



City of Huntington Beach Planning Department  
**STAFF REPORT**

**TO:** Planning Commission  
**FROM:** Scott Hess, AICP, Director of Planning  
**BY:** Jennifer Villasenor, Associate Planner  
**DATE:** December 11, 2007  
**SUBJECT: CONDITIONAL USE PERMIT NO. 07-039 (HUNTINGTON BEACH SENIOR CENTER)**

**APPLICANT:** City of Huntington Beach, 2000 Main Street, Huntington Beach, CA 92648

**PROPERTY**

**OWNER:** City of Huntington Beach, 2000 Main Street, Huntington Beach, CA 92648

**LOCATION:** 18041 Goldenwest Street (southwest of the intersection of Goldenwest Street and Talbert Avenue)

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**STATEMENT OF ISSUE:**

- ◆ Conditional Use Permit No. 07-039 is a request to construct and operate a 45,000 square foot one-story senior recreation facility on a site with a grade difference greater than 3 feet.
- ◆ Staff's Recommendation: Approve Conditional Use Permit No. 07-039 based upon the following:
  - General Plan goals, objectives, and policies encourage the establishment of uses that support the needs of existing and future Huntington Beach residents when compatible with and sensitive to adjacent uses.
  - Project provides a centrally located senior and human service recreation facility in the City of Huntington Beach.
  - Project provides for a new senior center large enough to meet the current and future demand of an increasing senior population.
  - Project will enhance the community image of the City of Huntington Beach through the design and construction of a high quality development.
  - Project complies with applicable zoning regulations of the OS-PR zoning designation.

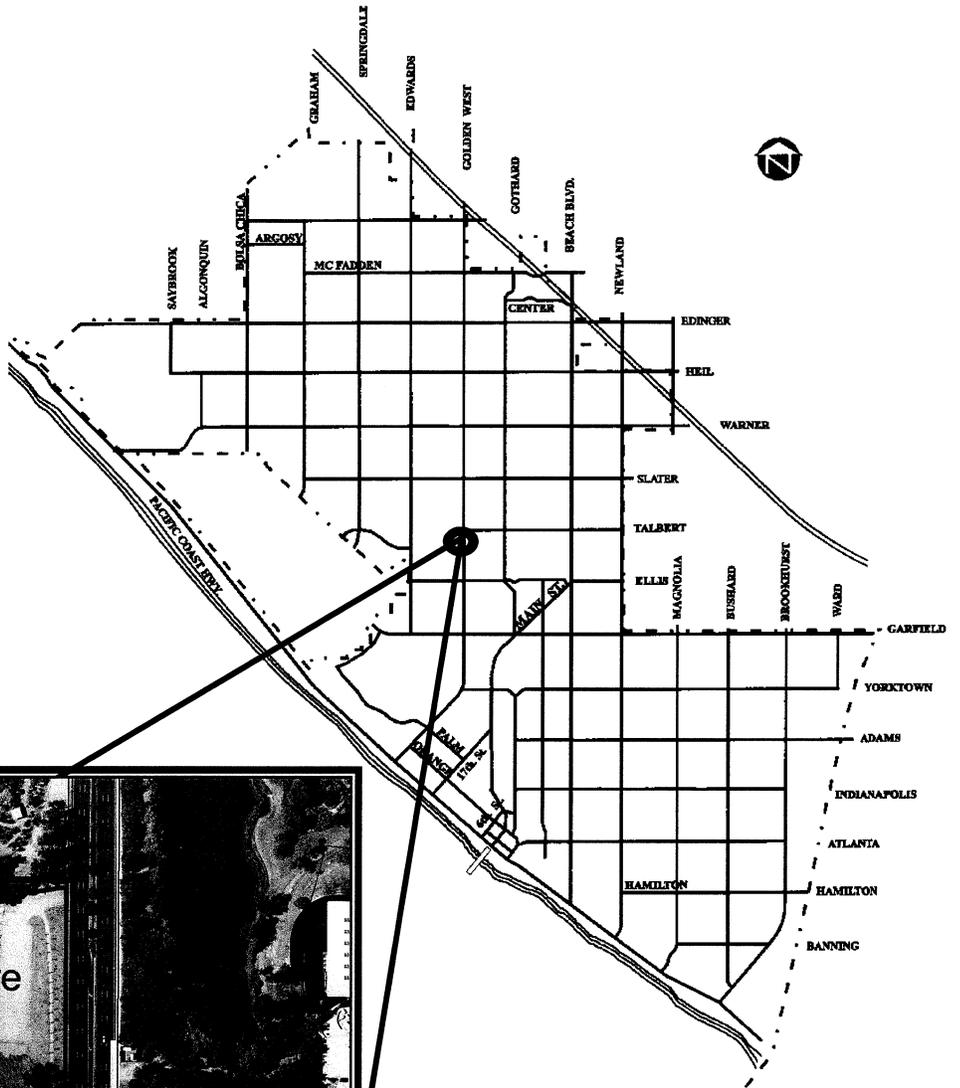
**Environmental Impact Report No. 07-002** is being processed concurrently with this entitlement and is addressed under a separate staff report. It is necessary for the Planning Commission to review and act on Environmental Impact Report No. 07-002 prior to action on this entitlement. Based on the EIR analysis, following approval of this entitlement, a CEQA Statement of Findings of Fact with a Statement of Overriding Considerations will be required.

**RECOMMENDATION:**

Motion to:

- A. "Approve Conditional Use Permit No. 07-039 with findings and suggested conditions of approval (Attachment No. 1)."
- B. "Approve CEQA Statement of Findings of Fact with a Statement of Overriding Considerations (Attachment No. 5)."

**PROJECT  
SITE**



**VICINITY MAP**  
*CONDITIONAL USE PERMIT # 07-039*  
*(SENIOR CENTER IN HUNTINGTON CENTRAL PARK)*

**ALTERNATIVE ACTION(S):**

The Planning Commission may take alternative actions such as:

- A. “Deny Conditional Use Permit No. 07-039 with findings for denial.”
- B. “Continue Conditional Use Permit No. 07-039 and direct staff accordingly.”

**PROJECT PROPOSAL:**

Conditional Use Permit No. 07-039 represents a request to construct and operate a 45,000 square foot senior recreation facility on a 5-acre site in Central Park pursuant to Chapter 213.06 of the Huntington Beach Zoning and Subdivision Ordinance (HBZSO). The conditional use permit is also necessary because the project is located on a site with a grade differential greater than three feet and includes a gated entrance to the site.

The 5-acre project site is located within the 356-acre Huntington Central Park and generally located southwest of the intersection of Goldenwest Street and Talbert Avenue, between the disc golf course, which is at a higher elevation, and the Shipley Nature Center.

The 5-acre project site will comprise the senior center building, parking lot and open space area (Attachment No. 2). The approximately 45,000 square foot building consists of a community hall/dining room, group exercise, fitness and dance rooms, multi-use classrooms, a kitchen, a social lounge and administrative offices. The outdoor open area includes a patio with a decorative trellis, an expansive lawn, a garden, a fountain, a barbecue area, benches and a natural meadow. The parking area includes a total of 233 parking spaces, including 14 disabled parking spaces and 6 oversize stalls for shuttle buses. Landscaping is provided throughout the site and consists of a mix of California native and non-native drought tolerant vegetation.

Ingress and egress to and from the site is proposed via a new access driveway with entry gate at the existing Goldenwest Street/ Talbert Avenue intersection. An existing traffic signal at this location will be modified for traffic to enter and exit the project site.

**Programming & Hours of Operation**

The proposed senior center will operate much like the existing Rodgers Senior Center operates today. The new center will be used for a variety of recreational programs and activities serving the City’s seniors, although the facility will be accessible to all residents of the City. Primary uses include: recreation and social services, Senior Outreach Program (transportation, meals, counseling/visitation), and public meetings or receptions when not occupied by primary functions.

Proposed hours of operation are:

<u>Day</u>	<u>Proposed Regular Hours of operation</u>	<u>Classes &amp; Activities</u>
Monday through Friday	8:00 a.m. – 4:30 p.m.	4:30 p.m. – 10:00 p.m.
Saturday & Sunday	None	8:00 a.m. – 10:00 p.m.
<u>Special Events in Multi-Purpose Room (w/ reservations)</u>		
Sunday through Thursday	Until 10:00 p.m.	
Friday & Saturday	Until 12:00 a.m.	

With reservations, special events such as wedding receptions or public meetings are proposed to be held in the community hall when it is not being used for recreation or social programs. The current senior center also allows reservations for special events and currently rents the center to a church on Sundays.

**ISSUES:**

**Subject Property And Surrounding Land Use, Zoning And General Plan Designations:**

LOCATION	GENERAL PLAN	ZONING	LAND USE
Subject Site:	OS-P (Open Space – Parks)	OS-PR (Open Space – Parks & Recreation)	Undeveloped, vacant
North of Subject Site (across earthen berm)	OS-P	OS-PR	Undeveloped area; Shipley Nature center
East of Subject Site: (across Goldenwest St.)	OS-P	OS-PR	Sports Complex; Central Library
South of Subject Site:	OS-P	OS-PR	Disc golf course; equestrian center
West of Subject Site:	OS-P	OS-PR	Passive parkland

**General Plan Conformance:**

The current General Plan Land Use Map designation on the subject site is OS-P (Open Space – Parks). The proposed project is consistent with the Open Space – Parks designation and the goals and policies of the City’s General Plan as follows:

A. Air Quality Element

Policy AQ 1.8.3: Encourage developers to maintain the natural topography, to the maximum extent possible, and limit the amount of land clearing, blasting, grading, and ground excavation operations needed for development.

The proposed project anticipates a balanced site with minor cut and fill operations during construction.

Policy AQ 1.10.1: Continue to require the utilization and installation of energy conservation features in all new construction.

As with all new buildings, the proposed project will be required to comply with the energy conservation standards of Title 24, which would ensure that there would be no wasteful or unnecessary use of energy.

B. Circulation Element

Policy CE 6.1.7: Require new development to provide accessible facilities to the elderly and disabled.

The proposed senior center project will be required to comply with the requirements of the ADA. The proposed project will also provide ADA access to the site via a pedestrian path north of the access driveway.

Policy CE 7.1.7: Continue to construct landscaped medians in existing major and primary arterial streets and continue to require the construction of landscaped medians in new developments.

The proposed project includes construction of a signalized access driveway at the intersection of Goldenwest Street and Talbert Avenue. The new access driveway includes a proposed landscaped median.

C. Environmental Hazards Element

Policy EH 4.1.1: During major redevelopment or initial construction, require specific measures to be taken by developers, builders, or property owners in flood prone areas, to prevent or reduce damage from flood hazards and the risks upon human safety.

Although the site is partially located in Flood Zone A, the project site is already a minimum of 4 feet higher than the base flood elevation at its lowest point. A flood elevation certificate will be required for the proposed project.

D. Growth Management Element

Goal GM 2: Ensure that adequate transportation and public facilities and public services are provided for existing and future residents of the City.

The proposed project does not result in any significant traffic impacts and adequate public facilities and public services will be provided.

E. Hazardous Materials Element

Policy HM 1.2.3: Support land use or developments adjacent to or within close proximity of sensitive uses, which do not utilize, store, handle, or contain hazardous materials and/or waste, and which would create an unsafe, unhealthy, or hazardous condition for adjacent uses.

Construction and operation of the proposed senior center will not include the use of large quantities of hazardous materials, and any commonly used hazardous materials would be used and stored in accordance with applicable regulations. Implementation of the proposed project would not utilize hazardous materials or waste and would not create an unsafe or hazardous condition for adjacent uses.

F. Land Use Element

Policy LU 4.2.1: Require that all structures be constructed in accordance with the requirements of the City's building and other pertinent codes and regulations; including new, adaptively re-used, and renovated buildings.

Policy LU 4.2.4: Require that all development be designed to provide adequate space for access, parking, supporting functions, open space and other pertinent elements.

Policy LU 4.2.5: Require that all commercial, industrial and public development incorporate appropriate design elements to facilitate access and use as required by State and Federal Laws such as the Americans with Disabilities Act (ADA).

The proposed project will be constructed in accordance with existing laws and regulations, including the City's building code and any applicable State and federal law requirements such as ADA. In addition, the project is proposed to be in conformance with the Huntington Beach Zoning and Subdivision Ordinance and is not seeking any variances to deviate from the code requirements. Adequate access to and from the project site will be provided through the entrance at the Goldenwest Street/Talbert Avenue intersection. Sufficient parking will be provided on site for the senior center use.

G. Recreation and Community Services Element

Policy RCS 1.1.1: Provide leisure opportunities through programs and activities that serve the general population as well as the specialized needs of the disabled, children and elderly.

Policy RCS 3.1.2: Provide a variety of amenities within recreation areas in order to accommodate persons with different interests.

Policy RCS 3.1.7: Design recreational facilities to the accessibility requirements as specified in State and Federal laws such as the Americana with Disabilities Act (ADA) standards for accessibility.

The proposed project is a senior recreation facility proposed to be developed in accordance with ADA standards. The senior center and associated amenities will provide the City with expanded recreational resources for senior citizens to meet existing and future demand. The senior center will be accessible to all residents of the City of Huntington Beach.

## H. Utilities Element

Policy U 3.3.2: Where feasible, utilize natural overland flows, open channels, and swale routings as preferred alignments for components of drainage systems.

Policy U 3.3.3: Require that new developments employ the most efficient drainage technology to control drainage and minimize damage to environmental sensitive areas.

The proposed project includes bioswales and vegetated buffer areas to treat runoff from the proposed project's impervious areas. Implementation of BMPs and the project's directing of stormwater flows through the park and Huntington Lake will ensure that project implementation would not adversely impact sensitive environments

### Zoning Compliance:

The project site is located in the OS-PR (Open Space – Parks & Recreation) zone and complies with the requirements of that zone. The OS-PR zone permits park and recreation facilities with approval of a conditional use permit. The project site is a 5-acre site situated within a 54-acre parcel in Central Park. The proposed project exceeds all minimum standards for lot area, lot width, setbacks and site coverage. The building will be setback approximately 300 feet from Goldenwest Street and is approximately 30 feet in height with architectural projections reaching up to 46 feet in height. The maximum height permitted in the OS-PR zone is 45 feet. However, HBZSO Section 230.72 – *Exceptions to Height Limits*, allows architectural features to exceed the maximum height limit permitted in the base zoning district by no more than 10 feet. The proposed project complies with this provision of the code.

### Parking

The HBZSO does not specify a parking ratio for a park and recreation facility. Rather, the parking ratio is determined to be specific to the requested use. In this case, staff relied on consultation with LPA, Inc., a consulting firm that was commissioned to prepare a feasibility study for a new senior center prior to the Measure T election last November. Based on LPA's experience in designing and constructing community buildings such as the proposed senior center, a recommendation of 4-5 parking spaces per 1,000 square feet of floor area was suggested. In addition, staff surveyed other senior centers and found that parking ratios for those centers ranged from 1 parking space per 100 square feet to 1 parking space per 300 square feet. It should be noted that the majority of the senior centers surveyed also indicated that parking was sufficient. The proposed senior center project is providing 233 parking spaces at a ratio of just over 5 parking spaces per 1,000 square feet (1 per 193 square feet). This is consistent with both the LPA recommendation and the senior centers that were surveyed.

The number of ADA parking spaces required is seven. However, because the proposed senior center may have a higher ratio of disabled drivers, the number of proposed ADA spaces has been increased to 14. Planning and Community Services staff agree that this may not be enough disabled spaces based on feedback that was received from other senior centers. Staff is recommending that the number of ADA parking spaces be increased to 20 with the possibility of further increasing the number of ADA spaces if determined necessary once the facility is operational.

### Landscaping

The project proposes substantial landscaping throughout the site. An approximately 20,000 square foot open space area including a 10,000 square foot lawn, is located to the rear of the building. In addition to the lawn, the open space area includes a trellis patio, an area designed for a demonstration or hummingbird garden, a walking path with benches and a barbecue pad. Landscaping is also proposed throughout the parking area, as required by the HBZSO. This landscaping will incorporate bioswales and serve as a natural treatment system for stormwater runoff.

The preliminary landscape plan shows a mix of native and non-native drought tolerant vegetation able to support a wide range of climate conditions and soils. As required by code, “smart irrigation controllers” or other technology to reduce runoff will be used for the project. Although the preliminary landscape plans show species that occur at adjacent uses, staff is recommending that the final landscape plans show a variety of tree, shrub and grass species that occur at adjacent uses, such as the Shipley Nature Center and the Sports Complex. An approximately 9,000 square foot natural meadow is also proposed for the northwest corner of the project site. With inclusion of the natural meadow area, the proposed project provides nearly an acre of landscaping on site. However, this area is also designated for future overflow or expansion of parking if deemed necessary. If this area does become an overflow parking area, staff is recommending that meadow grasses be planted elsewhere on the project site.

### Urban Design Guidelines Conformance:

The Huntington Beach Urban Design Guidelines do not include guidelines specific to park and recreation facilities in the OS-PR zoning district. Notwithstanding, the project generally conforms to the objectives and standards for non-residential projects contained in the Guidelines, including the following:

- Establish attractive, inviting, imaginative and functional site arrangement of buildings and parking areas and high quality architectural and landscape design which provides for proper access, visibility and an identity.
- The designer is expected to employ variations in form, building details and siting in order to create visual interest. In all cases, the selected architectural style should be employed on all building elevations.
- Buildings should be divided in distinct massing elements. Building facades should be articulated with architectural elements and details. Vertical and horizontal offsets should be provided to minimize building bulk.
- Vertical architectural elements such as towers should be used as focal points.
- Developments should incorporate plazas and courtyards into their design. Courtyards should be buffered from the street, parking areas and drive aisles.

### Environmental Status:

The project’s potential environmental impacts are analyzed and discussed in a separate staff report. Prior to any action on Conditional Use Permit No. 07-039, it is necessary for the Planning Commission to review and act on Environmental Impact Report No. 07-002 (separate report). Staff, in its initial study of the project, is recommending that Environmental Impact Report No. 07-002 be certified as adequate and

complete with mitigation measures, Findings of Fact, a Statement of Overriding Considerations, and a Mitigation Monitoring and Reporting Program.

Although the project results in adverse cumulative impacts to the environment that cannot be mitigated or avoided, the Planning Commission may still approve the project if a Statement of Overriding Considerations is adopted. CEQA requires decision makers to balance the benefits of the proposed project against its unavoidable environmental risks in determining whether to approve the project. If the benefits of a proposed project outweigh the unavoidable adverse environmental effects, the City may consider the adverse environmental effects acceptable. In this particular case, staff believes the benefits of the proposed project outweigh the adverse impact to Aesthetics. The cumulative adverse Aesthetic impact is a result of the overall loss of undeveloped open space in Central Park. That being said, approval of the project will provide a new state-of-the-art senior center designed for innovative programming to meet the needs of a multi-generational senior population. The project also provides a centrally located senior center that will be large enough to meet current and future demand of an increasing senior population in the City of Huntington Beach. Development of the project also results in a temporary increase in employment opportunities due to project construction.

Following approval of the conditional use permit, the Planning Commission must approve a CEQA Statement of Findings of Fact with a Statement of Overriding Considerations (Attachment No. 5).

