborhood, community and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated? (Sources: #1, 2, & 8)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<i>Discussion:</i> See discussion below.				
b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment? (Sources: #1, 2, & 8)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<i>Discussion:</i> See discussion below.				
c) Affect existing recreational opportunities? (Sources: #1, 2, & 8)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

*Discussion (a – c):*  
The proposed project involves the demolition of two existing residential dwellings and an accessory structure, and will not have any impacts on the use of parks or other recreational facilities.

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------------	--	------------------------------------	-----------

**XVI. AGRICULTURE RESOURCES.** In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. Would the project:

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use? (Sources: #8 & Figure 1) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

***Discussion:***

There is no Prime Farmland, Farmland of Statewide Importance, or Unique Farmland located on the proposed project site, as the site is currently developed and part of an established residential neighborhood. No impacts would occur, and no further analysis of this issue is required.

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Conflict with existing zoning for agricultural use, or a Williamson Act contract? (Sources: #2 & 8, Figure 1) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

***Discussion:***

The project site is not under a Williamson Act contract, and is currently developed with a residential use on a site zoned for residential uses. No impacts would occur, and no further analysis is required.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use? (Sources: #2 & 8, Figure 1) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

***Discussion:***

No environmental changes associated with the proposed demolition would result in the conversion of farmland to non-agricultural uses. No impacts would occur, and no further analysis is required.

**XVII. MANDATORY FINDINGS OF SIGNIFICANCE.**

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory? (Sources: #1-14) | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

***Discussion:***

ISSUES (and Supporting Information Sources):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
--	--------------------------------------	--	------------------------------------	-----------

The project site is developed with two single-family residences and an accessory structure within an established residential neighborhood. It is not located within any wildlife or biological resource area and therefore will not have impacts on any fish, wildlife or plant community. The Historic Resource Assessment prepared for the subject property concluded that the structures do not meet necessary criteria for listing as a historic resource in the National Register of Historic Places, or criteria for inclusion in a State or local listing of historic significance. Based on the discussion in Sections I through XVI above, the project is anticipated to have less than significant impacts on the quality of the environment.

- b) Does the project have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.) (Sources: #1-14)
- 

**Discussion:**

The proposed project involves the demolition of two existing single-family dwellings and an accessory structure only. As discussed in Sections I through XVI above, any individual and cumulative impacts from the project are considered less than significant.

- c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly? (Sources: #1-14)
- 

**Discussion:**

As discussed in the preceding sections, direct and indirect impacts to human beings associated with the project are considered less than significant.

## **XVIII. EARLIER ANALYSIS.**

Earlier analyses may be used where, pursuant to tiering, program EIR, or other CEQA process, one or more effects have been adequately analyzed in an earlier EIR or negative declaration. Section 15063 (c)(3)(D).

Earlier Documents Prepared and Utilized in this Analysis:

<b><u>Reference #</u></b>	<b><u>Document Title</u></b>	<b><u>Available for Review at:</u></b>
1	City of Huntington Beach General Plan	City of Huntington Beach Planning Dept., Planning/Zoning Information Counter, 2000 Main St., 3 <sup>rd</sup> Floor, Huntington Beach
2	City of Huntington Beach Zoning and Subdivision Ordinance	“
3	City of Huntington Beach Municipal code	“
4	Historic Resource Assessment (Cynthia Ward, Architectural Historian, April-May 2008)	See Attachment #1
5	City of Huntington Beach Geotechnical Inputs Report	City of Huntington Beach Planning Dept.
6	FEMA Flood Insurance Rate Map (February 18, 2004)	“
7	CEQA Air Quality Handbook, South Coast Air Quality Management District (1993)	“
8	City of Huntington Beach CEQA Procedure Handbook	“
9	Trip Generation Handbook, 7 <sup>th</sup> Edition, Institute of Traffic Engineers	“
10	Airport Environs Land Use Plan for Joint Forces Training Base Los Alamitos (Oct. 17, 2002)	“
11	Hazardous Waste and Substances Sites List	<a href="http://www.dtsc.ca.gov/SiteCleanup/Cortese_List.cfm">http://www.dtsc.ca.gov/SiteCleanup/Cortese_List.cfm</a>
12	State Seismic Hazard Zones Map	City of Huntington Beach Planning Dept.
13	City of Huntington Beach Flood Management Plan	“
14	City of Huntington Beach Historic Resources Survey Report (September 1986)	“