**Coastal Status:** Not applicable.

**Redevelopment Status:** Not applicable.

**Design Review Board:**

The project was preliminarily reviewed by the Design Review Board (DRB) on August 9, 2007. The conditions of approval for the project will require that the final project design be approved by the Design Review Board.

**Subdivision Committee:** Not applicable.

**Community Services Commission:**

The Community Services Commission approved the proposed senior center project at their meeting on November 14, 2007.

**Other Departments Concerns and Requirements:**

The Departments of Public Works, Fire, Building and Safety and Police have reviewed the project and recommended standard code requirements. A summary of the applicable standard code requirements is included in a letter to the applicant and is provided for informational purposes only (Attachment No. 4).

As the project applicant, the Community Services Department has worked closely with Planning staff in coordinating with the Council on Aging (COA) as the voice for senior residents in providing input on the site plan and interior layout of the proposed senior center.

**Public Notification:**

Legal notice was published in the Huntington Beach/Fountain Valley Independent on November 29, 2007, and notices were sent to property owners of record and occupants within a 1,000 ft. radius of the subject property, individuals/organizations requesting notification (Planning Department’s Notification Matrix), and other interested parties. As of December 3, 2007, two letters referencing the proposed project and EIR have been received. The letters are included as an attachment to the EIR report for this project.

**Application Processing Dates:**

**DATE OF COMPLETE APPLICATION:**

Draft EIR: April 5, 2007

Conditional Use Permit: November 5, 2007

**MANDATORY PROCESSING DATE(S):**

Within 1 year of complete application (April 5, 2008)

Within 180 days from EIR Certification (October 2, 2008)

Funding for the proposed project will be provided by park in-lieu fees from the Pacific City development project through an Owner-Participation Agreement (OPA) between the City of Huntington Beach and the Pacific City developer. The OPA specifies a timeline for the construction of the senior center including the timing for approval of the project. Per the OPA, approval of entitlements and project plans must occur by April 1, 2008.

**ANALYSIS:**

**Land Use Compatibility**

The proposed project, as modified by suggested conditions of approval and the mitigation measures contained in EIR No. 07-002, is consistent with the applicable General Plan Land Use and Zoning designations as noted in previous sections of this report. Although the proposed project will result in the development of a new senior center on existing open space, the project will be compatible with the established recreational land use pattern in the area, specifically existing community facilities such as the Central Library and Sports Complex adjacent to the proposed project site. Within this context, the proposed project is compatible with the surrounding parkland. The nearest adjacent residences are located approximately 800 west of the project site. Mitigation measures incorporated in EIR No. 07-002 ensure that residences in the vicinity will not be detrimentally impacted. In addition, the proposed project will add a senior recreation facility on land currently designated for recreational uses but at a greater intensity than what was previously intended for the site.

To integrate the project with the natural setting of the Shipley Nature Center and existing passive parkland west of the project site, substantial landscaping is proposed throughout the site, including surrounding the entire perimeter of the project site. The proposed landscaping includes species that are currently found at Shipley Nature Center, the Sports Complex and the passive parkland to the west. As discussed in the EIR for the project, the integrity of environmental resources on and surrounding the site will be maintained.

### Central Park Master Plan

Because the intensity of development is increasing on the project site, the Central Park Master Plan will require an amendment from a low intensity area to a high intensity area. It is worth mentioning, however, that the project site is part of a larger 14-acre undeveloped area that is identified in the Central Park Master Plan as a low intensity recreation area. An amendment to the Central Park Master Plan will only change the designation of the 5-acre project site leaving the remaining nine acres as a low intensity area. Furthermore, the development footprint of the building is approximately one acre which constitutes less than 10 percent of the total undeveloped area.

### Grade Differential

The 5-acre project site is situated in a relatively low-lying area bordered by ascending slopes on the north, east and south sides. An earthen berm is located north of the project site and will be used for construction of the access driveway to the site from Goldenwest Street. The site is bordered on the east by a slope ascending up to Goldenwest Street and on the south by a slope ascending up to the disc golf course facility. These slopes are at an elevation of approximately 39 feet above mean sea level (MSL). Meanwhile, the project site gradually slopes to the west from an elevation of approximately 26 feet above MSL near the southeast corner of the site to approximately 14 feet above MSL near the southwest corner of the site. Therefore, the adjacent slopes are elevated anywhere from 13 to 25 feet above the project site. According to the conceptual grading plan, at finished grade, the facility will be at an elevation of approximately 22 ½ feet above MSL. The project is designed with minimal cut and fill such that the surrounding slopes and drainage patterns will not be negatively impacted and are generally maintained as they currently exist.

### Green Building

The proposed project emphasizes compatibility and sensitivity to the existing uses surrounding the site and will include a variety of sustainable features, such as bioswales, drought-tolerant landscaping, waterless urinals, roofing materials, and installation of low-flush water devices. The City is actively pursuing the feasibility of including additional features that would bring the building closer to LEED certification. As such, a standard condition of approval has been incorporated to ensure the consideration of green building elements into the design of the project.

### Project Design and Architecture

The proposed project features an architectural design that will blend, to the extent possible, with the park setting of the surrounding area. Materials include an abundance of wood, glass, stone and stucco. The design also incorporates a variety of forms, wall planes, roof lines, offsets, exterior finish materials and decorative architectural elements such as a wood trellis patio and an outdoor fireplace. The proposed standing seam metal roofing material reduces cooling requirements and is energy efficient. Overall, the proposed architectural design provides visual interest and minimizes massing.

The proposed building is a one-story building with an average height of 30 feet. Parapets, towers and other architectural features reach up to 46 feet in height. However, because the project site is in a low-lying area relative to the adjacent slopes, the average roofline of the proposed senior center will only project up to 13 ½ feet higher than the slopes to the south and east. Architectural features could extend an additional 16 feet above the average roofline. Being that the project site is situated at a lower elevation, the mass and bulk of the building, as viewed from Goldenwest Street, are further reduced and distant views of the park beyond the project site can still be captured to some degree.

**SUMMARY:**

Staff is recommending approval of the project based on the suggested findings and subject to the suggested conditions of approval. The proposed project furthers General Plan goals, objectives, and policies that encourage the establishment of uses that support the needs of existing and future Huntington Beach residents when compatible with and sensitive to adjacent uses. In addition, the project complies with all with applicable zoning regulations of the OS-PR zoning designation. Finally, the project provides a centrally located senior recreation facility large enough to meet current and future demand of an increasing senior population in the City of Huntington Beach.

**ATTACHMENTS:**

1. Suggested Findings and Conditions of Approval – Conditional Use Permit No. 07-039
2. Project Plans received and dated October 17, 2007
3. Project Narrative received and dated October 17, 2007
4. Code Requirements Letter dated November 20, 2007 (for informational purposes only)
5. CEQA Statement of Findings of Fact with Statement of Overriding Considerations – EIR No. 07-002
6. Mitigation Monitoring Program – EIR No. 07-002.
7. Environmental Impact Report No. 07-002 – **Not Attached - See Staff Report No. B-1a.**

SH:MBB:JV

## **ATTACHMENT NO. 1**

### **SUGGESTED FINDINGS AND CONDITIONS OF APPROVAL**

#### **CONDITIONAL USE PERMIT NO. 07-039**

#### **SUGGESTED FINDINGS FOR APPROVAL - CONDITIONAL USE PERMIT NO. 07-039:**

1. Conditional Use Permit No. 07-039 to permit the construction and operation of a 45,000 square foot senior recreation facility will not be detrimental to the general welfare of persons working or residing in the vicinity or detrimental to the value of the property and improvements in the neighborhood. An EIR that analyzed the project's potential to generate detrimental impacts on people and surrounding properties was prepared and concluded that, with mitigation, there are no significant project specific impacts. In addition, being that the project is located in Central Park, the closest adjacent residences are located approximately 800 feet west of the project site. One significant cumulative impact to aesthetics was identified in the EIR and as such, a Statement of Overriding Considerations, which discusses the benefits of the project in relation to the cumulative impact, is required for approval of the project.
2. Conditional Use Permit No. 07-039 will be compatible with surrounding uses because it is consistent with the applicable General Plan Land Use and Zoning designations as noted in previous sections of this report. Although the proposed project will result in the development of a new senior center on existing open space, the project will be compatible with the established recreational land use pattern in the area, specifically existing community facilities such as the Central Library and Sports Complex adjacent to the proposed project site. Within this context, the proposed project is compatible with the surrounding parkland. In addition, the proposed project would add a senior recreation facility on land currently designated for recreational uses but at a greater intensity than what was previously intended for the site.

The proposed building features a design with architectural features that minimize the visual bulk and mass of the buildings and provides for compatibility with the surrounding parkland. The project complies with all of the requirements for development in the OS-PR zoning district and provides an adequate number of parking spaces. To integrate the project with the natural setting of the Shipley Nature Center and existing passive parkland west of the project site, substantial landscaping is proposed throughout the site, including surrounding the entire perimeter of the project site.

3. Conditional Use Permit No. 07-039 will comply with the provisions of the base district and other applicable provisions in Titles 20-25 of the Huntington Beach Zoning and Subdivision Ordinance, including the Open Space – Parks & Recreation zone permitted uses and minimum setbacks. Parking requirements are determined by the conditional use permit and are specific to the requested use. A sufficient number of parking spaces is provided for the project based on surveys of similar projects.
4. The granting of Conditional Use Permit No. 07-039 will not adversely affect the General Plan. It is consistent with the Land Use Element designation of OS-P (Open Space - Parks) on the subject property. In addition, it is consistent with the following goals and policies of the General Plan:

### Air Quality Element

Policy AQ 1.8.3: Encourage developers to maintain the natural topography, to the maximum extent possible, and limit the amount of land clearing, blasting, grading, and ground excavation operations needed for development.

The proposed project anticipates a balanced site with minor cut and fill operations during construction.

Policy AQ 1.10.1: Continue to require the utilization and installation of energy conservation features in all new construction.

As with all new buildings, the proposed project will be required to comply with the energy conservation standards of Title 24, which would ensure that there would be no wasteful or unnecessary use of energy.

### Circulation Element

Policy CE 6.1.7: Require new development to provide accessible facilities to the elderly and disabled.

The proposed senior center project will be required to comply with the requirements of the ADA. The proposed project will also provide ADA access to the site via a pedestrian path north of the access driveway.

Policy CE 7.1.7: Continue to construct landscaped medians in existing major and primary arterial streets and continue to require the construction of landscaped medians in new developments.

The proposed project includes construction of a signalized access driveway at the intersection of Goldenwest Street and Talbert Avenue. The new access driveway includes a proposed landscaped median.

### Environmental Hazards Element

Policy EH 4.1.1: During major redevelopment or initial construction, require specific measures to be taken by developers, builders, or property owners in flood prone areas, to prevent or reduce damage from flood hazards and the risks upon human safety.

Although the site is partially located in Flood Zone A, the project site is already a minimum of 4 feet higher than the base flood elevation at its lowest point. A flood elevation certificate will be required for the proposed project.

### Growth Management Element

Goal GM 2: Ensure that adequate transportation and public facilities and public services are provided for existing and future residents of the City.

The proposed project does not result in any significant traffic impacts and adequate public facilities and public services will be provided.

Hazardous Materials Element

Policy HM 1.2.3: Support land use or developments adjacent to or within close proximity of sensitive uses, which do not utilize, store, handle, or contain hazardous materials and/or waste, and which would create an unsafe, unhealthy, or hazardous condition for adjacent uses.

Construction and operation of the proposed senior center will not include the use of large quantities of hazardous materials, and any commonly used hazardous materials would be used and stored in accordance with applicable regulations. Implementation of the proposed project would not utilize hazardous materials or waste and would not create an unsafe or hazardous condition for adjacent uses.

Land Use Element

Policy LU 4.2.1: Require that all structures be constructed in accordance with the requirements of the City's building and other pertinent codes and regulations; including new, adaptively re-used, and renovated buildings.

Policy LU 4.2.4: Require that all development be designed to provide adequate space for access, parking, supporting functions, open space and other pertinent elements.

Policy LU 4.2.5: Require that all commercial, industrial and public development incorporate appropriate design elements to facilitate access and use as required by State and Federal Laws such as the Americans with Disabilities Act (ADA).

The proposed project will be constructed in accordance with existing laws and regulations, including the City's building code and any applicable State and federal law requirements such as ADA. In addition, the project is proposed to be in conformance with the Huntington Beach Zoning and Subdivision Ordinance and is not seeking any variances to deviate from the code requirements. Adequate access to and from the project site will be provided through the entrance at the Goldenwest Street/Talbert Avenue intersection. Sufficient parking will be provided on site for the senior center use.

Recreation and Community Services Element

Policy RCS 1.1.1: Provide leisure opportunities through programs and activities that serve the general population as well as the specialized needs of the disabled, children and elderly.

Policy RCS 3.1.2: Provide a variety of amenities within recreation areas in order to accommodate persons with different interests.

Policy RCS 3.1.7: Design recreational facilities to the accessibility requirements as specified in State and Federal laws such as the Americana with Disabilities Act (ADA) standards for accessibility.

The proposed project is a senior recreation facility proposed to be developed in accordance with ADA standards. The senior center and associated amenities will provide the City with expanded recreational resources for senior citizens to meet existing and future demand. The senior center will be accessible to all residents of the City of Huntington Beach.

#### Utilities Element

Policy U 3.3.2: Where feasible, utilize natural overland flows, open channels, and swale routings as preferred alignments for components of drainage systems.

Policy U 3.3.3: Require that new developments employ the most efficient drainage technology to control drainage and minimize damage to environmental sensitive areas.

The proposed project includes bioswales and vegetated buffer areas to treat runoff from the proposed project's impervious areas. Implementation of BMPs and the project's directing of stormwater flows through the park and Huntington Lake will ensure that project implementation would not adversely impact sensitive environments

#### **SUGGESTED CONDITIONS OF APPROVAL - CONDITIONAL USE PERMIT 07-039:**

1. The project plans received and dated October 17, 2007 shall be the conceptually approved design with the following modifications.
  - a. The gate located at the terminus of the access driveway shall be relocated to the south edge of the reconfigured "T" intersection.
  - b. The number of ADA parking spaces shall be increased to 20. Once the facility is operational, the number of ADA spaces may be revised as determined necessary by the Community Services Department.
2. The project shall strive to achieve LEED certification. A variety of sustainable features shall be used and may include (but are not limited to) those recommended by the U.S. Green Building Council's Leadership in Energy and Environmental Design (LEED) Program certification (<http://www.usgbc.org/DisplayPage.aspx?CategoryID=19>) or Build It Green's Green Building Guidelines and Rating Systems (<http://www.builditgreen.org/index.cfm?fuseaction=guidelines>).
3. Prior to submittal for plan check, final project design shall be reviewed and approved by the City of Huntington Beach Design Review Board.
4. At least 14 days prior to any grading activity, the applicant/developer shall provide notice in writing to property owners of record and tenants of properties within a 500-foot radius of the project site as noticed for the public hearing. The notice shall include a general description of planned grading activities and an estimated timeline for commencement and completion of work and a contact person

name with phone number. Prior to issuance of the grading permit, a copy of the notice and list of recipients shall be submitted to the Planning Department.

5. The final landscape plans shall incorporate a variety of tree, shrub and grass species that are currently planted at adjacent uses, including the Sports Complex, Shipley Nature Center and the passive park west of the project site.
6. In the event that an overflow parking area is provided in place of the meadow area depicted on the preliminary landscape plan, meadow grasses shall be planted elsewhere on the project site. The species of meadow grasses should take into consideration the species currently planted at Shipley Nature Center.
7. A public art element, approved by the Design Review Board, Director of Planning, and Director of Huntington Beach Art Center, shall be depicted on the plans. Public Art shall be innovative, original, and of artistic excellence; appropriate to the design of the project; and reflective of the community's cultural identity (ecology, history, or society).
8. The project shall comply with all mitigation measures adopted in conjunction with Environmental Impact Report No. 07-002.

**INDEMNIFICATION AND HOLD HARMLESS CONDITION:**

The owner of the property which is the subject of this project and the project applicant if different from the property owner, and each of their heirs, successors and assigns, shall defend, indemnify and hold harmless the City of Huntington Beach and its agents, officers, and employees from any claim, action or proceedings, liability cost, including attorney's fees and costs against the City or its agents, officers or employees, to attack, set aside, void or annul any approval of the City, including but not limited to any approval granted by the City Council, Planning Commission, or Design Review Board concerning this project. The City shall promptly notify the applicant of any claim, action or proceeding and should cooperate fully in the defense thereof.

# SENIOR CENTER

SENIOR CENTER  
HUNTINGTON BEACH, CA

0713.1283.01

KKE architects, Inc. 525 E. Colorado Boulevard, 4th Floor, Pasadena, CA 91101 T: 626.796.8230 F: 626.796.8735

PROJECT FOR:



4100 MACARTHUR BLVD.  
SUITE 200  
NEWPORT BEACH,  
CA 92660

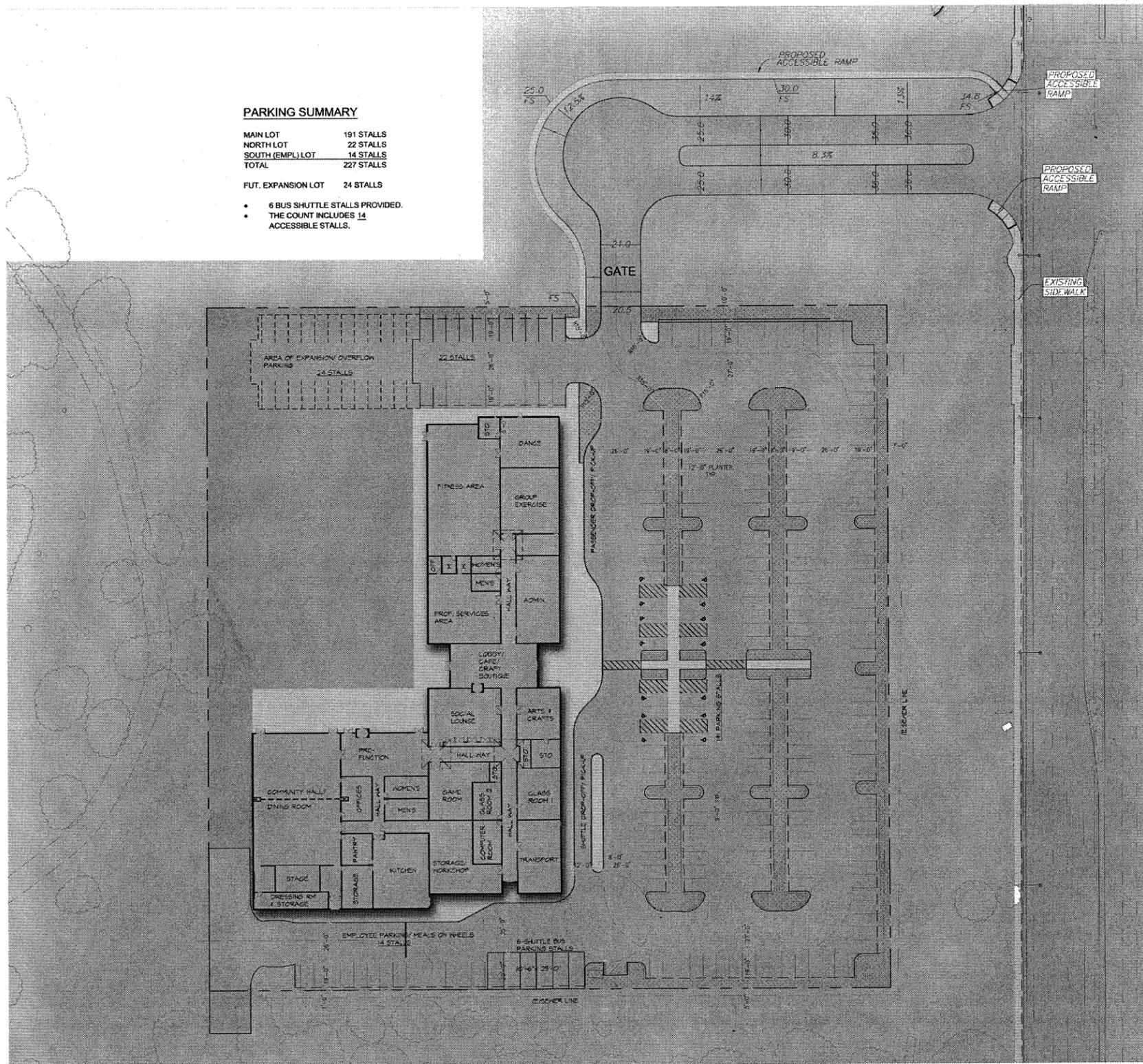
T: 949.255.1100  
F: 949.255.1128

### PARKING SUMMARY

MAIN LOT	191 STALLS
NORTH LOT	22 STALLS
SOUTH (EMPL.) LOT	14 STALLS
TOTAL	227 STALLS

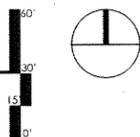
FUT. EXPANSION LOT 24 STALLS

- 6 BUS SHUTTLE STALLS PROVIDED.
- THE COUNT INCLUDES 14 ACCESSIBLE STALLS.