Historic Resources Assessment  
601 8<sup>th</sup> Street and 806 Acacia Avenue  
Huntington Beach, CA

April 2008-May 2008

Completed by:  
Cynthia Ward, Architectural Historian  
703 N. Lemon Street  
Anaheim, CA 92805  
(714) 292-0042  
Cynthia\_Ward@sbcglobal.net

City of Huntington Beach

MAY 23 2008

ATTACHMENT NO. 1.1

Historic Resources Assessment  
601 8<sup>th</sup> Street and 608 Acacia Avenue  
Huntington Beach, CA

CONTENTS

Introduction  
Background  
Setting and Context  
Findings  
Significance  
Summary

DPR Primary Record Page 1 of 3  
DPR Building, Structure, and Object Report Page 2 of 3  
DPR Continuation Page 3 of 3

Photograph Record

Site Map Provided by Developer

Sanborn Fire Insurance Map 1922

Grant Deeds Verifying Chain of Title

Qualifications: Resume'

Historic Resource Assessment  
601 8<sup>th</sup> Street and 806 Acacia Avenue  
Huntington Beach, CA  
April-May 2008

Introduction:

Cynthia Ward, Architectural Historian, completed this Historic Resource Assessment to document the structures located at 601 8<sup>th</sup> Street and 806 Acacia Avenue in Huntington Beach, California. Both structures are on one property, which is located at Assessor's Parcel Number 024-093-14, and identified by legal description Lots 1 and 3 of Block 608 of the Main Street Section of Huntington Beach.

In April of 2008, Architectural Historian Cynthia Ward conducted a field inspection of the property and its setting for context. Throughout April 2008 and into May 2008, historic research involving, Sanborn fire insurance maps, grant deeds, building records, County Directories, newspaper records, and historic photos established a clear history of the site. No early building permits exist for the property and Sanborn Maps from 1922 and show a consistent footprint.

Evaluation of the structure was based on criteria set by the Secretary of the Interior's Standards for the Treatment of Historic Properties, specifically the criteria for inclusion on National, State, and Local historic registers.

Background:

The structure located at 601 8<sup>th</sup> Street was included in the Huntington Beach Historic Resources Inventory prepared in 1985-86 by Diann Marsh for Thirtieth Street Architects. The building was described at the time as, "This building retains much of its architectural integrity and contributes to the architectural and historical streetscape of the City of Huntington Beach. Collectively, these buildings reflect the broad patterns of history that shaped the seaside, oil-producing community." The structure located at 806 Acacia Avenue was not individually identified in the survey, likely due to its role as a second unit on the same parcel.

Setting and Context:

601 8<sup>th</sup> Street and 806 Acacia Avenue are set within a residential neighborhood that had been developed in the early 20<sup>th</sup> century, but has recently been the victim of new development. The homes now represent an eclectic mix of architectural styles, mostly stucco, and reminiscent of Mediterranean building types not consistent with the original nature of the area. When the home was recorded in the Citywide Historic Inventory in 1985-1986, this area could easily have been listed as a National Register Historic District, with the structures at 8<sup>th</sup> and Acacia being Contributors to the District. As of this writing, the area has been so badly compromised that a District would not be viable.

Findings:

Cynthia Ward's study found that the single-story, weatherboard sided wood structures were built as single-family residences in 1916 with no visible, significant alterations

noted. No significant documented changes have been made to the property architecture or footprint since the 1922 Sanborn map was created. As of this writing, the property is in poor condition, and is unlikely to be the object of a preservation-oriented restoration effort, given the lack of incentive programs such as Mills Act in the City of Huntington Beach. The structures span a double lot, in an area where buildable land sells for a premium, further reducing the likelihood of restoration.

Significance:

Evaluation of the property using the standards set by the Secretary of the Interior for inclusion on the National or California Register reveals the following:

The study found no evidence that the property at 601 8<sup>th</sup> Street was associated with events that have made a significant contribution to the broad patterns of our history, and therefore does not meet Criteria A for inclusion on the National or California Register.

The study found no evidence that the property at 601 8<sup>th</sup> Street was associated with the lives of persons significant in our past, and therefore does not meet Criteria B for inclusion on the National or California Register.

The study found no evidence that the property at 601 8<sup>th</sup> Street embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individuality.