### SITE PLAN

JULY 9, 2007



NOTE: THIS INFORMATION IS CONCEPTUAL IN NATURE AND IS SUBJECT TO ADJUSTMENTS PENDING FURTHER VERIFICATION AND CLIENT, TENANT, AND GOVERNMENTAL AGENCY APPROVALS. NO WARRANTIES OR GUARANTIES OF ANY KIND ARE GIVEN OR IMPLIED BY THE ARCHITECT.

ATTACHMENT NO. 2.1



# SENIOR CENTER

SENIOR CENTER  
HUNTINGTON BEACH, CA

0713.1283.01

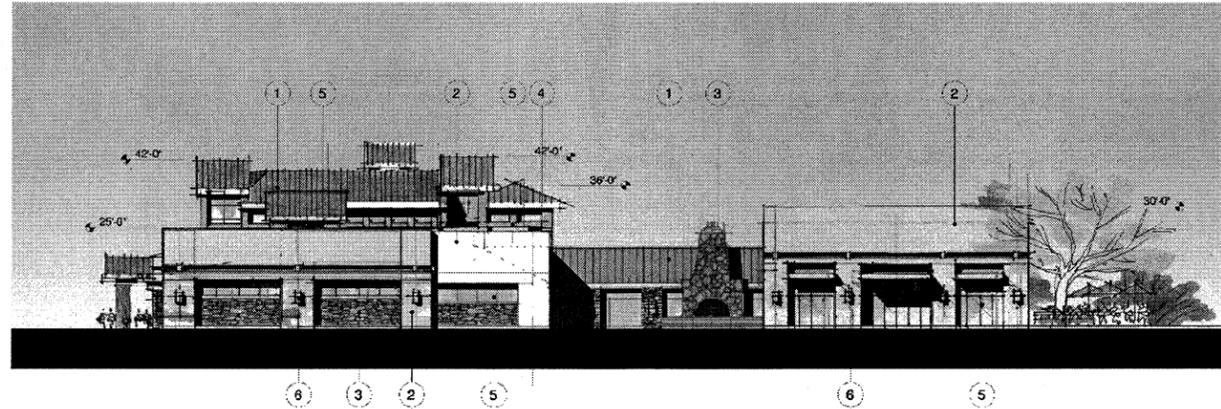
KKE architects, Inc. 525 E. Colorado Boulevard, 4th Floor, Pasadena, CA 91101 T: 626.796.8230 F: 626.796.8735

PROJECT FOR:

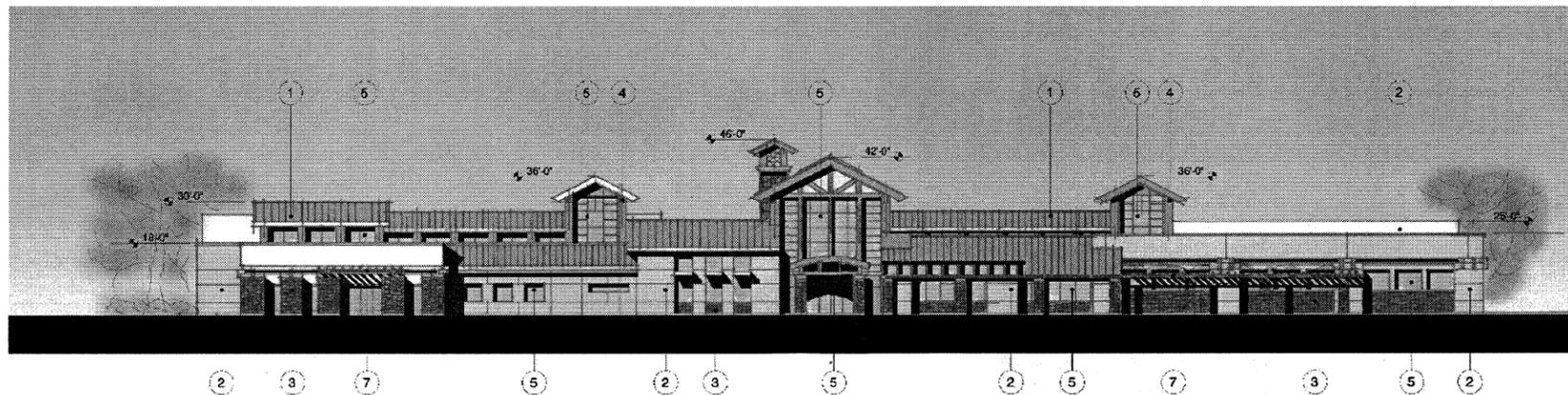
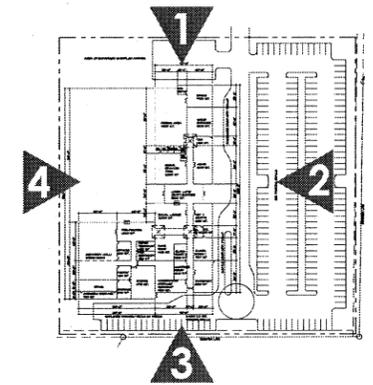


4100 MACARTHUR BLVD.  
SUITE 200  
NEWPORT BEACH,  
CA 92660

T: 949.255.1100  
F: 949.255.1128



1. NORTH ELEVATION



2. EAST ELEVATION

**MATERIALS**

- 1. STANDING METAL SEAM ROOF
- 2. STUCCO
- 3. DRY STACK STONE
- 4. WOOD/METAL RAFTERS
- 5. GLAZING
- 6. LIGHT FIXTURE
- 7. WOOD TRELLIS

**ELEVATIONS**

JULY 9, 2007



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ATTACHMENT NO. 2.2



# SENIOR CENTER

SENIOR CENTER  
HUNTINGTON BEACH, CA

0713.1283.01

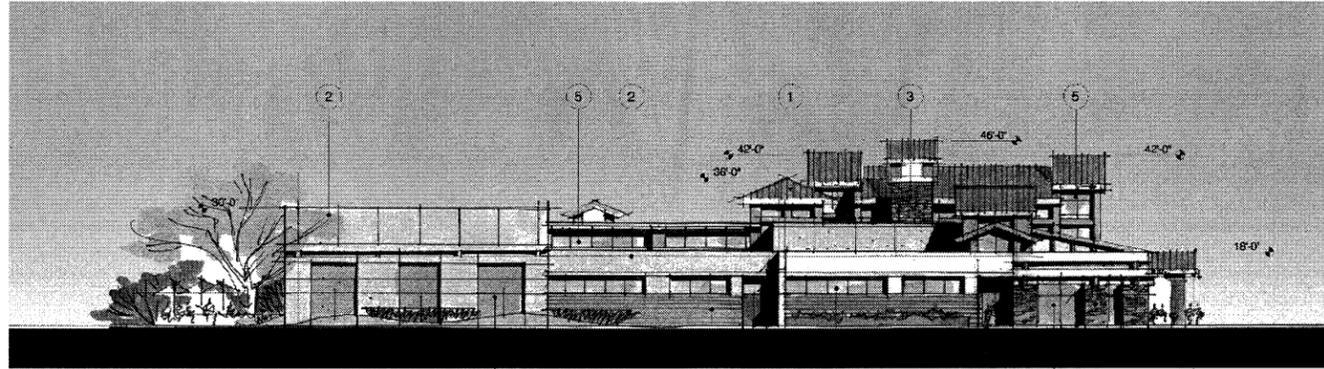
KKE architects, Inc. 525 E. Colorado Boulevard, 4th Floor, Pasadena, CA 91101 t: 626.796.8230 f: 626.796.8735

PROJECT FOR:



4100 MACARTHUR BLVD.  
SUITE 200  
NEWPORT BEACH,  
CA 92660

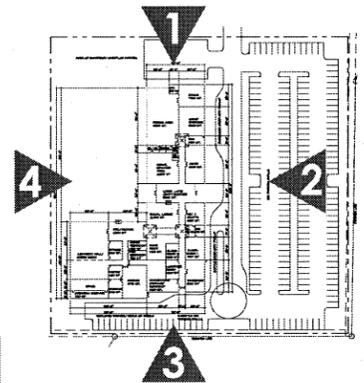
T: 949.255.1100  
F: 949.255.1128



3. SOUTH ELEVATION



4. WEST ELEVATION



**MATERIALS**

- 1. STANDING METAL SEAM ROOF
- 2. STUCCO
- 3. DRY STACK STONE
- 4. WOOD/METAL RAFTERS
- 5. GLAZING
- 6. LIGHT FIXTURE
- 7. WOOD TRELLIS

**ELEVATIONS**

JULY 9, 2007



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ATTACHMENT NO. 23



# SENIOR CENTER

SENIOR CENTER  
HUNTINGTON BEACH, CA

0713.1283.01

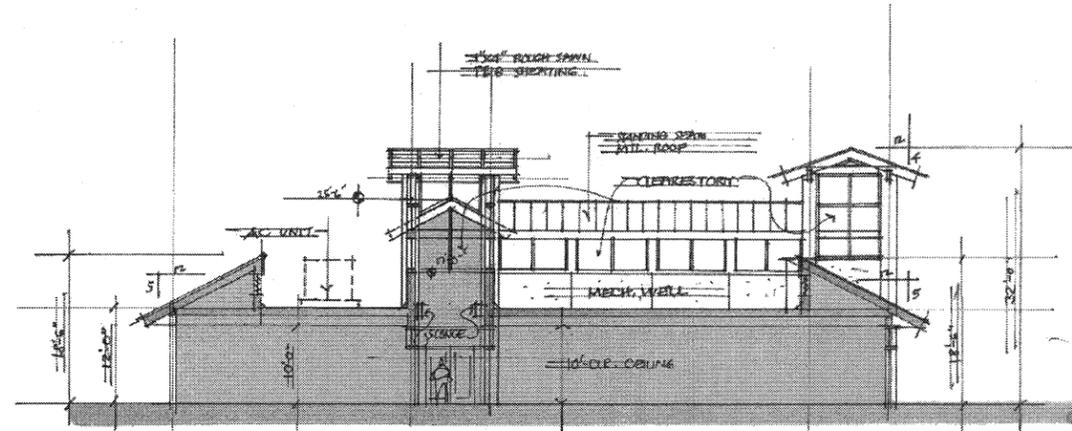
KKE architects, Inc. 525 E. Colorado Boulevard, 4th Floor, Pasadena, CA 91101 T: 626.796.8230 F: 626.796.8735

PROJECT FOR:

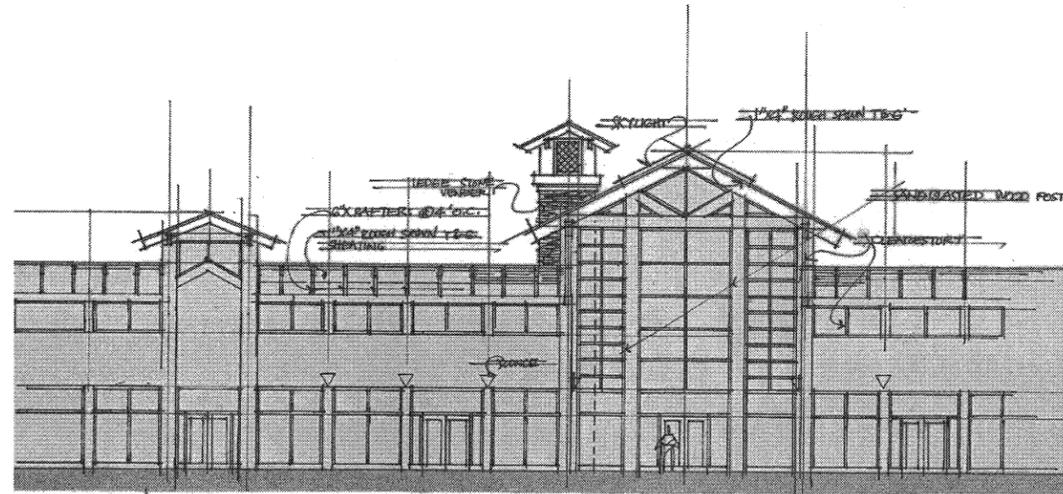


4100 MACARTHUR BLVD.  
SUITE 200  
NEWPORT BEACH,  
CA 92660

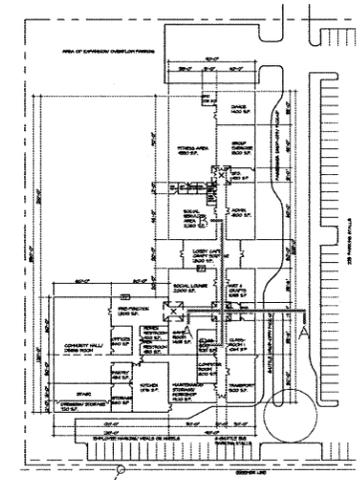
T: 949.255.1100  
F: 949.255.1128



SECTION A



SECTION B



## SECTIONS

JULY 9, 2007



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ATTACHMENT NO. 2.4



Project Narrative: Proposed Senior Center – Huntington Central Park

The City of Huntington Beach City Council has, as part of its strategic plan, set a goal of building a new senior center to accommodate the growing senior population. This Conditional Use Permit is being initiated to begin the development of this new facility, which will be able to accommodate a growing number of seniors in the Huntington Beach community.

Huntington Beach is anticipating a 64 percent increase in the senior population by the year 2020, bringing the number of Huntington Beach seniors to over 50,000. The City of Huntington Beach Senior Center will provide high-quality, community-based programs for social support, health promotion, volunteer development, information and referral, advocacy, education, outreach, nutritional assistance, and physical activity for the city's senior adults. Approximately 9 permanent and 20 part-time staff members deliver this service to the community.

The proposed project site is centrally located and would be contained on an undeveloped five-acre area, immediately north of the existing disc golf course; east of the group picnic shelter and open group activity area. Further north is the Shipley Nature Center. The site is southwest of the intersection at Goldenwest Street and Talbert Avenue. Goldenwest, is a major arterial within the city which has access to public transportation. There are compatible activities in the park that could be enjoyed by seniors, including Shipley Nature Center and Central Library. The site would provide one acre for an approximately 45,000 square foot building, nearly two acres for 227 parking spaces, and an additional two acres for courtyards and landscaping.

The normal facility hours of operation will be Monday through Friday, 8:00 A.M until 4:30 P.M. with classes and activities potentially scheduled until 10:00 P.M. Classes and activities may be scheduled on Saturday and Sunday from 8:00 A.M. until 10:00 P.M., with the possibility of special events being offered on Friday and Saturday nights until midnight through a permit process.



# City of Huntington Beach

2000 MAIN STREET

CALIFORNIA 92648

## DEPARTMENT OF PLANNING

Phone 536-5271  
Fax 374-1540

November 20, 2007

City of Huntington Beach  
2000 Main Street  
Huntington Beach, CA 92648  
Attn: David Dominguez, Community Services Dept.

**SUBJECT: CONDITIONAL USE PERMIT NO. 07-039 (HUNTINGTON BEACH SENIOR CENTER)**

**18041 GOLDENWEST STREET, HUNTINGTON BEACH (SOUTHWEST OF THE INTERSECTION OF GOLDENWEST STREET/TALBERT AVENUE IN CENTRAL PARK)**

Dear Mr. Dominguez:

In order to assist you with your development proposal, staff has reviewed the project and identified applicable city policies, standard plans, and development and use requirements, excerpted from the City of Huntington Beach Zoning & Subdivision Ordinance (HBZSO) and Municipal Codes. This list is intended to help you through the permitting process and various stages of project implementation.

It should be noted that this requirement list is in addition to any "conditions of approval" adopted by the Planning Commission. Please note that if the design of your project or site conditions change, the list may also change.

The attached project implementation requirements may be appealed to the Planning Commission as a matter separate from the associated entitlement within 10 calendar days of the project approval pursuant to the HBZSO Sec. 248.24. The appeal fee is \$494.00.

If you would like a clarification of any of these requirements, an explanation of the Huntington Beach Zoning & Subdivision Ordinance and Municipal Codes, or believe some of the items listed do not apply to your project, and/or you would like to discuss them in further detail, please contact me at 714-374-1661 or at [jvillasenor@surfcity-hb.org](mailto:jvillasenor@surfcity-hb.org) and/or the respective source department (contact person below).

Sincerely,

JENNIFER VILLASENOR  
Associate Planner

Enclosure

cc: Ken Small, Police Chief  
Eric Haghani, Building & Safety Dept.  
Lee Caldwell, Fire Dept.

Debbie DeBow, Public Works Dept.

ATTACHMENT NO. 4.1



## CITY OF HUNTINGTON BEACH PLANNING DEPARTMENT

### PROJECT IMPLEMENTATION CODE REQUIREMENTS

**DATE:** NOVEMBER 20, 2007  
**PROJECT NAME:** HUNTINGTON BEACH SENIOR CENTER  
**ENTITLEMENTS:** CONDITIONAL USE PERMIT NO. 07-039  
**PROJECT LOCATION:** 18041 GOLDENWEST STREET, HUNTINGTON BEACH  
(SOUTHWEST OF THE INTERSECTION OF GOLDENWEST STREET/TALBERT AVENUE IN CENTRAL PARK)  
**PLAN REVIEWER:** JENNIFER VILLASENOR, ASSOCIATE PLANNER  
**TELEPHONE/ E-MAIL:** (714) 374-1661/ jvillasenor@surfcity-hb.org  
**PROJECT DESCRIPTION:** CONSTRUCTION AND OPERATION OF A 45,000 SQUARE FOOT SENIOR RECREATION FACILITY ON A 5-ACRE SITE WITH GREATER THAN A 3-FOOT GRADE DIFFERENTIAL.

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The following is a list of code requirements deemed applicable to the proposed project based on plans received and dated October 17, 2007. The list is intended to assist the applicant by identifying requirements which must be satisfied during the various stages of project permitting and implementation. A list of conditions of approval adopted by the Planning Commission in conjunction with the requested entitlement(s), if any, will also be provided upon final project approval. If you have any questions regarding these requirements, please contact the Plan Reviewer.

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1. The site plan, floor plans, and elevations approved by the Planning Commission shall be the conceptually approved design with the following modifications:
  - a. Parking lot striping shall comply with Chapter 231 of the Zoning and Subdivision Ordinance and Title 24, California Administrative Code.
  - b. Depict all utility apparatus, such as but not limited to, back flow devices and Edison transformers on the site plan. Utility meters shall be screened from view from public right-of-ways. Electric transformers in a required front or street side yard shall be enclosed in subsurface vaults. Backflow prevention devices shall be prohibited in the front yard setback and shall be screened from view.
  - c. All exterior mechanical equipment shall be screened from view on all sides. Rooftop mechanical equipment shall be setback a minimum of 15 feet from the exterior edges of the building. Equipment to be screened includes, but is not limited to, heating, air conditioning, refrigeration equipment, plumbing lines, ductwork and transformers. Said screening shall be architecturally compatible with the building in terms of materials and colors. If screening is not designed specifically into the building, a rooftop mechanical equipment plan showing proposed screening must be submitted for review and approval with the application for building permit(s).
  - d. Depict the location of all gas meters, water meters, electrical panels, air conditioning units, mailboxes (as approved by the United States Postal Service), and similar items on the site plan and elevations. If located on a building, they shall be architecturally integrated with the design of the building, non-obtrusive, not interfere with sidewalk areas and comply with required setbacks.

ATTACHMENT NO. 4.2

- e. All parking area lighting shall be energy efficient and designed so as not to produce glare on adjacent residential properties. Security lighting shall be provided in areas accessible to the public during nighttime hours, and such lighting shall be on a photo-sensor system. (HBZSO 231.18(C))
  - f. Bicycle parking facilities shall be provided in accordance with the provisions of HBZSO Section 231.20 – *Bicycle Parking*.
  - g. Loading space shall be provided in accordance with the provisions of HBZSO section 231.04 A.
2. Prior to issuance of grading permits, the following shall be completed:
- a. At least 14 days prior to any grading activity, the applicant/developer shall provide notice in writing to property owners of record and tenants of properties immediately adjacent to and across the street/alley from the project site. The notice shall include a general description of planned grading activities and an estimated timeline for commencement and completion of work and a contact person name with phone number. Prior to issuance of the grading permit, a copy of the notice and list of recipients shall be submitted to the Planning Department.
  - b. If any walls are proposed, blockwall/ fencing plans (including a site plan, section drawings and elevations, depicting the height and material of all retaining walls, freestanding walls and fences) consistent with the grading plan, shall be submitted to and approved by the Planning Department. Double walls shall be prohibited. Prior to construction of any new property line walls or fences, a plan, approved by the owners of adjacent properties, and identifying the removal of any existing walls, shall be submitted to the Planning Department for review and approval. The plans shall identify proposed wall and fence materials, seep holes and drainage.
3. Prior to submittal for building permits Zoning entitlement conditions of approval, code requirements identified herein and code requirements identified in separately transmitted memorandum from the Departments of Fire and Public Works shall be printed verbatim on one of the first three pages of all the working drawing sets used for issuance of building permits (architectural, structural, electrical, mechanical and plumbing) and shall be referenced in the sheet index. The minimum font size utilized for printed text shall be 12 point.
4. Prior to issuance of building permits, the following shall be completed:
- a. An interim parking and building materials storage plan shall be submitted to the Planning Department to assure adequate parking and restroom facilities are available for contractors and construction workers during the project's construction phase and that adjacent properties will not be impacted by their location. The plan shall also be reviewed and approved by the Fire Department and Public Works Department. The applicant shall obtain any necessary encroachment permits from the Public Works Department.
5. During demolition, grading, site development, and/or construction, the following shall be adhered to:
- a. Construction equipment shall be maintained in peak operating condition to reduce emissions.
  - b. Use low sulfur (0.5%) fuel by weight for construction equipment.
  - c. Truck idling shall be prohibited for periods longer than 10 minutes.
  - d. Attempt to phase and schedule activities to avoid high ozone days first stage smog alerts.
  - e. Discontinue operation during second stage smog alerts.

- f. Clearly visible signs shall be posted on the perimeter of the site identifying the name and phone number of a field supervisor to contact for information regarding the development and any construction/ grading activity.
  - g. All Huntington Beach Zoning and Subdivision Ordinance and Municipal Code requirements including the Noise Ordinance. All activities including truck deliveries associated with construction, grading, remodeling, or repair shall be limited to Monday – Friday from 7:00 AM to 7:00 PM and Saturdays from 8:00 AM to 5:00 PM. Such activities are prohibited Sundays and Federal holidays.
6. New structure(s) cannot be occupied, the final building permit(s) cannot be approved, and utilities cannot be released until the following has been completed:
    - a. All improvements shall be completed in accordance with approved plans, except as provided for by conditions of approval.
    - b. All building spoils, such as unusable lumber, wire, pipe, and other surplus or unusable material, shall be disposed of at an off-site facility equipped to handle them.
    - c. A Certificate of Occupancy must be approved by the Planning Department and issued by the Building and Safety Department.
  7. Only the uses described in the project narrative received and dated October 17, 2007 shall be permitted, except as modified pursuant to Conditional Use Permit No. 07-039.
  8. The Development Services Departments (Building & Safety, Fire, Planning and Public Works) shall be responsible for ensuring compliance with all applicable code requirements and conditions of approval. The Director of Planning may approve minor amendments to plans and/or conditions of approval as appropriate based on changed circumstances, new information or other relevant factors. Any proposed plan/project revisions shall be called out on the plan sets submitted for building permits. Permits shall not be issued until the Development Services Departments have reviewed and approved the proposed changes for conformance with the intent of the Planning Commission's action. If the proposed changes are of a substantial nature, an amendment to the original entitlement reviewed by the Planning Commission may be required pursuant to the provisions of HBZSO Section 241.18.
  9. The applicant and/or applicant's representative shall be responsible for ensuring the accuracy of all plans and information submitted to the City for review and approval.
  10. Conditional Use Permit No. 07-039 shall not become effective until the ten calendar day appeal period from the final approval of the entitlements has elapsed.
  11. Conditional Use Permit No. 07-039 shall become null and void unless exercised (by commencement of construction) within one year of the date of final approval or such extension of time as may be granted by the Director pursuant to a written request submitted to the Planning Department a minimum 30 days prior to the expiration date.
  12. The Planning Commission reserves the right to revoke Conditional Use Permit No. 07-039 pursuant to a public hearing for revocation, if any violation of the conditions of approval, Huntington Beach Zoning and Subdivision Ordinance or Municipal Code occurs.
  13. The project shall comply with all applicable requirements of the Municipal Code, Building & Safety Department and Fire Department, as well as applicable local, State and Federal Fire Codes, Ordinances, and standards, except as noted herein.

ATTACHMENT NO. 4.4

14. Construction shall be limited to Monday – Friday from 7:00 AM to 7:00 PM and Saturdays from 8:00 AM to 5:00 PM. Construction shall be prohibited Sundays and Federal holidays.
15. All landscaping shall be maintained in a neat and clean manner, and in conformance with the HBZSO and approved plans. Prior to removing or replacing any landscaped areas, check with the Departments of Planning and Public Works for applicable Code requirements. Substantial changes may require approval by the Planning Commission.
16. All permanent, temporary, or promotional signs shall conform to Chapter 233 of the HBZSO. Prior to installing any new signs, changing sign faces, or installing promotional signs, applicable permit(s) shall be obtained from the Planning Department. Violations of this ordinance requirement may result in permit revocation, recovery of code enforcement costs, and removal of installed signs.



## HUNTINGTON BEACH PUBLIC WORKS DEPARTMENT

### PROJECT IMPLEMENTATION CODE REQUIREMENTS

**DATE:** REVISED NOVEMBER 8, 2007  
**PROJECT NAME:** HUNTINGTON BEACH SENIOR CENTER  
**ENTITLEMENTS:** CONDITIONAL USE PERMIT 07-039  
**PLNG APPLICATION NO:** 2007-039  
**DATE OF PLANS:** OCTOBER 17, 2007  
**PROJECT LOCATION:** GOLDENWEST ST. (HUNTINGTON CENTRAL PARK)  
**PLANNER:** JENNIFER VILLASENOR, ASSOCIATE PLANNER  
**TELEPHONE/E-MAIL:** 714-374-1661 / JVILLASENOR@SURFCITY-HB.ORG  
**PLAN REVIEWER:** DEBORAH DE BOW, SENIOR CIVIL ENGINEER  
**TELEPHONE/E-MAIL:** 714-536-5528 / DDEBOW@SURFCITY-HB.ORG

**PROJECT DESCRIPTION:** The proposed Senior Center is located on a 5-acre site within a 14-acre undeveloped area in Central Park, southwest of the intersection of Goldenwest Street and Talbert Avenue. The proposed one-story building is 45,000 square feet and has approximately 227 parking spaces on site.

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The following is a list of code requirements deemed applicable to the proposed project based on plans as stated above. The items below are to meet the City of Huntington Beach's Municipal Code (HBMC), Zoning and Subdivision Ordinance (ZSO), Department of Public Works Standard Plans (Civil, Water and Landscaping) and the American Public Works Association (APWA) Standards Specifications for Public Works Construction (Green Book), the Orange County Drainage Area management Plan (DAMP), and the City Arboricultural and Landscape Standards and Specifications. The list is intended to assist the applicant by identifying requirements which shall be satisfied during the various stages of project permitting, implementation and construction. If you have any questions regarding these requirements, please contact the Plan Reviewer or Project Planner.

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#### THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A GRADING PERMIT:

1. The site plan received and dated August 6, 2007 and the Conceptual Grading & Utility Plan (by Fuscoe Engineering) revised date Sept. 4, 2007; shall be the conditionally approved layouts, with the exception of the following:

ATTACHMENT NO. 4.6

- a. The cul-de-sac design at the westerly terminus of the main driveway to the Senior Center shall be re-designed to a "T" intersection configuration, to allow for future access to the north.
  - b. A new public water main shall be constructed on-site, and shall have two points of connection to the 12-inch public water main in Goldenwest St. (ZSO 225.04E).
2. A Precise Grading Plan, prepared by a Licensed Civil Engineer, shall be submitted to the Public Works Department for review and approval. (MC 17.05/ZSO 230.84) The plans shall comply with Public Works plan preparation guidelines and include the following improvements on the plan:
- a. Appropriate sections of curb, gutter and sidewalk along Goldenwest St. shall be removed per Public Works standards to allow for the construction of a new access driveway. (ZSO 230.84)
  - b. A new ADA compliant driveway approach shall be constructed on the west side of Goldenwest St. per Public Works Standard Plan No. 211. The design of this driveway shall allow for a curb-to-curb width of 50-ft, allowing for one left turn (egress) lane, and one shared through/right turn (egress) lane (ZSO 230.84)
  - c. ADA compliant access ramps shall be constructed north and south of this driveway approach per Caltrans Standard Plan A88A. (ZSO 230.84, ADA)
  - d. A new sewer lateral shall be installed connecting to the existing main. (ZSO 230.84)
  - e. A separate new domestic water service and meter shall be installed per Water Division Standards, and sized to meet the minimum requirements set by the California Plumbing Code (CPC). The domestic water service shall be a minimum of 2-inches in size, and shall connect to the new public water main. (MC 14.08.020)
  - f. A separate new irrigation water service and meter shall be installed per Water Division Standards. The water service, meter (and backflow protection device) shall be a minimum of 2-inches in size, and shall connect to the new public water main. (ZSO 232)
  - g. A separate new fire sprinkler service line shall be installed, as required by the Fire Dept., and shall connect to the new public water main and be constructed per Water Division Standards. As required by the Fire Dept., on-site fire hydrants shall be installed, connected to the new public water main and constructed to Water Division Standards. (ZSO 230.84)
  - h. A separate backflow protection device shall be installed per Water Division Standards for domestic, irrigation, and fire sprinkler services. (Resolution 5921 and Title 17)
  - i. An ADA compliant pedestrian walkway from Goldenwest St. to the Senior Center.
  - j. Lighting for the Senior Center parking lot and pedestrian walkway.
3. A Street Improvement Plan, prepared by a Licensed Civil Engineer, shall be submitted to the Public Works Department for review and approval. (MC 17.05/ZSO 230.84) This plan shall comply with Public Works plan preparation guidelines and include the following improvements on the plan:
- a. The landscape median located in the south leg of Goldenwest shall be modified to allow for a northbound left turn lane into the Senior Center. (ZSO 230.84)
4. A signing and striping plan shall be submitted for the intersection of Goldenwest St. and Talbert Avenue/Central Library. (ZSO 230.64)

ATTACHMENT NO. 4.7

5. A signing and striping plan shall be submitted for Goldenwest St. from 1000 feet south of Slater Avenue to 1000 feet north of Slater Avenue showing the new third through lane. Any traffic signal/detector or loop modifications shall be completed so the intersection operates as intended. (ZSO 230.64)
6. The horizontal/vertical curves at the intersection of Goldenwest at Talbert Avenue/Central Library shall be analyzed for stopping sight distance, and shall be formally presented during the design phase. Additional traffic signal equipment, signing and striping or red curb may be required as a result of this analysis. (ZSO 230.64)
7. Any monument signage, hardscape and landscaping at street intersections shall conform to the sight distance requirements per the City of Huntington Beach Zoning Code. (ZSO 230.88).
8. The developer shall submit for approval by the Fire Department and Water Division, a hydraulic water analyses to ensure that fire service connection from the point of connection at the City water main, to the backflow protection device (or fire hydrant) satisfies Water Division standard requirements; and also to verify that pipeline diameter is adequately sized to satisfy fire flow requirements. (ZSO 230)
9. A site lighting plan for pedestrian walkway and parking lot lighting shall be prepared by a licensed electrical engineer and shall be submitted to the Public Works Department for review and approval. (ZSO 230)
10. A Landscape and Irrigation Plan, prepared by a Licensed Landscape Architect shall be submitted to the Public Works Department for review and approval by the Public Works and Planning Departments. (ZSO 232)
  - a. Plan shall include the entry median islands in the main driveway from the Goldenwest St. signalized intersection to the Senior Center Parking lot.
  - b. Plans shall include the modification of the landscaping and irrigation system in the median in Goldenwest St. Plans shall include relocating existing palms, removal of and replacements of existing trees, shrubs, and ground coverings, modifications to the existing irrigation system including modifying sleeving, valves, head relocations, and moisture sensing devices, and modifications to the existing stamped concrete.
  - c. "Smart irrigation controllers" and/or other innovative means to reduce the quantity of runoff shall be installed. (ZSO 232.04D)
  - d. Irrigation plans shall provide main line and control wire stub outs for future connection to water future slope plantings on the project perimeter and entry driveway.
  - e. All landscape planting, irrigation design and installations shall comply with the City Arboricultural and Landscape Standards and Specifications. City Standard landscape code requirements apply. (ZSO 232)
11. Landscaping plans should utilize native, drought-tolerant landscape materials where appropriate and feasible. (DAMP)
12. The Consulting Arborist (approved by the City Landscape Architect) shall review the final landscape tree planting plan and approve in writing the selection and locations proposed for new trees. Said Arborist report shall be incorporated onto the Landscape Architect's plans as construction notes and/or construction requirements. The report shall include the Arborist's name, certificate number and the Arborist's wet signature on the final plan. (Resolution-4545)

ATTACHMENT NO. 4.8

13. The applicant shall demonstrate that coverage has been obtained under California's General Permit for Stormwater Discharges Associated with Construction Activity by providing a copy of the Notice of Intent submitted to the State Water Resources Control Board and a copy of the subsequent notification of the issuance of a Waste Discharge Identification Number. As required by the permit, a SWPPP shall be prepared and updated as needed during the course of construction to satisfy the requirements of each phase of the development. The plan shall incorporate all necessary Best Management Practices (BMPs) and other City requirements to eliminate polluted runoff until all construction work for the project is completed. (DAMP)
14. A Project WQMP shall be submitted to the Public Works Department for review and acceptance and shall include the following:
- a. Addresses Site Design BMPs (as applicable) such as minimizing impervious areas, maximizing permeability, minimizing directly connected impervious areas, creating reduced or "zero discharge" areas, and conserving natural areas
  - b. Incorporates the applicable Routine Source Control BMPs as defined in the Drainage Area Management Plan (DAMP)
  - c. Incorporates Treatment Control BMPs as defined in the DAMP
  - d. Generally describes the long-term operation and maintenance requirements for the Treatment Control BMPs
  - e. Identifies the entity that will be responsible for long-term operation and maintenance of the Treatment Control BMPs
  - f. Describes the mechanism for funding the long-term operation and maintenance of the Treatment Control BMPs
  - g. Includes an Operations and Maintenance (O&M) Plan for all structural BMPs
  - h. After incorporating plan check comments of Public Works, three final WQMPs (signed by the owner and the Registered Civil Engineer of record) shall be submitted to Public Works for acceptance. After acceptance, two copies of the final report shall be returned to applicant for the production of a single complete electronic copy of the accepted version of the WQMP on CD media that includes:
    - i) The 11" by 17" Site Plan in .TIFF format (400 by 400 dpi minimum).
    - ii) The remainder of the complete WQMP in .PDF format including the signed and stamped title sheet, owner's certification sheet, Inspection/Maintenance Responsibility sheet, appendices, attachments and all educational material.
  - i. The applicant shall return one CD media to Public Works for the project record file.
15. Indicate the type and location of Water Quality Treatment Control BMPs on the Grading Plan consistent with the Project WQMP. The WQMP shall follow the City of Huntington Beach's Project WQMP Preparation Guidance Manual dated June 2006. The WQMP shall be submitted with the first submittal of the Grading Plan.
16. A suitable location, as approved by the City, shall be depicted on the grading plan for the necessary trash enclosure(s). The area shall be paved with an impervious surface, designed not to allow run-on from adjoining areas, designed to divert drainage from adjoining roofs and pavements diverted around the area, and screened or walled to prevent off-site transport of trash.