Criteria D includes those properties that have yielded or are likely to yield information important to prehistory or history. This type of archeological evaluation is beyond the scope of this report.

Summary:

The single-family Craftsman cottages located at 601 8<sup>th</sup> Street and 806 Acacia Avenue in Huntington Beach do not meet the criteria necessary for listing as a historic resource in the National Register of Historic Places, nor do they appear to meet the criteria for local or State listing. Local economic factors do not encourage historic preservation. 601 8<sup>th</sup> and 806 Acacia appear to require no further study related to historic significance prior to approval for new construction on the site. Mitigation might include offering to make the structures available to private parties for relocation, or salvage and storage of historic building elements for reuse in future preservation efforts in Orange County.

State of California — The Resources Agency  
 DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary #  
 HRI #  
 Trinomial  
 NRHP Status Code

Other Listings  
 Review Code

Reviewer

Date

Page 1 of 3

\*Resource Name or #: 601 8<sup>th</sup> Street and 806 Acacia Avenue

P1. Other Identifier:

\*P2. Location:  Not for Publication  Unrestricted

\*a. County: Orange

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

\*b. USGS 7.5' Quad:

Date:

T ; R ; ¼ of ¼ of Sec ; M.D. B.M.

c. Address: 601 8<sup>th</sup> Street

City: Huntington Beach

Zip:

d. UTM: Zone: 10 ; mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) Elevation:

APN: 024-093-14 Lots 1 and 3 Block 608 Main Street Section of Huntington Beach

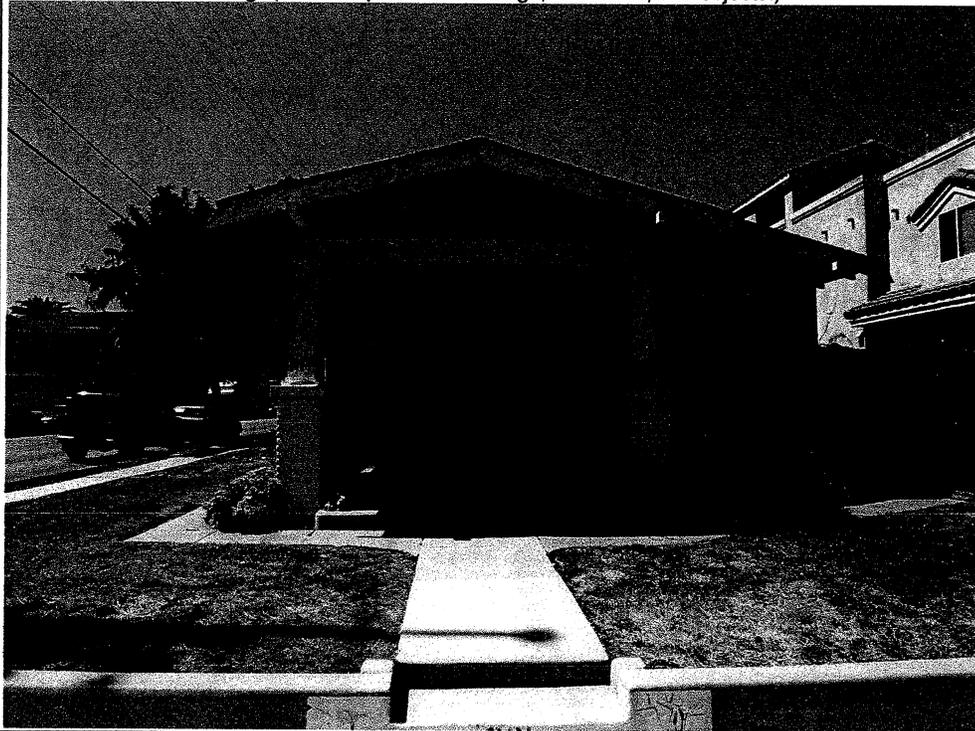
\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This Craftsman style bungalow features a medium pitched roof over exposed rafter tails. The structure is clad in wooden weatherboard siding that appears original. A front gabled porch shelters the entry, supported on tapered columns over pilasters of formed cement block. The entry door is 10 lite French door in a wood frame, it is unlikely to be original, but is appropriate to the style of the original. Windows on the front elevation are tripartite bands of casements, with two panes above a single pane in an elongated frame. While the structure appears original, it is simply designed, and in a state of disrepair. The surrounding streetscape had once been lined with structures of similar style, size, massing age and socio-economic original, as represented in an earlier Inventory by Diann Marsh for 30<sup>th</sup> Street Architects. That historic streetscape has been demolished over time, redeveloped by private ownership into new construction.