ATTACHMENT NO. 4.9

The trash enclosure area shall be covered or roofed with a solid, impervious material. Connection of trash area drains into the storm drain system is prohibited. If feasible, the trash enclosure area shall be connected into the sanitary sewer. (DAMP)

17. A detailed soils and geological/seismic analysis shall be prepared by a registered engineer. This analysis shall include on-site soil sampling and laboratory testing of materials to provide detailed recommendations for grading, overexcavation, engineered fill, dewatering, settlement, protection of adjacent structures, chemical and fill properties, liquefaction, retaining walls, streets, and utilities. (MC 17.05.150)
18. If soil remediation is required, a remediation plan shall be submitted to the Planning, Public Works and Fire Departments for review and approval in accordance with City Specifications No. 431-92 and the conditions of approval. The plan shall include methods to minimize remediation-related impacts on the surrounding properties; details on how all drainage associated with the remediation efforts shall be retained on site and no wastes or pollutants shall escape the site; and shall also identify wind barriers around remediation equipment. (MC 17.05.150/FD Spec. 431-92)

**THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLIED WITH DURING GRADING OPERATIONS:**

1. An Encroachment Permit is required for all work within the City's right-of-way. (MC 12.38.010/MC 14.36.030)
2. The developer shall coordinate the development of a truck haul route with the Department of Public Works if the import or export of material in excess of 5000 cubic yards is required. This plan shall include the approximate number of truck trips and the proposed truck haul routes. It shall specify the hours in which transport activities can occur and methods to mitigate construction-related impacts to adjacent residents. These plans must be submitted for approval to the Department of Public Works. (MC 17.05.210)
3. All haul trucks shall arrive at the site no earlier than 8:00 a.m. or leave the site no later than 5:00 p.m., and shall be limited to Monday through Friday only. (MC 17.05)
4. Wet down the areas that are to be graded or that is being graded, in the late morning and after work is completed for the day. (WE-1/MC 17.05)
5. The construction disturbance area shall be kept as small as possible. (California Stormwater BMP Handbook, Construction Erosion Control EC-1) (DAMP)
6. All haul trucks shall be covered or have water applied to the exposed surface prior to leaving the site to prevent dust from impacting the surrounding areas. (DAMP)
7. Prior to leaving the site, all haul trucks shall be washed off on-site on a gravel surface to prevent dirt and dust from leaving the site and impacting public streets. (DAMP)
8. Comply with appropriate sections of AQMD Rule 403, particularly to minimize fugitive dust and noise to surrounding areas. (AQMD Rule 403)
9. Remediation operations, if required, shall be performed in stages concentrating in single areas at a time to minimize the impact of fugitive dust and noise on the surrounding areas. (DAMP)
10. All construction materials, wastes, grading or demolition debris and stockpiles of soils, aggregates, soil amendments, etc. shall be properly covered, stored and secured to prevent transport into surface or ground waters by wind, rain, tracking, tidal erosion or dispersion. (DAMP)

ATTACHMENT NO. 4.10

**THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO  
ISSUANCE OF A BUILDING PERMIT:**

1. A Precise Grading Permit shall be issued. (MC 17.05)

**THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO  
ISSUANCE OF AN ENCROACHMENT PERMIT:**

1. Traffic Control Plans, prepared by a Licensed Civil or Traffic Engineer, shall be prepared in accordance with the latest edition of the City of Huntington Beach Construction Traffic Control Plan Preparation Guidelines and submitted for review and approval by the Public Works Department. For all work within or affecting the public street right-of-way. (Construction Traffic Control Plan Preparation Guidelines)

**THE FOLLOWING DEVELOPMENT REQUIREMENTS SHALL BE COMPLETED PRIOR TO FINAL  
INSPECTION OR OCCUPANCY:**

1. Complete all improvements as shown on the approved grading, street improvement and landscape plans. (MC 17.05)
2. All landscape irrigation and planting installation shall be certified to be in conformance to the City approved landscape plans by the Landscape Architect of record in written form to the City Landscape Architect. (ZSO 232.04D)
3. Applicant shall provide City with CD media TIFF images (in City format) and CD (AutoCAD only) copy of complete City Approved landscape construction drawings as stamped "Permanent File Copy" prior to starting landscape work. Copies shall be given to the City Landscape Architect for permanent City record.
4. Prior to grading or building permit close-out and/or the issuance of a certificate of use or a certificate of occupancy, the applicant shall:
  - a. Demonstrate that all structural BMPs described in the Project WQMP have been constructed and installed in conformance with approved plans and specifications.
  - b. Demonstrate all drainage courses, pipes, gutters, basins, etc. are clean and properly constructed.
  - c. Demonstrate that applicant is prepared to implement all non-structural BMPs described in the Project WQMP.
  - d. Demonstrate that an adequate number of copies of the approved Project WQMP are available for the future occupiers.
5. All new utilities shall be undergrounded. (MC 17.64.060)
6. The Water Ordinance #14.52, the "Water Efficient Landscape Requirements" apply for projects with 2500 square feet of landscaping and larger. (MC 14.52)
7. All applicable Public Works fees shall be paid at the current rate unless otherwise stated, per the Public Works Fee Schedule adopted by the City Council Resolutions 2007-58 and 2007-59. (ZSO 240.06/ZSO 250.16)

ATTACHMENT NO. 4.11



## CITY OF HUNTINGTON BEACH POLICE DEPARTMENT

### PROJECT IMPLEMENTATION RECOMMENDATIONS

**DATE:** October 30, 2007  
**PROJECT LOCATION:** Huntington Central Park  
**PROJECT PLANNER:** Jennifer Villasenor  
**PLAN REVIEWER:** JAN THOMAS, HUNTINGTON BEACH POLICE DEPARTMENT  
**TELEPHONE/E-MAIL:** (949) 348-8186 jckthomas@cox.net  
**PROJECT DESCRIPTION:** PROPOSED 45,000 SQUARE FOOT HUNTINGTON BEACH SENIOR CENTER

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The following is a list of recommendations deemed applicable to the proposed project based on plans received and dated 10-17-07. The comments are based on the discipline Crime Prevention Through Environmental Design (CPTED), which identifies aspects of the development that could benefit through application of crime prevention concepts. Comments are categorized under "Recommendations to enhance the quality of the project" or "Suggested conditions." Comments are intended to assist the applicant by identifying areas that would benefit the users of the property as well as the Huntington Beach Police Department through implementation of the following suggestions. If you have any questions regarding these requirements, please contact the Plan Reviewer.

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Statistically, seniors have the highest fear of crime compared to other age groups. Lighting, visibility to and from the building, as well as clear definition of the property helps to reduce crime and the fear of crime in its users.

#### Suggested conditions

The drive aisle on the east side of the building will be used consistently by pedestrians who park their cars then cross that drive aisle to reach the entrance to the building.

Recommendation: Use enhanced pavement or striping in the drive aisle between the east parking lot and the building. This tells motorists to watch for pedestrians crossing from the parking lot to the building entrance.

There is little if no visibility looking out to employee parking on south side of building (kitchen and storage/workshop windows appear to be too high to look out).

Recommendation: Switch the employee parking spaces with the shuttle parking spaces. The employees should be in a more visible location than the shuttles.

Recommendation: This employee parking/shuttle area should be well lighted to attempt to compensate for the lack of visibility in that area.

Good lighting in all areas of the property during all hours of darkness is imperative.

ATTACHMENT NO. 412

Recommendation: Since the center will be used by other users until 10:00 p.m. on some nights, the highest lighting levels should remain in place until midnight. After that, security level lighting shall take effect.

Clear signage allows motorists on Goldenwest to find the drive aisle and turn in quickly without impeding traffic.

Recommendation: Ensure that signage at entrance of the driveway off Goldenwest should be clear and large, allowing motorists to see it quickly and easily.

**Recommendations to enhance the quality of the project:**

The senior center windows are vulnerable to burglary.

Recommend security glazing on windows. It forms a strong shield that holds broken glass and forms a strong but virtually invisible shield that holds broken glass in place—delaying and deterring perpetrators whose goal is quick entry through shattered windows.

For the safety of the people using the facility, all exterior doors should be locked and people enter only through main entrance. This provides more control over activity on the property.



**HUNTINGTON BEACH  
BUILDING & SAFETY DEPARTMENT  
PROJECT IMPLEMENTATION CODE REQUIREMENTS**

**DATE:** OCTOBER 23, 2007  
**PROJECT NAME:** HUNTINGTON BEACH SENIOR CENTER PROJECT  
**ENTITLEMENTS:** EIR No. 07-002/CUP No. 07-039  
**DATE OF PLANS:** OCTOBER 17, 2007  
**PROJECT LOCATION:** HUNTINGTON CENTRAL PARK  
**PLAN REVIEWER:** ERIC HAGHANI, PLAN CHECK ENGINEER  
**TELEPHONE/E-MAIL:** (714) 374-1589 / EHAGHANI@SURFCITY-HB.ORG  
**PROJECT DESCRIPTION:** NEW ONE-STORY 45,000 SF BUILDING

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The following is a list of code requirements deemed applicable to the proposed project based on plans as stated above. The list is intended to assist the applicant by identifying requirements which must be satisfied during the various stages of project permitting and implementation. Compliance is required prior to building permit issuance and all applicable items must meet the Huntington Beach Municipal Code (HBMC) and the California Code of Regulations (CCR or Title 24).

*Note:* The submitted plans are conceptual and a complete review is not possible at this stage. However, the following general information is provided to help facilitate the development by giving upfront information on building code issues, City policies, and other codes or laws as they apply to the project. If you have any questions regarding these requirements, please contact the Plan Reviewer.

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**I. SPECIAL CONDITIONS:**

1. None

**II. CODE ISSUES:**

1. The codes in effect are the: 2001 California Building Code ('01 CBC), 2001 California Plumbing Code ('01 CPC), 2001 California Mechanical Code ('01 CMC), 2004 California Electrical Code ('04 CEC) and 2005 California Energy Efficiency Standards as adopted by the City.
2. Plans submitted in January 2008 and thereafter shall comply with the 2007 CBC, which is based on the 2006 IBC as amended by the State of California.
3. Plan submittal documents must include "Conditions of Approval".
4. A Certificate of Occupancy application is required for this project.

ATTACHMENT NO. 4.14

5. Plans must be prepared and stamped and wet signed by a California licensed Architect and/or Engineer.
6. A copy of the approved "Grading Plan" by Planning and Public Works Departments must be attached to the approved sets of construction plans prior to issuance of building permits.
7. The grading plan shall be reviewed and approved by the architect for all site accessibilities. A statement, by the architect, shall be put on the grading plans stating that the plans have been reviewed and approved for all site accessibilities.
8. On the Site Plan show the location of the "*collecting and loading of recyclable material*". Check with Public Works, Planning, and Fire Departments for any specific requirements.
9. Plans and details shall show full compliance with all applicable accessibility provisions of the CBC Chapter 11B.
10. Soils report required for this site and must include:
  - a. Liquefaction analysis and recommendations
  - b. Show distance to fault(s) and classify fault type and soil type used by the California Building Code © for seismic design
  - c. Report for protection of buried pipe due to corrosion. Recommendations must provide specific method to install protective materials or devices



## HUNTINGTON BEACH FIRE DEPT.

### PROJECT IMPLEMENTATION CODE REQUIREMENTS

**DATE:** NOVEMBER 4, 2007  
**PROJECT NAME:** SENIOR CENTER – PRELIMINARY PLAN REVIEW  
**ENTITLEMENTS:**  
**PROJECT LOCATION:** TALBERT AND GOLDENWEST, HUNTINGTON BEACH, CA  
**PLANNER:** JENNIFER VILLASENOR  
**TELEPHONE/E-MAIL:** (714) 374-1661 / jvillasenor@surfcity-hb.org  
**PLAN REVIEWER-FIRE:** LEE CALDWELL, FIRE DEVELOPMENT SPECIALIST  
**TELEPHONE/E-MAIL:** (714) 536-5531/ lcaldwell@surfcity-hb.org  
**PROJECT DESCRIPTION:** REVIEW OF PRELIMINARY PLANS FOR A NEW SENIOR CENTER.

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The following is a list of requirements deemed applicable to the proposed project based on a CONCEPTUAL DRAWING received and dated October 18, 2007. The list is intended to assist the applicant by identifying requirements which must be satisfied during the various stages of project permitting and implementation. If you have any questions regarding these requirements, please contact the Plan Reviewer- Fire: LEE CALDWELL, FIRE DEVELOPMENT SPECIALIST.

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#### THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO ISSUANCE OF BUILDING PERMITS:

- a. Proof of Soil Compliance or Clean Up is required. All soils shall conform to City Specification # 431-92 Soil Clean-Up Standards, and testing results must be submitted, and approved by the Fire Department prior to issuance of a grading or building permit. **(FD)**
- b. Soil methane gas test required. Review of existing documentation of soil gas test at the Sports Center site may meet requirement. **(FD)**
- c. Building plans shall reference that "All soils shall conform to City Specification # 431-92 Soil Clean-Up Standards. **(FD)**
- d. Fire Sprinklers are required. An automatic fire sprinkler system is required for buildings over 5000 square feet. Roughly 45,000 square feet is proposed. Separate plans (three sets) shall be submitted to the Fire Department for permits and Fire Department approval. The system shall provide water flow, tamper and trouble alarms, manual pull stations, interior and exterior horns and strobes, and 24-hour central station monitoring. For Fire Department approval, reference that a fire sprinkler system will be installed in compliance with City Specification # 420 - Automatic Fire Sprinkler Systems in the building plan notes. **(FD)**

ATTACHMENT NO. 4.16

- e. Commercial fire sprinkler systems shall be supplied from a dedicated fire water service installed per Water Division Standards. The dedicated fire water service connection shall be a minimum of four inches (4") in size. Depending on fire sprinkler system demands, larger water service may be required. Separate plans shall be submitted to the Public Works Department for approval and permits, and must be completed prior to issuance of a grading permit. The dedicated fire water service off-site improvements shall be shown on a precise grading plan, prepared by a Licensed Civil Engineer. Contact Huntington Beach Public Works Department (714-536-5431) for offsite water improvement requirements. **(FD)**
  
- f. Fire Department Connection (FDC) to the automatic fire sprinkler system shall be located to the front of the building within 150 feet of a properly rated fire hydrant. Portray FDC location on the site plan. NOTE: Current plans appear to meet this requirement. NOTE: Current plans appear to meet this requirement. **(FD)**
  
- g. New Fire Hydrants (2) must be portrayed on the site plan, and be installed/ in service before combustible construction begins (See attached sketch for locations). Shop drawings shall be submitted to the Public Works Department and approved by the Fire Department when additional hydrants are required. Indicate Fire Department sprinkler connections. Reference compliance in the plan notes. NOTE: Current plans appear to meet this requirement. **(FD)**
  
- h. Class III standpipe connection is required ( two locations-see attachments). (2 ½ " hose connection). Shop drawings shall be submitted and approved by the Fire Department prior to system installation. **(FD)**
  
- i. Dumpsters or containers with an individual capacity of 1.5 cubic yards (40.5 cubic feet) or more shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines unless protected by an approved fire sprinkler system. HBFC 1103.2.2 For Fire Department approval, reference and demonstrate compliance with HBFC 1103.2.2 NOTE: Current plans appear to meet this requirement. **(FD)**
  
- j. Food Preparation Fire Protection System may be required for this project, dependant on the type of kitchen equipment installed. Plans (three sets) shall be submitted to the Building Department as separate plans for permits and Fire Department approval. Reference compliance with *City Specification # 412 Protection Of Commercial Cooking Operations* in the plan notes. **(FD)**
  
- k. Fire Extinguishers shall be installed and located in all areas to comply with Huntington Beach Fire Code standards found in *City Specification #424*. The minimum required dry chemical fire extinguisher size is 2A 10BC and shall be installed within 75 feet travel distance to all portions of the building. Extinguishers are required to be serviced or replaced annually. For Fire Department approval, reference and demonstrate compliance with *City Specification #424 – Portable Fire Extinguishers* on the plans. **(FD)**

- I. Commercial Fire Alarm System in compliance with Huntington Beach Fire Code is required. For Fire Department approval, shop drawings shall be submitted to the Building Department as separate plans for permits. The system shall provide water flow, tamper and trouble alarms, manual pull stations, interior and exterior horns and strobes, voice communication, and 24-hour central station monitoring.
- m. Fire Access Roads shall be provided and maintained in compliance with City Specification # 401, *Minimum Standards for Fire Apparatus Access*. A minimum of 24 foot wide fire access lanes are required for this project. For Fire Department approval, reference and demonstrate compliance with City Specification # 401 *Minimum Standards for Fire Apparatus Access* on the plans. NOTE: Current plans appear to meet this requirement. **(FD)**
- n. Fire Access Road Turns and Corners shall be designed with a minimum inner radius of seventeen feet (17') and a minimum outer radius of forty five feet (45') per City Specification # 401 *Minimum Standards for Fire Apparatus Access*. For Fire Department approval, reference and demonstrate compliance with City Specification # 401 *Minimum Standards for Fire Apparatus Access* on the plans. NOTE: Current plans appear to meet this requirement. **(FD)**
- o. Fire Lanes, as determined by the Fire Department, shall be posted, marked, and maintained per City Specification #415, *Fire Lanes Signage and Markings on Private, Residential, Commercial and Industrial Properties*. The site plan shall clearly identify all red fire lane curbs, both in location and length of run. The location of fire lane signs shall be depicted. For Fire Department approval, reference and demonstrate compliance with City Specification # 401 *Minimum Standards for Fire Apparatus Access* on the plans. NOTE: Current plans appear to meet this requirement. **(FD)**
- p. Main secured building entries shall utilize a KNOX® Fire Department Access Key Box, installed and in compliance with City Specification #403, *Fire Access for Pedestrian or Vehicular Security Gates & Buildings*. Please contact the Huntington Beach Fire Department Administrative Office at (714) 536-5411 for information. Reference compliance with City Specification #403 - KNOX® Fire Department Access in the plan notes. **(FD)**
- q. Fire sprinkler system controls access shall be provided, utilizing a KNOX® Fire Department Access Key Box, installed and in compliance with City Specification #403, *Fire Access for Pedestrian or Vehicular Security Gates & Buildings*. The approximate location of the system controls shall be noted on the plans. Reference compliance in the plan notes. **(FD)**
- r. Secured vehicle entries shall utilize KNOX® activated access switches (Knox switches for automated gates, Knox padlocks for manual gates), and comply with City Specification #403, *Fire Access for Pedestrian or Vehicular Security Gates & Buildings*. Reference compliance in the plan notes. **(FD)**

- s. Exit Signs And Exit Path Markings will be provided in compliance with the Huntington Beach Fire Code and Title 24 of the California Administrative Code. Reference compliance in the plan notes. **(FD)**
- t. Decorative Materials shall be in conformance with HBFC sec. 1103.3.3 and shall be flame resistant. **(FD)**
- u. Posting of Room Occupancy is required. Any room having an occupant load of 50 or more where fixed seats are not installed, and which is used for assembly purposes, shall have the capacity of the room posted in a conspicuous place near the main exit per HBFC sec. 2501.16.1. **(FD)**
- v. Egress Illumination/Emergency Exit Lighting with emergency back-up power is required. Provide means of egress illumination per HBFC 1211.1 and UBC 1003.2.9. **(FD)**
- w. Gates and barriers shall be openable without the use of a key or any special knowledge or effort. Gates and barriers in a means of egress shall not be locked, chained, bolted, barred, latched or otherwise rendered unopenable at times when the building or area served by the means of egress is occupied, and shall swing in the direction of travel when required by the Building Code for exit doors. **(FD)**
- x. Address Numbers shall be installed to comply with City Specification #428, Premise Identification. Number sets are required on front of the structure and shall be a minimum of six inches (6") high with one and one half inch (1 1/2") brush stroke. For Fire Department approval, reference compliance with City Specification #428, Premise Identification in the plan notes and portray the address location on the building. **(FD)**
- y. GIS Mapping Information shall be provided to the Fire Department in compliance with GIS Department CAD Submittal Guideline requirements. Minimum submittals shall include the following:
  - Site plot plan showing the building footprint.
  - Specify the type of use for the building
  - Location of electrical, gas, water, sprinkler system shut-offs.
  - Fire Sprinkler Connections (FDC) if any.
  - Knox Access locations for doors, gates, and vehicle access.
  - Street name and address.

Final site plot plan shall be submitted in the following digital format and shall include the following:

- Submittal media shall be via CD rom to the Fire Department.
- Shall be in accordance with County of Orange Ordinance 3809.
- File format shall be in .shp, AutoCAD, AUTOCAD MAP (latest possible release ) drawing file - .DWG (preferred) or Drawing Interchange File - .DXF.
- Data should be in NAD83 State Plane, Zone 6, Feet Lambert Conformal Conic Projection.

ATTACHMENT NO. 419

- Separate drawing file for each individual sheet.
- In compliance with Huntington Beach Standard Sheets, drawing names, pen colors, and layering convention. and conform to *City of Huntington Beach Specification # 409 – Street Naming and Addressing*.
- Reference compliance with *GIS Mapping Information* in the building plan notes. **(FD)**

z. All Fire Department requirements shall be noted on the Building Department plans. **(FD)**

**THE FOLLOWING CONDITIONS SHALL BE MAINTAINED DURING CONSTRUCTION:**

- a. Fire/Emergency Access And Site Safety shall be maintained during project construction phases in compliance with City Specification #426, Fire Safety Requirements for Construction Sites. **(FD)**

**OTHER:**

- a. Discovery of additional soil contamination or underground pipelines, etc., must be reported to the Fire Department immediately and the approved work plan modified accordingly in compliance with City Specification #431-92 Soil Clean-Up Standards. **(FD)**
- b. Outside City Consultants The Fire Department review of this project and subsequent plans may require the use of City consultants. The Huntington Beach City Council approved fee schedule allows the Fire Department to recover consultant fees from the applicant, developer or other responsible party. **(FD)**

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Fire Department City Specifications may be obtained at:  
Huntington Beach Fire Department Administrative Office  
City Hall 2000 Main Street, 5<sup>th</sup> floor  
Huntington Beach, CA 92648  
or through the City's website at [www.surfcity-hb.org](http://www.surfcity-hb.org)

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ATTACHMENT NO. 4.20

# HUNTINGTON BEACH SENIOR CENTER

## Draft Findings of Fact/ Statement of Overriding Considerations

Prepared for  
**City of Huntington Beach**  
Planning Department  
2000 Main Street, Third Floor  
Huntington Beach, California 92648

Prepared by  
**PBS&J**  
12301 Wilshire Boulevard, Suite 430  
Los Angeles, California 90025

November 28, 2007

ATTACHMENT NO. 5.1

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ATTACHMENT NO. 5.2

# CHAPTER 1 Introduction

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This document presents the Findings of Fact and Statement of Overriding Considerations that must be adopted by the City of Huntington Beach (City) pursuant to the requirements of Sections 15091 and 15093, respectively, of the *California Environmental Quality Act* Guidelines (CEQA Guidelines) prior to the approval of the Huntington Beach Senior Center (proposed project).

This document is organized as follows:

- Chapter 1** Introduction to the Findings of Fact and Statement of Overriding Considerations.
- Chapter 2** Presents the CEQA Findings of the Environmental Impact Report (EIR), including the identified significant cumulative impact.
- Chapter 3** Presents the alternatives to the proposed project and evaluates them in relation to the findings contained in Section 15091(a)(3) of the CEQA Guidelines. The City must consider and make findings regarding alternatives when a project would involve environmental impacts that cannot be reduced to a less-than-significant level, or cannot be substantially reduced, by proposed mitigation measures.
- Chapter 4** Presents a Statement of Overriding Considerations that is required in accordance with Section 15093 of the CEQA Guidelines for significant impacts of the proposed project that cannot be mitigated to a less-than-significant level.

The proposed project involves development of a new one-story multi-purpose senior center on undeveloped land in Central Park. The 5 acre development would comprise the senior center, parking areas, vehicular storage, outdoor common areas, and a service area. Open space areas would consist of courtyards, gardens, and landscaping/planting pocket areas. Landscaping around the building and parking lot would be drought-tolerant, low water usage-type vegetation.

A new access driveway planned at Goldenwest Street and Talbert Avenue for access/egress to the project site would be designed as part of the proposed project. An existing traffic signal at this location would be modified for traffic to enter the project site. As Goldenwest Street is elevated above the site, an ADA ramp from the site to the intersection as well as from the OCTA bus stop located near the Goldenwest Street/Talbert Avenue intersection would be provided for pedestrian access.

A total of 227 parking spaces would be provided in three main parking lots. In addition, six shuttle bus stalls and an area for future parking expansion would be able to accommodate an additional 24 stalls.

Under the proposed project, no significant unavoidable impacts would occur on a project level. However, a significant cumulative impact would occur to aesthetics. In comparison to the alternatives analyzed against the proposed development, the City finds that the No Project/Continuation Continuation of Uses Allowed By Existing General Plan and Central Park Master Plan Alternative is the environmentally superior alternative.

The following discretionary approvals by the City of Huntington Beach are required to implement the proposed project:

ATTACHMENT NO. 5.3

- Conditional Use Permit Request—To permit construction of a senior recreation facility in Huntington Beach Central Park with a three-foot grade differential.
- Design Review approval.
- Central Park Master Plan Amendment—Amendment to the Central Park Master Plan land use designation for the five acre project site from the current low intensity designation to the proposed high intensity designation.

ATTACHMENT NO. 5.4

# CHAPTER 2 CEQA Findings

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## 2.1 INTRODUCTION

This chapter presents the potential impacts that were identified in the EIR and the findings that are required in accordance with Section 15091 of the CEQA Guidelines. The possible findings for each significant and/or potentially significant adverse impact are as follows:

- (a) Changes or alterations have been required in, or incorporated into the project which avoid, substantially lessen, or reduce the magnitude of the significant environmental effect as identified in the EIR (“Finding 1”).
- (b) Such changes or alterations are within the responsibility and jurisdiction of another public agency and not the agency making the findings. Such changes have been adopted by such other agency or can and should be adopted by such other agency. (“Finding 2”)
- (c) Specific economic, social, or other considerations make infeasible the mitigation measures or project alternatives in the EIR (“Finding 3”).

CEQA requires that the lead agency adopt mitigation measures or alternatives, where feasible, to avoid or substantially reduce significant environmental impacts that would otherwise occur as a result of a project. Project modification or alternatives are not required, however, where they are infeasible or where the responsibility for modifying the project lies with some other agency (State CEQA Guidelines §15091, subd. (a), [3]). Public Resources Code Section 21061.1 defines “feasible” to mean “capable of being accomplished in a successful manner within a reasonable period of time, taking into account economic, environmental, social and technological factors”. State CEQA Guidelines Section 15364 adds another factor: “legal” considerations. (See also *Citizens of Goleta Valley v. Board of Supervisors* [Goleta II] [1990] 52 Cal.3d 553, 565 [276 Cal. Rptr. 410].)

Only after fully complying with the findings requirement can an agency adopt a Statement of Overriding Considerations. (*Citizens for Quality Growth v. City of Mount Shasta* [1988] 198 Cal.App.3d 433, 442, 445 [243 Cal. Rptr. 727].) CEQA requires the Lead Agency to state in writing the specific rationale to support its actions based on the Final EIR and/or information in the record. This written statement is known as the Statement of Overriding Considerations. The Statement of Overriding Considerations provides the information that demonstrates the decision making body of the Lead Agency has weighed the benefits of the project against its unavoidable adverse effects in determining whether to approve the project. If the benefits of the project outweigh the unavoidable adverse environmental effects, the adverse effects may be considered “acceptable.”

The California Supreme Court has stated that, “the wisdom of approving any development project, a delicate task which requires a balancing of interests, is necessarily left to the sound discretion of the local officials and their constituents who are responsible for such decisions. The law as we interpret and apply it simply requires that those decisions be informed, and therefore balanced.” (*Goleta II*, 52 Cal.3d 553, 576 [276 Cal. Rptr. 401].)

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This document presents the City of Huntington Beach findings as required by CEQA, cites substantial evidence in the record in support of each of the findings, and presents an explanation to supply the logical step between the finding and the facts in the record. (State CEQA Guidelines §15091.). Additional facts that support the findings are set forth in the Draft EIR, the Final EIR, staff reports to the Planning Commission, and the record of proceedings.

Table 2-1 (CEQA Findings for the Huntington Beach Senior Center) summarize the potentially significant impacts of the EIR that were reduced to less-than-significance levels with mitigation as well as the significant cumulative impact, as currently proposed for certification and adoption of the proposed project.

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**Table 2-1 CEQA Findings for the Huntington Beach Senior Center**

<i>Impact Statement</i>	<i>Impact Summary</i>	<i>Findings</i>
<p><b>Aesthetics</b></p> <p><b>Impact 4.1-3.</b> Implementation of the proposed project would introduce new sources of light and glare into the project vicinity</p>	<p>The micro-ecology of the site and adjacent open space areas could result in potentially significant impacts on sensitive species from project lighting and activities. However, implementation of mitigation measures MM 4.1-3(a) through (c) would reduce impacts associated with onsite lighting as the lowest levels of illumination would be required, and lighting on site would not remain on at all times during the nighttime hours.</p> <p>Glare from headlights entering and exiting the site from Goldenwest Street would be momentarily visible to uses across Goldenwest (upon exiting the site) and perhaps, distantly, the residential uses to the west and north on entering the project. With implementation of MM 4.1-3(d) and (e), non-reflective façade treatments would be used to the extent feasible and substantial landscaping would be provided throughout the site to soften building appearance and glare.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.1-3 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of Mitigation Measures 4.1-3 (a) through (e).</p>
<p><b>Cumulative Aesthetics Impact</b></p>	<p>Given that the project would modify land that is currently undeveloped, the character of Central Park would be altered, which would result in a cumulatively considerable impact. Landscaping and open space would be provided, which would enhance the site's visual contribution to the surrounding park lands, and the project would not appear out of character when compared with surrounding land uses. However, the increase in development intensity of the project site, when compared with current uses, contributes incrementally to the visual degradation of the area in terms of reducing the amount of undeveloped open space within Central Park. This would be considered a significant cumulative impact.</p>	<p>Finding No. 3. The City finds that the cumulative impact is a result of incremental development which reduces the amount of open space within the park. No feasible mitigation is available.</p>
<p><b>Air Quality</b></p> <p><b>Impact 4.2-2.</b> Peak construction activities associated with the proposed project could generate emissions that exceed SCAQMD thresholds.</p>	<p>Construction related daily emissions would not exceed SCAQMD significance thresholds. However, these calculations assume that appropriate dust control measures would be implemented during each phase of development as required by SCAQMD Rule 403—Fugitive Dust, and that all other appropriate mitigation (MM 4.2-2(a)</p>	<p>Finding 1. The City finds that changes or alterations have been required in, or incorporated into, the project, which would reduce Impact 4.2-2 to less-than-significant levels. No additional mitigation measures are necessary with the implementation of</p>

	<p>through MM 4.2-2(e)), such as routine equipment maintenance, has been used. Thus, all identified city code requirements and mitigation measures are required.</p>	<p>CR 4.2-2(a) through (f) and Mitigation Measures 4.2-2(a) through (e).</p>
<p><b>Biological Resources</b></p>		
<p><b>Impact 4.3-1.</b> The proposed project could have a substantial adverse impact either directly (e.g., habitat loss) or indirectly (e.g., noise effects on wildlife) through habitat modifications, on any species identified or published as an endangered, threatened, rare, candidate, sensitive, or special-status species by CDFG or USFWS, and meets the definition of Section 15380 (b), (c), or (d) of the CEQA guidelines.</p>	<p>Potential direct or indirect impacts to burrowing owls are considered a potentially significant impact. In addition, project implementation and construction-related activities may result in the disturbance of nesting species protected by the MBTA. Prior to the onset of ground disturbance activities, the City shall implement mitigation measures MM 4.3-1(a) and 4.3-1(b), which entail focused surveys and avoidance measures for the burrowing owl and sensitive nesting and MBTA species, and appropriate agency consultation.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce impact 4.3-1 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of Mitigation Measures 4.3-1(a) and 4.3-1(b).</p>
<p><b>Impact 4.3-2.</b> Development of the proposed project would have a substantial adverse impact to raptor foraging habitat.</p>	<p>As a result of project implementation, approximately 5 acres of ruderal vegetation that is suitable for use as raptor foraging habitat would be removed. Although implementation of the proposed project would remove approximately 5 acres of existing foraging habitat within the currently-designated Low Intensity Recreation Area, implementation of mitigation measure MM 4.3-2 would ensure impacts to raptor foraging habitat would be mitigated at a ratio of 1:1.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce impact 4.3-2 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of Mitigation Measure 4.3-2.</p>
<p><b>Cultural Resources</b></p>		
<p><b>Impact 4.4-1.</b> Construction of the proposed project could cause a substantial adverse change in the significance of previously unknown archaeological resources that could be present on the project site.</p>	<p>While not expected, in the event that an intact portion of CA-ORA-142 is identified, the potential for damage to or destruction of, these cultural resources would be a potentially significant impact. Implementation of mitigation measures MM 4.4-1(a), MM 4.4-1(b) and MM 4.4-1(c) would require monitoring of construction activities by a qualified professional archaeologist and would require the scientific recovery and evaluation of any archaeological resources that could be encountered, which would ensure that important scientific information that could be provided by these resources regarding history or prehistory is not lost.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce impact 4.4-1 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of Mitigation Measures 4.4-1(a) through (c).</p>
<p><b>Impact 4.4-2.</b> Paleontological resources could be present within rock units on the project site, and could be damaged or destroyed by earth-moving activities resulting from implementation of the proposed project.</p>	<p>Even though previous activities may have involved excavation or other earth-disturbing activities, some paleontologically sensitive rock units underlying the project site may not have been disturbed, despite the possible destruction of surface evidence of their presence. Therefore, the impact resulting from damage to, or</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce impact 4.4-2 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the</p>

	<p>destruction of, these resources would be potentially significant, as it makes biological records of ancient life permanently unavailable for study by scientists. Mitigation measure MM 4.4-1(a), above, requires monitoring of construction activities by a qualified paleontologist, and mitigation measure MM 4.4-1(b) requires implementation of additional provisional measures in the event that paleontological resources are identified.</p>	<p>implementation of Mitigation Measures 4.4-1(a) and 4.4-1(b).</p>
<p><b>Impact 4.4-3.</b> Construction activities associated with implementation of the proposed project could result in the disturbance of human remains, including those interred outside of formal cemeteries.</p>	<p>Although not likely, the potential exists for archaeological resources to be present and for excavation during construction activities to disturb these resources, and it is possible that human burials could be associated with potential finds. To reduce this impact, and as required by law, mitigation measure MM 4.4-3 reflects provisional measures if human remains are discovered on the project site.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.4-3 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of Mitigation Measure 4.4-3.</p>
<p><b>Geology and Soils</b></p>		
<p><b>Impact 4.5-1.</b> The proposed project would not significantly expose people or structures to effects of seismic ground shaking or liquefaction.</p>	<p>The proposed project site is situated in a seismically active area. During the design life of the development, strong ground shaking may occur. Accordingly, the proposed structures and improvements could be adversely impacted by the seismic ground shaking if proper mitigation measures are not implemented. Implementation of mitigation measure MM 4.5-1 would ensure that design recommendations identified within the Geotechnical feasibility project site implemented.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.5-1 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of Mitigation Measure 4.5-1.</p>
<p><b>Impact 4.5-2.</b> The proposed project could expose people or structures to effects of landslides.</p>	<p>There will be some grading along the north side adjacent to the proposed access driveway off Goldenwest Street. Therefore, surficial sliding and erosion along this slope face could result in damage to the proposed project. Implementation of mitigation measure MM 4.5-2 would address these effects.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.5-2 to a less-than-significant level, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of Mitigation Measure 4.5-2.</p>
<p><b>Impact 4.5-4.</b> Development of the proposed project would be located on potentially unstable (compressible and corrosive) soils, which could result in on site settlement.</p>	<p>Trash and other debris were not observed in the old fill materials on site but may be encountered during grading. These materials are unsuitable for reuse. If left in the soil, these materials could affect the integrity of the proposed project. Data pertaining to the corrosivity of the on-site soils were not available for review. The corrosion potential of soils will influence the type of construction materials that may be used for structures and pipelines on the project. Implementation of MM 4.5-4(a) through (c) would address</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.5-4 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of Mitigation Measures 4.5-4 (a) through (c).</p>

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<p><b>Impact 4.5-5.</b> The proposed project could be located on expansive soil.</p>	<p>potential impacts.</p> <p>Due to the potential for volume changes with fluctuations in moisture, expansive soils present a risk of distress to pavement, foundation elements, and other structures where present. Expansive soils generated from excavations are undesirable for use as fill within three feet of slab-on-grade areas. Implementation of mitigation measure MM 4.5-5 would ensure that development on expansive soil would not occur in a manner that would adversely affect development.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.5-5 to a less-than-significant level, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of Mitigation Measure 4.5-5.</p>
<p><b>Hazards</b></p> <p><b>Impact 4.6-1.</b> Implementation of the proposed project could create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment.</p>	<p>No known hazardous materials or wastes are present within the proposed project site. Although not expected, grading and excavation activities for the proposed project could result in the exposure of construction personnel and the public to previously unidentified hazardous substances in the soil. Implementation of mitigation measures MM 4.6-1(a), MM 4.6-1(b), and MM 4.6-1(c) would ensure remediation of contaminated soils containing hazardous materials prior to development of the proposed project and provide supplemental procedures in the event of unanticipated discoveries of contaminants.</p> <p>The project site is located within a designated methane gas overlay district. The City has set minimum requirements for new building construction within the methane overlay districts in order to reduce the hazards presented from accumulations of methane gas by requiring the appropriate testing and mitigation measures for all new buildings within the methane districts. Implementation of mitigation measure MM 4.6-1(d) would ensure appropriate testing and methods of gas reduction, as required by the HBFD.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.6-1 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of Mitigation Measures 4.6-1(a) through 4.6-1(d).</p>
<p><b>Hydrology and Water Quality</b></p> <p><b>Impact 4.7-1.</b> Construction and operation of the proposed project could increase stormwater pollutant loads or concentrations, which could result in a violation of water quality standards or a substantial degradation of water quality.</p>	<p>During the operational phase of the proposed project, the major source of pollution in stormwater runoff would be contaminants that have accumulated on rooftops and other impervious surfaces, such as parking lots, pedestrian walkways, and the off-site road improvement prior to connecting to the storm drain system. Implementation of the existing regulations along with mitigation measure MM 4.7-1 would reduce potential pollutant loads, assure</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.7-1 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of Mitigation Measure 4.7-1.</p>