\*P3b. Resource Attributes: (List attributes and codes)

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.)



P5b. Description of Photo: (View, date, accession #)  
 Front Elevation, East Facing, April 2008

\*P6. Date Constructed/Age and Sources:  Historic

Prehistoric  Both 1916

\*P7. Owner and Address:

Surendra and Tarulata Barot  
 528 16<sup>th</sup> Street  
 Huntington Beach, CA 92648

\*P8. Recorded by: (Name, affiliation, and address)

Cynthia Ward, Architectural Historian  
 703 N. Lemon Street  
 Anaheim, CA 92805

\*P9. Date Recorded: April-May 2008

\*P10. Survey Type: (Describe) Intensive Survey

\*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Windshield Inventory

\*Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record

Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other (List):

DPR 523A (1/95)

\*Required information

ATTACHMENT NO. 1.5

**BUILDING, STRUCTURE, AND OBJECT RECORD**

\*Resource Name or # (Assigned by recorder) 601 8<sup>th</sup> St and 806 Acacia Ave

- B1. Historic Name: Warner Rental Property
- B2. Common Name: 601 8<sup>th</sup> Street and 806 Acacia Avenue
- B3. Original Use: Residential
- B4. Present Use: Residential

\*B5. Architectural Style: Craftsman

\*B6. Construction History: (Construction date, alterations, and date of alterations)  
1916, no known alterations

\*B7. Moved?  No  Yes  Unknown Date: Original Location:

\*B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

\*B10. Significance: Theme: Residential Architecture

Area: Early Huntington Beach

Period of Significance: Early 20<sup>th</sup> Century

Property Type:

Applicable Criteria:

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

Properties are considered historically significant under the following National Register criteria:

*Criteria A: They are associated with events that have made a significant contribution to the broad patterns of our history. The property at 601 8<sup>th</sup> street and 806 Acacia Avenue does not appear to meet qualifications for Criteria A.*

*Criteria B: They are associated with the lives of persons significant in our past. While the bungalows appear to have been built by Judge Warner, a person of significance to Huntington Beach, there is not evidence of the Warners using either structure as their primary residence, and therefore the property does not meet Criteria B.*

*Criteria C: They embody the distinctive characteristics of a type, period, or method of construction, or they represent the work of a master, or they possess high artistic values, or they represent a significant and distinguishable entity whose components may lack individuality. The structures at 601 8<sup>th</sup> Street and 806 Acacia Avenue, while in relatively original condition, lack individual merit for listing on the National Register. Both structures might have contributed to a Historic District, had the area remained intact, but as the streetscape has been subjected to substantial development, listing is no longer a viable option.*

*Criteria D: They have yielded or are likely to yield information important to prehistory or history. Archeological information is outside the scope of this report; there is a high probability of early 20<sup>th</sup> century artifacts related to the construction of the structures to be found, and care should be taken in redevelopment of the property.*

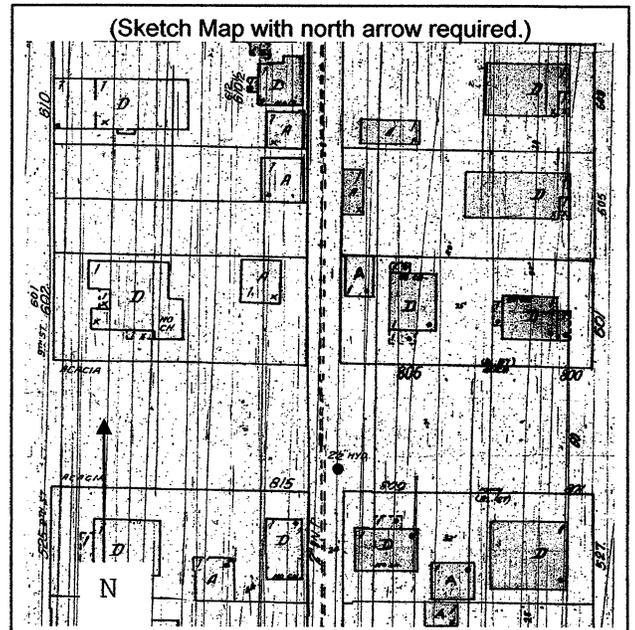
B11. Additional Resource Attributes: (List attributes and codes)

\*B12. References: Grant deeds, County Archives, Sanborn Fire Insurance Maps, Citywide Inventory

B13. Remarks:

\*B14. Evaluator: Cynthia Ward, Architectural Historian

\*Date of Evaluation: May 2008



1922 Sanborn Fire Insurance Map

(This space reserved for official comments.)