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<p><b>Impact 4.7-2.</b> Implementation of the proposed project would alter the project site runoff characteristics that could result in more on-site and off-site erosion.</p>	<p>that appropriate BMPs are used (e.g., constraints on infiltration-type BMPs), that regulatory requirements are met, and any post-construction violation of WDRs or water quality standards would be less than significant.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.7-2 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of Mitigation Measures 4.7-1 and 4.7-2.</p>
<p><b>Impact 4.7-3.</b> Implementation of the proposed project would alter the project site runoff characteristics that could result in more flooding off-site.</p>	<p>Operation of the proposed project would result in a significant change in land use and the potential for increased site runoff; both peak runoff rates and total storm flow volumes. The proposed project would be required to develop and implement a WQMP including post-construction structural and non-structural BMPs for erosion and sediment controls. Implementation of mitigation measures MM 4.7-1 and MM 4.7-2 would reduce the potential storm flow rates to non-erosive conditions, reduce peak runoff rates to existing conditions levels to the maximum extent practicable, assure slope stabilization, and implementation of post-construction erosion and sediment control BMPs, thereby reducing potential impacts associated with on-site or off-site erosion to less-than-significant levels.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.7-3 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of Mitigation Measure 4.7-2.</p>
<p><b>Impact 4.7-5.</b> Implementation of the proposed project may provide substantial additional sources of polluted runoff during both construction and post-construction phases.</p>	<p>Operation of the proposed project would result in a significant change in land use and the potential for increased site runoff for both peak runoff rates and total storm flow volumes. Higher peak storm flow rates and overall volume could result in off-site flooding in the areas down-gradient from the project site. Implementation of mitigation measure MM 4.7-2 would assure that on-site drainage is adequate to prevent on-site flooding and that peak stormwater runoff rates are reduced to the maximum extent practicable to prevent contributions to off-site flooding. As required by MM 4.7-2, the Drainage Plan will include measures to reduce post-construction peak runoff rates and timing to existing levels, as ensured by the City's Public Works Department. As a result, the proposed project would not contribute to future runoff rates on site or to off site areas (including the Shipley Nature Center) above those that currently exist.</p> <p>The amount, timing of application, and form of many landscape chemicals can affect subsequent transport in stormwater. These activities could also result in additional sources of pollutants in runoff water from the proposed project. Implementation of mitigation measure MM 4.7-5, however, would maximize efficiency of</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.7-5 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the</p>

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<p>Implementation of the proposed project may otherwise substantially degrade groundwater quality by allowing infiltration of polluted stormwater.</p>	<p>landscape chemical applications and minimize the potential for chemicals in runoff water.</p> <p>Infiltration structures that are not correctly designed and sited could result in contaminated stormwater leaching into groundwater systems and destabilization of fill material. Mitigation measure MM 4.7-2 would prevent implementation of stormwater quality BMPs that could contribute to degradation of groundwater resources.</p>	<p>implementation of Mitigation Measures 4.7-1, 4.7-2, and 4.7-5.</p> <p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.7-6 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of Mitigation Measure 4.7-2.</p>
<p><b>Noise</b></p> <p><b>Impact 4.9-1:</b> Construction activities associated with the proposed project would not exceed the standards established in the Huntington Beach Municipal Code.</p>	<p>The residences closest to the project site are located immediately west of the site, along Lakeview Drive, approximately 800 feet from the site boundary. At this distance, typical daily construction activities (excavation and grading) could reach 62 dBA. Additionally, patrons utilizing the passive use park adjacent to the proposed project site could experience noise levels of up to 86 dBA during construction activities. Implementation of mitigation measures MM 4.9-1(a) and MM 4.9-1(b) as well as CR 4.8-1(a) and CR 4.9 1(b) would help minimize noise generated by construction activities associated with the proposed project to the surrounding sensitive receptors.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.9-1 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of CR 4.9-1 (a) and (b) and Mitigation Measure 4.9-1 (a) and (b).</p>
<p><b>Transportation/Traffic</b></p> <p><b>Impact 4.12-2.</b> Under Year 2012 conditions, the proposed project would not cause an increase in traffic which is substantial in relation to the existing traffic load and capacity of the street system.</p>	<p>The project causes an increase of 0.026 during the AM peak hour, causing the level of service to change from LOS D to LOS E at the intersection of Goldenwest Street/Slater Avenue. MM 4.12-2 would be required to reduce this impact, which would provide an additional northbound through lane at the intersection of Goldenwest Street and Slater Avenue. Approximately 300 feet of existing on-street parking from Ford Drive to Betty Drive will need to be removed in order to allow three through lanes northbound. Alternate on-street parking within acceptable walking distance (less than 500 feet) is available on nearby local streets, including Ford Drive, Mill Circle, and Betty Drive. The loss of approximately 12 on-street parking spaces on Goldenwest therefore represents a less-than-significant impact.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.12-2 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of Mitigation Measure 4.12-2.</p>
<p><b>Impact 4.12-4.</b> The project would not substantially increase roadway hazards.</p>	<p>In order to address safety concerns related to exiting the project site, mitigation measures have been identified that would eliminate this</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce</p>

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	<p>potentially unsafe movement. These measures would also address the potential sight distance issue related to the uphill grade for southbound traffic on Goldenwest Street in this location. Implementation of mitigation measure MM 4.12-4 and CR 4.12-4(a) and CR 4.12-4(b) would reduce potential impacts associated with roadway hazards to a less-than-significant level.</p>	<p>Impact 4.12-4 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of CR 4.12-4(a) and (b) and Mitigation Measure 4.12-4.</p>
<p><b>Utilities and Service Systems</b></p>		
<p><b>Impact 4.13-5:</b> Implementation of the proposed project would include new stormwater treatment control BMPs, the operation of which would not result in significant environmental effects.</p>	<p>The proposed project would involve the construction and operation of stormwater treatment control Best Management Practices (BMPs) that would be identified in a Stormwater Pollution Prevention Plan (SWPPP), which would be a part of the project's Water Quality Management Plan (WQMP). The City has general/standard conditions of approval to protect receiving water quality from short- and long-term impacts of new development and significant stormwater treatment control BMPs must be in conformance with approved plans and specifications of appropriate agencies, operations would not be anticipated to result in significant environmental effects including, but not limited to, vectors or odors.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.13-5 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of CR 4.13-5(a) and (b).</p>
<p><b>Impact 4.13-8:</b> Implementation of the proposed project could increase the demand for electricity, and could require or result in the construction of new energy production or transmission facilities not require or result in the construction of new gas production or transmission facilities.</p>	<p>New electrical facilities would have to be constructed on site. Implementation of mitigation measure MM 4.13-8 would reduce potentially significant impacts associated with the anticipated electrical demands of the proposed project to a less than-significant level by ensuring availability of electrical facilities.</p>	<p>Finding 1. The City finds that the identified changes or alterations in the project, which would reduce Impact 4.13-8 to less-than-significant levels, are hereby incorporated into the project. No additional mitigation measures are necessary with the implementation of Mitigation Measure 4.13-8.</p>

# CHAPTER 3 Findings Regarding Project Alternatives

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## 3.1 INTRODUCTION

The EIR prepared for the Huntington Beach Senior Center considered three separate alternatives to the proposed project. Pursuant to Section 15126.6(a) of the CEQA Guidelines, the primary intent of an alternatives evaluation is to “describe a range of reasonable alternatives to the project, or to the location of the project, which would feasibly attain most of the basic objectives of the project but would avoid or substantially lessen any of the significant effects of the project, and evaluate the comparative merits of the alternatives.”

This chapter describes the project objectives and design criteria used to develop and evaluate project alternatives presented in the Draft EIR. A description of the alternatives compared to the proposed project and the findings regarding the feasibility of adopting the described alternatives is presented for use by the City in the decision-making process.

## 3.2 PROJECT OBJECTIVES

Implementation of the Huntington Beach Senior Center is intended to fulfill the following major objectives:

- Implement the policies and development standards of the City’s General Plan and Zoning and Subdivision Ordinance (ZSO)
- Create a development that is compatible with and sensitive to the existing land uses in the project area
- Enhance the community image of Huntington Beach through the design and construction of high quality development consistent with the Urban Design Element of the City’s General Plan
- Ensure adequate utility infrastructure and public services for new development
- Provide a centrally located senior recreation and human service facility within the City
- Build a new facility large enough to meet current and future demand as a result of an increasing senior population
- Provide a state-of-the art senior center designed for innovative programming to meet the needs of a culturally diverse and multi-generational senior population with levels of service comparable to other cities in the area
- Mitigate environmental impacts to the greatest extent possible

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### 3.3 SELECTION OF ALTERNATIVES

The range of feasible alternatives was selected and discussed in a manner to foster meaningful public participation and informed decision-making. Among the factors that were taken into account when considering the feasibility of alternatives (as described in CEQA Guidelines Section 15126.6[f][1]) were environmental impacts, economic viability, availability of infrastructure, regulatory limitations, jurisdictional boundaries, and attainment of project objectives. As stated in Section 15126.6(a) of the CEQA Guidelines, an EIR need not consider an alternative whose effects could not be reasonably identified, whose implementation is remote or speculative, or one that would not achieve the basic project objectives. The analysis includes sufficient information about each alternative to provide meaningful evaluation, analysis and comparison with the proposed project.

### 3.4 PROJECT ALTERNATIVE FINDINGS

The following is a description of the alternatives evaluated in comparison to the proposed project, as well as a description of the specific economic, social, or other considerations that make them infeasible for avoiding or lessening the impacts. The City finds that the adoption of any of the alternatives to the project is infeasible. The reasons for each finding are provided following the description of the alternative, and are further described in the Draft EIR.

#### 3.4.1 Huntington Beach Senior Center Alternatives

As shown below and in Chapter 6 (Alternatives) of the Draft EIR, three alternatives were evaluated in comparison to the proposed project. The environmental advantages and disadvantages of each of these alternatives are described. The alternatives that were selected for analysis include:

- **Alternative 1: No Project/Continuation of Uses Allowed By Existing General Plan and Master Plan**—Consistent with Section 15126.6(e)(3)(C) of the CEQA Guidelines, this alternative assumes the development level articulated in the City’s Master Plan of Recreation Uses for Central Park (Central Park Master Plan) (1999), which envisioned development of a portion of a “low intensity recreation area,” which would include family picnic shelters, barbeques, a tot lot, a restroom building, an access road from Goldenwest Street, and a parking lot. Because the Central Park Master Plan proposed the recreation area as a program on a total of 16 acres, not all of these elements are likely to be present on the 5-acre project site, and the specific locations of the proposed uses are interchangeable; therefore, this analysis assumes development of the most intensive of these uses, namely, the access road, parking lot, restrooms, tot lot, and some open space.
- **Alternative 2: Reduced Project/Alternative Configuration**—This alternative assumes a reduced intensity and revised configuration of the project elements in the same project site. Under this alternative, the proposed senior center would be reduced by about one third (15,000 square feet [sf]), and would comprise a 30,000 sf structure, reoriented north/south and located at the southeastern corner of the project site.
- **Alternative 3: Alternative Site (Northwest Corner of Ellis Avenue and Goldenwest Street)**—This alternative assumes development of 45,000 sf of recreational and associated public and administrative uses in Central Park. The general configuration of the site would be maintained. Direct access to the parking lot would be provided by curb cuts on Goldenwest Street and Ellis

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Avenue as identified in the 2006 Huntington Beach Senior Center Feasibility Study. Nevertheless, this alternative would maintain a similar flow of traffic to the proposed project.

### ■ Alternatives Considered but Eliminated from Further Evaluation

Three additional alternatives were initially considered but were found to be infeasible. These included: No Project/No Development Alternative, Rodgers Senior Center, and Satellite Senior Centers. The No Project/No Development Alternative represents the status quo, or maintenance of the project site in its current state. The site would remain as an underused parcel of land adjacent to the Central Library and would provide no state-of-the-art improvements, in a central location, to meet current and projected needs for recreation and community services for senior citizens in the City. Implementation of the No Project/No Development Alternative would not meet any of the project objectives, as no new uses would be developed. The second alternative that was rejected as infeasible would provide a new state-of-the-art senior center on the site of the existing Rodgers Senior Center. However, due to the known site constraints, lack of available funding to accommodate a new development on this site, and because this would not provide a centrally-located senior center within the City, this alternative was rejected from further analysis. Lastly, the Satellite Senior Center alternative suggests development of multiple, smaller-scale senior centers throughout the City. Construction of small-scale centers could accommodate a limited number of facilities, available activities, and patrons at each site, and would also preclude a central focal point for seniors to meet within the City. Instead, most patrons would utilize the nearest facility; thereby reducing the important opportunities for larger social gatherings and networking. Each site location would have differing environmental constraints. Compared to the proposed project, multiple centers would not have the flexibility to provide for a wide variety of uses simply due to size constraints at each location. In addition, the construction and operation of multiple centers would have a greater potential for cumulative environmental impacts. Further, the City does not own all of the nine sites evaluated in the Feasibility Study, which could lead to acquisition costs that the City would not be able to fund. Therefore, this alternative was rejected from further analysis.

### ■ No Project/ Continuation of Uses Allowed By Existing General Plan and Central Park Master Plan Alternative

The No Project/Continuation of Uses Allowed By Existing General Plan and Central Park Master Plan Alternative assumes the development level articulated in the City's Central Park Master Plan (1999), which envisioned development of a portion of a "low intensity recreation area," which would include family picnic shelters, barbecues, a tot lot, a restroom building, an access road from Goldenwest Street, and a parking lot. Because the Central Park Master Plan proposed the recreation area as a program on a total of 16 acres, not all of these elements are likely to be present on the 5-acre project site, and the specific locations of the proposed uses are interchangeable; therefore, this analysis assumes development of the most intensive of these uses, namely, the access road, parking lot, restrooms, tot lot, and some open space.

Implementation of the No Project/Continuation of Uses Allowed By Existing General Plan and Central Park Master Plan Alternative would not achieve any of the project objectives listed for the City of Huntington Beach, since the development of a senior center facility would not occur.

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This alternative would result in fewer impacts to aesthetics, air quality, hydrology and water quality, land use, noise, recreation, traffic, and utilities and service systems as compared to the proposed project. This alternative would result in similar impacts on biological resources, cultural resources, geology and soils, hazards and hazardous materials, and public services, and would not result in impacts that would be greater than the proposed project.

Although this alternative would reduce many of the impacts of the proposed project, it would not necessarily reduce the significance of the impacts. However, because of its reduced intensity, the City finds that the No Project/Continuation of Uses Allowed By Existing General Plan and Master Plan Alternative is considered to be the environmentally superior alternative.

## Findings

The City hereby finds that the No Project/ Continuation of Uses Allowed By Existing General Plan and Master Plan Alternative is infeasible for the following environmental, economic, social, and other considerations:

- Would not provide a centrally located senior recreation and human service facility within the City
- Would not build a new facility large enough to meet current and future demand as a result of an increasing senior population
- Would not provide a state-of-the art senior center designed for innovative programming to meet the needs of a culturally diverse and multi-generational senior population with levels of service comparable to other cities in the area

## ■ Reduced Project /Alternative Configuration Alternative

The Reduced Project /Alternative Configuration Alternative assumes a reduced intensity and revised configuration of the project elements on the same project site. Under this alternative, the proposed senior center would be reduced by about one third (15,000 sf), and would comprise a 30,000 sf structure, reoriented north-south and located at the southeastern corner of the project site, as illustrated in Figure 6-1 (Reduced Project/Alternative Configuration). Although this alternative senior center would be reduced in size compared to the proposed project, it would still be more than double the size of the existing senior center to accommodate existing and anticipated program needs, and would be similar in massing and elevations to the proposed project. Screening vegetation separating the senior center from Goldenwest Street and from the disc golf course would be provided. Wide, paved walkways and patios would follow the northern and western perimeters of the center.

Under this alternative, the senior center would be constructed on a smaller scale within the same project area, and would not achieve the proposed project objectives of building a new facility large enough to meet current and future demands of a growing senior population, or provide a state-of-the art senior center designed for innovative programming to meet the needs of a culturally diverse and multi-generational senior population with levels of service comparable to other cities in the area, to the extent of the proposed project.

The Reduced Project/Alternative Configuration Alternative would result in fewer impacts to aesthetics, air quality, hydrology and water quality, land use and planning, and public services due to its reduced density. This alternative would result in similar impacts on biological resources, cultural resources,

geology and soils, hazards and hazardous materials, and public services, and would not result in impacts that would be greater than the proposed project. While this alternative may result in a reduction of most environmental impacts, it would not necessarily reduce the significance of the impacts below those of the proposed project.

### **Findings**

The City hereby finds that the Reduced Project/Alternative Configuration Alternative is infeasible for the following environmental, economic, social, and other considerations:

- Would not build a new facility large enough to meet current and future demand as a result of an increasing senior population
- Would not provide a state-of-the art senior center designed for innovative programming to meet the needs of a culturally diverse and multi-generational senior population with levels of service comparable to other cities in the area

### **■ Alternative Site**

The Alternative Site assumes development of the proposed senior center at an alternate site located at the northwest corner of Goldenwest Street and Ellis Avenue, approximately 1,200 feet south of the proposed project site. The general configuration of the site would be maintained. Direct access to the parking lot would be provided by curb cuts on Goldenwest Street and Ellis Avenue as identified in the 2006 Huntington Beach Senior Center Feasibility Study. Nevertheless, this alternative would maintain a similar flow of traffic as the proposed project. The setback from Goldenwest Street would be the same as under the proposed project, and additionally, a setback from Ellis Avenue would be provided and would be identical to the setback from Goldenwest Street. In all other physical and operational respects, this alternative would remain the same as under the proposed project. The alternative site is occasionally used by the equestrian center for larger shows and storage throughout the year. Therefore, although the site is presently undeveloped, development of this alternative would reduce the existing recreational opportunities that are present.

Under this alternative, the senior center would be constructed on a site at Goldenwest Street and Ellis Avenue, and would not achieve the following proposed project objective of mitigating environmental impacts to the greatest extent possible.

While this alternative would result in impacts that are largely similar to the proposed project, it may result in a greater number of potentially significant impacts, including impacts to noise and recreation that could be significant and unavoidable. As such, this alternative could result in impacts that would be greater than the proposed project.

### **Findings**

The City hereby finds that the Alternative Site is infeasible for the following environmental, economic, social, and other considerations:

- Would not mitigate environmental impacts to the greatest extent possible

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# CHAPTER 4 Statement of Overriding Considerations

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## 4.1 INTRODUCTION

Section 15093 of the CEQA guidelines states:

- (a) CEQA requires the decision-making agency to balance, as applicable, the economic, legal, social, technological, or other benefits of a proposed project against its unavoidable environmental risks when determining whether to approve the project. If the specific economic, legal, social, technological, or other benefits of a proposed project outweigh the unavoidable adverse environmental effects, the adverse environmental effects may be considered “acceptable.”
- (b) When the lead agency approves a project which will result in the occurrence of significant effects which are identified in the final EIR but are not avoided or substantially lessened, the agency shall state in writing the specific reason to support its actions based on the final EIR and/or other information in the record. The statement of overriding considerations shall be supported by substantial evidence in the record.
- (c) If an agency makes a statement of overriding considerations, the statement should be included in the record of the project approval and should be mentioned in the notice of determination.