**CONTINUATION SHEET**

\*Recorded by: Cynthia Ward, Architectural Historian

\*Date: May 2008

Continuation

Update

On February 16, 1905, the Huntington Beach Company sold Lots 1 and 3 of block 605 to John E. Brewer. The Brewers sold the unimproved property to Minnie and Thomas Elder. On June 11, 1913, Minnie L. and Thomas M. Elder sold the lots to C.W. Warner. While building permits of the period are now missing, it appears that in 1916, the Warners had the bungalow at 601 8<sup>th</sup> Street, and likely the second unit at 806 Acacia Avenue, built as an income property, and opened to renters. There is no evidence that the home was the principal residence of the Warner family, as they were living in their home on 10<sup>th</sup> street, now relocated by local preservationist Joe Santiago.

Judge Charles W. Warner was a longtime Huntington Beach Justice of the Peace, City Recorder, Notary, and member of Huntington Beach's first Board of Trustees, before they were called the City Council. Warner Avenue was named for him. Moreover, Charles Warner's son, Willis H. Warner, was one of the most prominent Supervisors in the history of the Orange County Board of Supervisors.

On March 12, 1920, C.W. and Anna K. Warner sold the property to Jerome Lamb & Clara E. Lamb. Jerome and Clara Lamb sold to William P. Book on May 5, 1921. William and Mascotte Book, of Los Angeles, sold the property to Peter and Mamie Ringville on November 3, 1922. On April 16, 1932, Mamie Ringville passed away, leaving the home to her widower, Peter. Peter Ringville, a widower, sold the house to widow Anna Martha Ericson. Anna Martha Ericson passed away on November 2, 1945. Her siblings, Marie Nelson, Helen Larsen, John Ericson and Eric Ericson, inherited the home in the estate, and sold it to Frederick and Elizabeth Vervoken. Elizabeth Vervoken, a widow, sold the property to Harold and Marilyn Morr on January 21, 1966. Harold and Marilyn Morr sold the property to Ron Byrg and Patti Schwartz on October 5, 1984. Bryg and Schwartz appear to have married, and on September 16, 1997, the Brygs placed the property into the Bryg Trust. Ronald and Patricia Ann Byrg sold the property to Randy Kaul, a single man, on May 9, 2002. On February 1, 2008, Surenda and Tarulata Barot purchased the property.

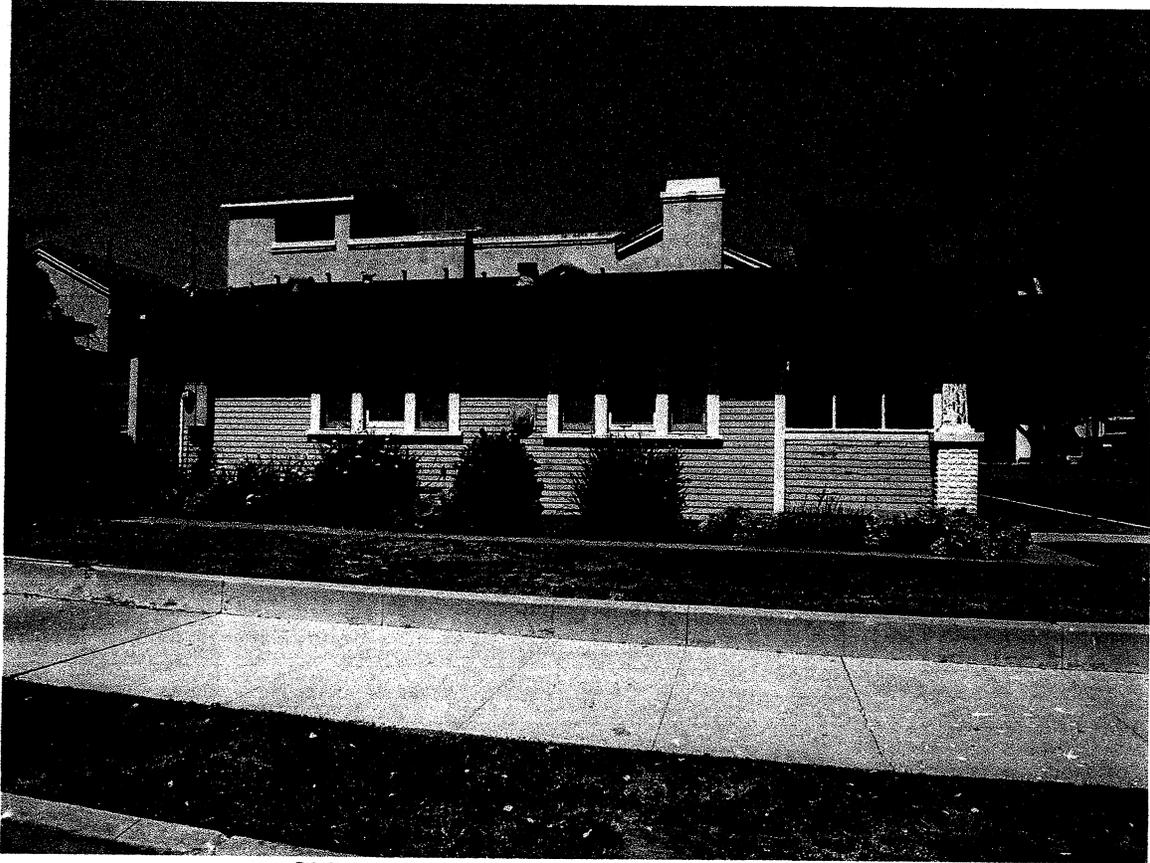
The property appears to have been used for rental income by absentee landlords for the majority of its existence.

ATTACHMENT NO. 1-7

Photographic Record  
601 8<sup>th</sup> Street  
Huntington Beach, CA



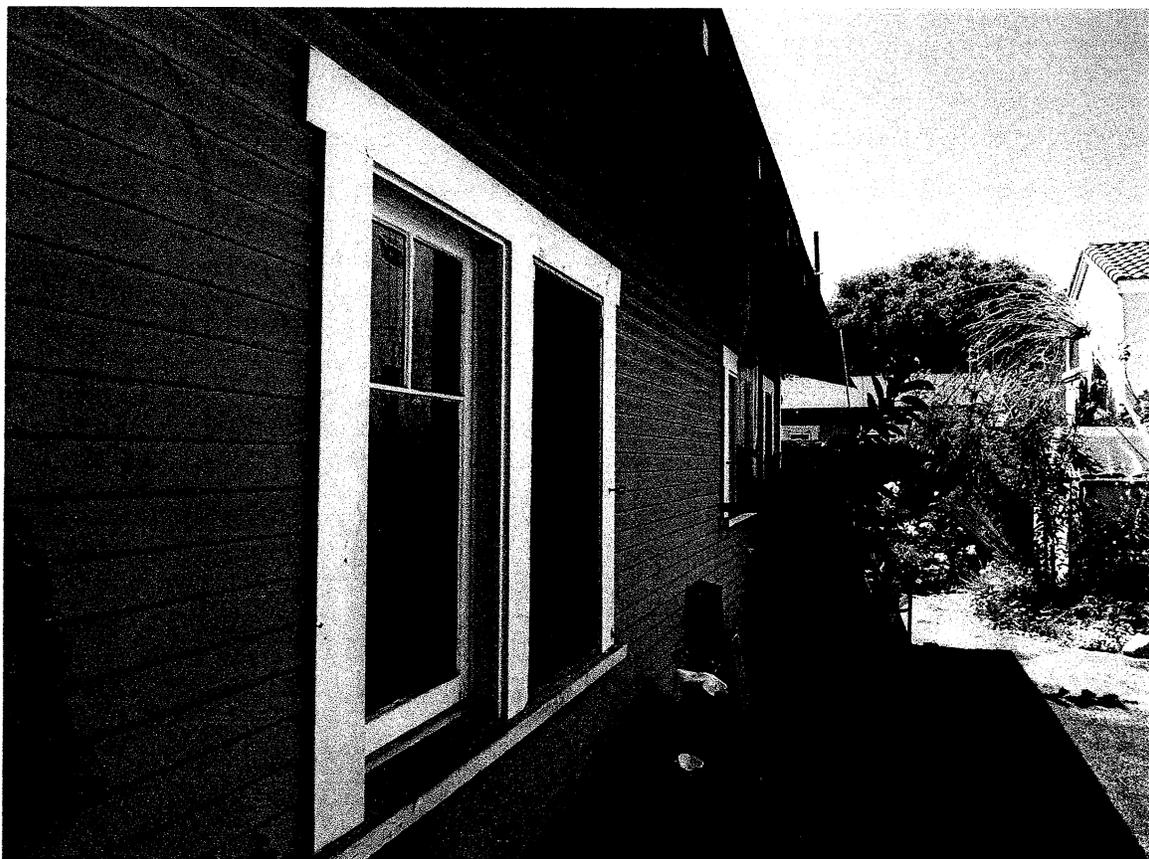
Front Elevation, East Facing, April 2008



Side Elevation, South Facing, April 2008



Rear Elevation, West Facing, April 2008

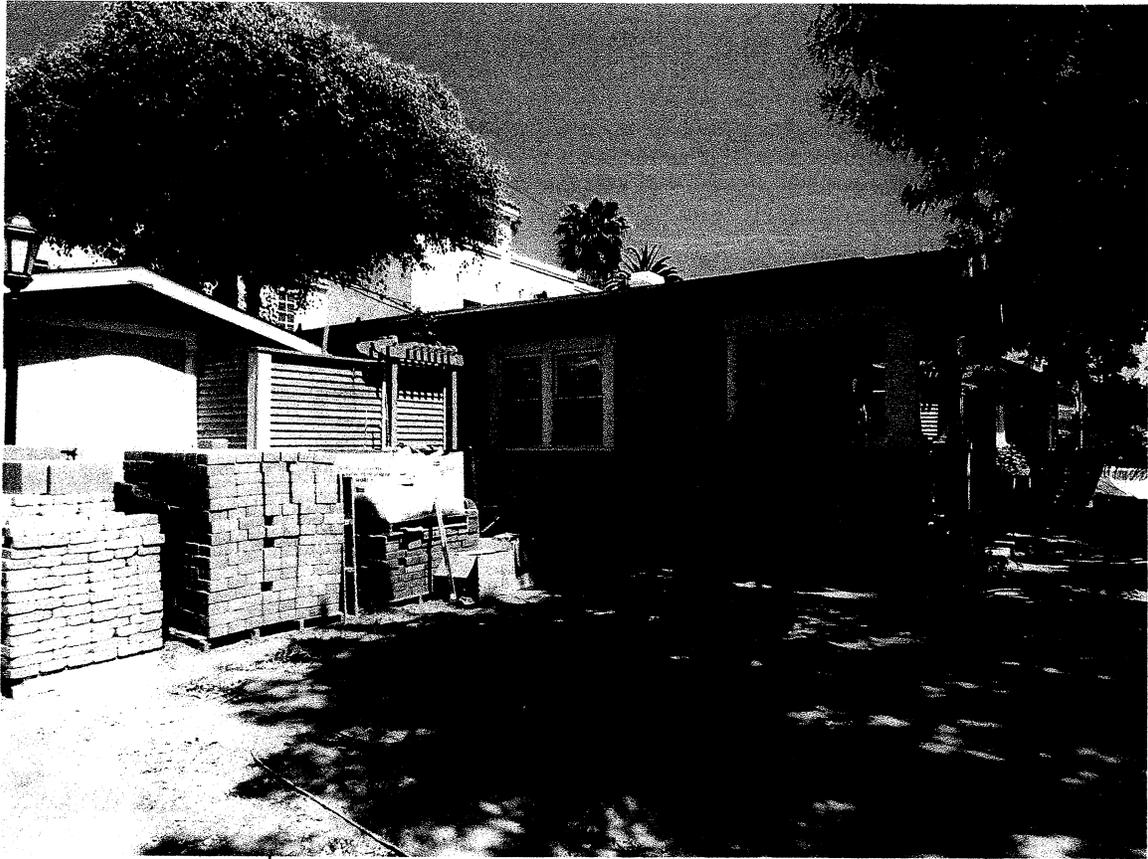


Side Elevation, North Facing, April 2008

Second Unit  
806



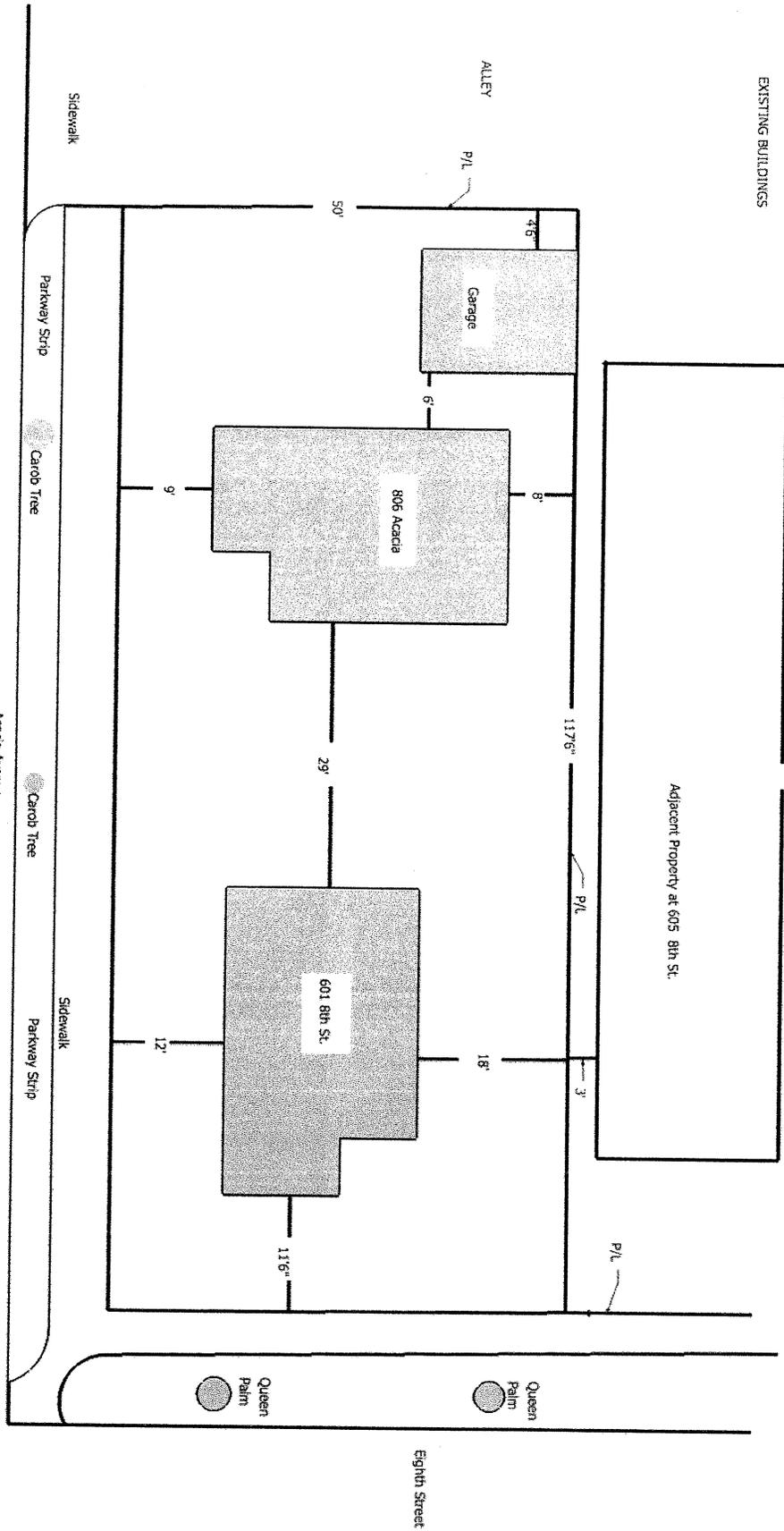
2<sup>nd</sup> Unit, Front Elevation, South Facing, April 2008



2<sup>nd</sup> Unit, Side Elevation, West Facing, April 2008



2<sup>nd</sup> Unit, Side Elevation, East Facing, April 2008



EXISTING BUILDINGS

Adjacent Property at 605 8th St.