The City of Huntington Beach (City) proposes to adopt a Statement of Overriding Considerations regarding the significant cumulative aesthetic impact of the proposed project. Although all project level impacts are reduced to less-than-significant levels, this section describes the anticipated economic, social, and other benefits or other considerations of the proposed project to support the decision to proceed with the project even though one identified cumulative impact is not mitigated to a less-than-significant level.

## 4.2 SIGNIFICANT ADVERSE CUMULATIVE IMPACT

The City is proposing to approve the proposed project, with revisions to reduce environmental impacts, and has prepared an EIR required by CEQA. Even with revisions in the project, the following impact is unavoidable because it has been determined that no feasible mitigation is available. Refer to Chapter 2 (CEQA Findings) for further clarification regarding the impact listed below.

### ***Aesthetics***

Given that the project would modify land that is currently undeveloped, the character of Central Park would be altered, which would result in a cumulatively considerable impact. Landscaping and open space would be provided, which would enhance the site’s visual contribution to the surrounding park lands, and the project would not appear out of character when compared with surrounding land uses. However, the increase in development intensity of the project site, when compared with current uses, contributes incrementally to the visual degradation of the area in terms of reducing the amount of undeveloped open space within Central Park. This would be considered a significant cumulative impact.

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## 4.3 FINDINGS

The City has evaluated all feasible mitigation measures and project revisions with respect to this cumulative aesthetic impact (see Chapter 2, CEQA Findings). The City has also examined a reasonable range of alternatives to the proposed project (see Chapter 3, Findings Regarding Project Alternatives). Based on this examination, the City has determined that because of its reduced intensity, the No Project/Continuation of Uses Allowed By Existing General Plan and Master Plan Alternative is considered to be the environmentally superior alternative. Two of the three alternatives listed above would potentially result in less significant environmental impacts than the proposed project. The Alternative Site was found to result in potentially greater impacts than the proposed project. The City finds these three alternatives infeasible and less desirable than the proposed project and has rejected these alternatives from further consideration because they would not achieve the environmental, economic, social, and other considerations outlined in Chapter 3 (Findings Regarding Project Alternatives).

## 4.4 OVERRIDING CONSIDERATIONS

Specific economic, social, or other considerations outweigh the cumulative aesthetic impact stated above. The reasons for proceeding with the proposed project, even though one identified cumulative impact is not fully mitigated to a less-than-significant level, are described below.

### ■ Proposed Project Benefits

The proposed project would provide a new, centrally located state-of-the-art senior center that would be large enough to respond to the changing needs of the population and simultaneously meet the unique developmental needs and diverse interests of the City's senior residents.

1. Development of the proposed project would allow the City to serve a higher percentage of its senior population with levels of service comparable to other cities in the area.
2. The proposed project emphasizes compatibility and sensitivity to the existing uses surrounding the site and would include a variety of sustainable features, such as bioswales, drought-tolerant landscaping, waterless urinals, roofing materials, and installation of low-flush water devices. The City is actively pursuing the feasibility of including additional features that would bring the building closer to LEED certification.
3. The project will maintain and enhance the community image of Huntington Beach through the design and construction of high quality development consistent with the Urban Design Element of the City's General Plan.

ATTACHMENT NO. 5-20

# HUNTINGTON BEACH SENIOR CENTER

Final Environmental Impact Report  
SCH No. 2007041027

*Mitigation Monitoring Program*

*Prepared for*  
**City of Huntington Beach**  
Planning Department  
2000 Main Street, Third Floor  
Huntington Beach, California 92648

*Prepared by*  
**PBS&J**  
12301 Wilshire Boulevard, Suite 430  
Los Angeles, California 90025

November 30, 2007

ATTACHMENT NO. 64

# Mitigation Monitoring Program

## A. INTRODUCTION

The Final Environmental Impact Report for the Huntington Beach Senior Center project (State Clearinghouse #2007041027) identified mitigation measures to reduce the adverse effects of the project in the areas of: aesthetics, air quality, biological resources, cultural resources, geology and soils, hazards and hazardous materials, hydrology and water quality, noise, recreation, transportation/traffic, and utilities & service systems.

The California Environmental Quality Act (CEQA) requires that agencies adopting environmental impact reports ascertain that feasible mitigation measures are implemented, subsequent to project approval. Specifically, the lead or responsible agency must adopt a reporting or monitoring program for mitigation measures incorporated into a project or imposed as conditions of approval. The program must be designed to ensure compliance during applicable project timing, e.g. design, construction, or operation (Public Resource Code §21081.6).

The Mitigation Monitoring Program (MMP) shall be used by the City of Huntington Beach staff responsible for ensuring compliance with mitigation measures associated with the Huntington Beach Senior Center project. Monitoring shall consist of review of appropriate documentation, such as plans or reports prepared by the party responsible for implementation or by field observation of the mitigation measure during implementation.

The following table identifies the mitigation measures by resource area. The table also provides the specific mitigation monitoring requirements, including implementation documentation, monitoring activity, timing and responsible monitoring party. Verification of compliance with each measure is to be indicated by signature of the mitigation monitor, together with date of verification.

The Project Applicant and the Applicant's Contractor shall be responsible for implementation of all mitigation measures, unless otherwise noted in the table.

**Mitigation Monitoring Program**

**Mitigation Monitoring Program**

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<b>Aesthetics</b>						
<b>MM 4.1-3(a)</b> All exterior nighttime lighting shall be angled down and away from the adjacent open space areas. Prismatic glass coverings and cutoff shields shall be used to further prevent spillover off site.	Project building plans	Review and approve building plans for inclusion of features	Plan check prior to issuance of building permit	Planning	_____	_____
<b>MM 4.1-3(b)</b> The minimum number of foot-candles deemed necessary by the City to promote effective security while controlling glare and minimizing light spillover onto adjacent areas shall be utilized in all lighting fixtures.	Project building plans	Review and approve building plans for inclusion of features	Plan check prior to issuance of building permit	Planning	_____	_____
<b>MM 4.1-3(c)</b> Motion-sensitive security lighting shall be used on site.	Project building plans	Review and approve building plans for inclusion of features	Plan check prior to issuance of building permit	Planning	_____	_____
<b>MM 4.1-3(d)</b> To the extent feasible, the Developer shall use non-reflective façade treatments, such as matte paint or glass coatings.	Project building plans	Review and approve building plans for inclusion of features	Plan check prior to issuance of building permit	Planning	_____	_____
<b>MM 4.1-3(e)</b> Trees and barrier-type vegetation should be placed throughout the site, including along the entire perimeter, to help shield vehicle headlights from adjacent uses.	Project landscaping and building plans	Review and approve landscaping and building plans for inclusion of features	Plan check prior to issuance of building permit	Planning	_____	_____
<b>Air Quality</b>						
<b>MM-4.2-2(a)</b> (This MM incorporates Measure Air-9 from the Central Park Master Plan EIR) The project developer(s) shall require by contract specifications that construction equipment engines will be maintained in good condition and in proper tune per manufacturer's specification for the duration of construction.	Contract language and notes on grading and building plans	Review and approve contract specifications, grading and building plans for inclusion	Plan check prior to issuance of a grading permit	Planning	_____	_____

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Mitigation Monitoring Program

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<p><b>MM-4.2-2(b)</b> (This MM incorporates Measure Air-12 from the Central Park Master Plan EIR)                      The project developer(s) shall require by contract specifications that construction-related equipment, including heavy-duty equipment, motor vehicles, and portable equipment, shall be turned off when not in use for more than five minutes. Contract specification language shall be reviewed by the City prior to issuance of a grading permit.</p>	<p>Contract language and notes on grading and building plans</p>	<p>Review and approve contract specifications, grading and building plans for inclusion</p>	<p>Plan check prior to issuance of a grading permit</p>	<p>Planning</p>	<p>_____</p>	<p>_____</p>
<p><b>MM-4.2-2(c)</b> (This MM incorporates Measures Air-10 and Air-11 from the Central Park Master Plan EIR)                      The project developer(s) shall encourage contractors to utilize alternative fuel construction equipment (i.e., compressed natural gas, liquid petroleum gas, electric, and unleaded gasoline) and low-emission diesel construction equipment to the extent that the equipment is readily available and cost effective. Contract specification language shall be reviewed by the City prior to issuance of a grading permit.</p>	<p>Contract language and notes on grading and building plans</p>	<p>Review and approve contract specifications, grading and building plans for inclusion</p>	<p>Plan check prior to issuance of a grading permit</p>	<p>Planning</p>	<p>_____</p>	<p>_____</p>
<p><b>MM-4.2-2(d)</b> The project developer(s) shall require by contract specifications that construction operations rely on the electricity infrastructure surrounding the construction sites rather than electrical generators powered by internal combustion engines to the extent feasible. Contract specification language shall be reviewed by the City prior to issuance of a grading permit.</p>	<p>Contract language and notes on grading and building plans</p>	<p>Review and approve contract specifications, grading and building plans for inclusion</p>	<p>Plan check prior to issuance of a grading permit</p>	<p>Planning</p>	<p>_____</p>	<p>_____</p>
<p><b>MM4.2-2(e)</b> The project developer(s) shall require by contract specifications that the architectural coating (paint and primer) products used would have a VOC rating of 125 grams per liter or less. Contract specifications shall be included in the proposed project construction documents, which shall be reviewed by the City prior to issuance of a building permit.</p>	<p>Project building plans</p>	<p>Review and building plans for inclusion</p>	<p>Plan check prior to issuance of a building permit</p>	<p>Planning</p>	<p>_____</p>	<p>_____</p>

ATTACHMENT NO. 6.4

Mitigation Monitoring Program

Mitigation Monitoring Program

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<p><b>Biological Resources</b></p> <p><b>MM 4.3-1(a)</b> Nesting habitat for protected or sensitive avian species:</p> <ol style="list-style-type: none"> <li>1) Vegetation removal and construction shall occur between September 1 and January 31 whenever feasible.</li> <li>2) Prior to any construction or vegetation removal between February 15 and August 31, a nesting survey shall be conducted by a qualified biologist of all habitats within 500 feet of the construction area. Surveys shall be conducted no less than 14 days and no more than 30 days prior to commencement of construction activities and surveys will be conducted in accordance with CDFG protocol as applicable. If no active nests are identified on or within 500 feet of the construction site, no further mitigation is necessary. This survey can be carried out concurrently with surveys for other species provided it does not conflict with any established survey protocols. A copy of the pre-construction survey shall be submitted to the City of Huntington Beach. If an active nest of a sensitive species is identified onsite (per established thresholds) a 250-foot no-work buffer shall be maintained between the nest and construction activity until CDFG and/or USFWS approves of any other mitigation measures.</li> <li>3) Completion of the nesting cycle shall be determined by qualified ornithologist or biologist.</li> </ol>	<p>Developer shall submit construction schedule (including grading activities) as evidence of construction overlap with breeding season. If construction occurs during relevant breeding, developer shall present a survey report (prepared by a consultant approved by the City) to the City prior to issuance of a grading permit. If nests are found, developer shall submit plans identifying nest locations and limits of construction activities.</p>	<p>Review schedule and field survey report, and as necessary, review and approve plans indicating construction limits</p> <p>Perform periodic field check to ensure compliance</p>	<p>Plan check prior to issuance of a grading permit</p> <p>During construction</p>	<p>Planning</p> <p>Planning</p>	<p>_____</p> <p>_____</p>	<p>_____</p> <p>_____</p>

ATTACHMENT NO. 6.5

Mitigation Monitoring Program

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<p><b>MM 4.3-1(b) Burrowing Owl:</b></p> <p>1) Prior to construction activity, focused pre-construction surveys shall be conducted for burrowing owls where suitable habitat is present within the construction areas. Surveys shall be conducted no less than 14 days and no more than 30 days prior to commencement of construction activities and surveys shall be conducted in accordance with CDFG burrowing owl survey protocol.</p> <p>2) If unoccupied burrows are found during the non-breeding season, the City may collapse the unoccupied burrows, or otherwise obstruct their entrances to prevent owls from entering and nesting in the burrows. This measure would prevent inadvertent impacts during construction activities.</p> <p>3) If no occupied burrows are found in the survey area, a letter report documenting survey methods and findings shall be submitted to the City and CDFG for review and approval, and no further mitigation is necessary.</p> <p>If occupied burrows are found, impacts on the burrows shall be avoided by providing a buffer of 165 feet during the non-breeding season (September 1 through January 31) or 250 feet during the breeding season (February 1 through August 31). The size of the buffer area may be adjusted if a qualified biologist and CDFG determine it would not be likely to have adverse effects on the owls. No project activity shall commence within the buffer area until a qualified biologist confirms that the burrow is no longer occupied. If the burrow is occupied by a nesting pair, a minimum of 7.5 acres of foraging habitat contiguous to the burrow shall be maintained until the breeding season is over.</p> <p>4) If impacts on occupied burrows are unavoidable, onsite passive relocation techniques approved by CDFG shall be used to encourage owls to move to alternative burrows outside of the impact area. However, no occupied burrows shall be disturbed during the nesting season unless a qualified biologist verifies through non-invasive methods that</p>	<p>Developer shall submit construction schedule (including grading activities) as evidence of construction overlap with breeding season. If construction occurs during relevant breeding, developer shall present a survey report (prepared by a consultant approved by the City) to the City prior to issuance of a grading permit. If nests are found, developer shall submit plans identifying nest locations and limits of construction activities.</p>	<p>Review schedule and field survey report, and as necessary, review and approve plans indicating construction limits</p> <p>Perform periodic field check to ensure compliance</p>	<p>Plan check prior to issuance of a grading permit</p> <p>During construction</p>	<p>Planning</p> <p>Planning</p>	<p>_____</p> <p>_____</p>	<p>_____</p> <p>_____</p>

ATTACHMENT NO. 6.6

Mitigation Monitoring Program

Mitigation Monitoring Program						
Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<p>juveniles from the occupied burrows are foraging independently and are capable of independent survival. Mitigation for foraging habitat for relocated pairs shall follow guidelines provided in the California Burrowing Owl Consortium's April 1995 Burrowing Owl Survey Protocol and Mitigation Guidelines, which ranges from 7.5 to 19.5 acres per pair.</p>						
<p><b>MM 4.3-2</b> (This MM is Measure Biological Resources-4 from the Central Park Master Plan EIR)</p> <p>The City shall mitigate for impacts to raptor foraging habitat through dedication as open space, conservation and/or enhancing areas of raptor foraging habitat at a ratio of 1:1 for acres of impact on raptor foraging habitat to provide suitable habitat values and functions for raptors. Mitigation for impacts on raptor foraging habitat will be accomplished within suitable areas that are City-owned and preferably nearby, such as the areas in association with the Sully Miller Lake Group Facility, Low Intensity Recreation Area, Semi-Active Recreation Area, and/or Midden Area/Urban Forest/Trailhead. Enhancement would include, but not be limited to, the planting of native trees within and adjacent to conserved areas of raptor foraging habitat. Prior to ground disturbance, the City shall identify the particular site or area to be enhanced and shall formulate a plan to accomplish the raptor foraging habitat enhancement activities. This plan shall be reviewed for approval by a qualified biologist.</p>	<p>The City shall determine the location of 5 acres of suitable raptor foraging habitat to be conserved and/or enhanced.</p> <p>The City shall formulate a plan to accomplish the raptor foraging habitat enhancement activities, including the planting of native trees within and adjacent to the dedicated area.</p> <p>Proof of retention of biologist.</p>	<p>Prepare plans indicating enhancement area, and verify retention of a qualified biologist</p> <p>Review and approval of raptor foraging habitat enhancement plan by qualified biologist</p> <p>Implementation and completion of enhancement activities</p>	<p>Plan check prior to issuance of a grading permit</p> <p>Review plan throughout construction activities</p> <p>Prior to Certificate of Occupancy</p>	<p>Planning</p> <p>Planning</p> <p>Qualified Biologist</p>	<p>_____</p> <p>_____</p> <p>_____</p>	<p>_____</p> <p>_____</p> <p>_____</p>

ATTACHMENT NO. 6.7

Mitigation Monitoring Program

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<p><b>Cultural Resources</b></p> <p><b>MM 4.4-1(a)</b> (This MM incorporates Measures Archaeology-3, Archaeology-4, Historical-1, and Paleontology-1 from the Central Park Master Plan EIR)</p> <p>The City shall arrange for a qualified professional archaeological and paleontological monitor to be present during all project-related ground-disturbing activities, including the potential disturbance of soils on adjacent slopes. In addition, all construction personnel shall be informed of the need to stop work on the project site in the event of a potential find, until a qualified archaeologist or paleontologist has been provided the opportunity to assess the significance of the find and implement appropriate measures to protect or scientifically remove the find. Construction personnel will also be informed that unauthorized collection of cultural resources is prohibited.</p>	<p>Proof of retention of archaeological and paleontological monitor</p>	<p>Verify retention of qualified monitors</p> <p>Periodic field check to ensure monitors are present</p>	<p>Plan check prior to issuance of grading permit</p> <p>Throughout ground-disturbing activities</p>	<p>Planning</p> <p>Planning</p>	<p>_____</p> <p>_____</p>	<p>_____</p> <p>_____</p>

ATTACHMENT NO. 6.8

Mitigation Monitoring Program

Mitigation Monitoring Program

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<p><b>MM 4.4-1(b)</b> (This MM incorporates Measures Archaeology-6,7 and 8, Historical-2 and 3, Paleontology-2,3 and 4, from the Central Park Master Plan EIR)</p> <p>If archaeological or paleontological resources are discovered during ground-disturbing activities, all construction activities within 50 feet of the find shall cease until the archaeologist/paleontologist evaluates the significance of the resource. In the absence of a determination, all archaeological and paleontological resources shall be considered significant. If the resource is determined to be significant, the archaeologist or paleontologist, as appropriate, shall prepare a research design for recovery of the resources in consultation with the State Office of Historic Preservation that satisfies the requirements of Section 21083.2 of CEQA. The archaeologist or paleontologist shall complete a report of the excavations and findings, and shall submit the report for peer review by three County-certified archaeologists or paleontologists, as appropriate. Upon approval of the report, the City shall submit the report to the South Central Coastal Information Center at California State University, Fullerton, and keep the report on file at the City of Huntington Beach.</p>	<p>Notes on grading plans</p> <p>Research design and recovery plan, if required</p>	<p>Review and approve grading plans for inclusion</p> <p>Review and approve research design and recovery plan</p>	<p>Plan check prior to issuance of grading permit</p> <p>Throughout ground-disturbing activities</p>	<p>Planning</p> <p>Peer review by three County-certified professionals</p>	<p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>	<p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>
<p><b>MM 4.4-1(c)</b> (This MM incorporates Measure Archaeology-5 from the Central Park Master Plan EIR)</p> <p>The City shall arrange for a qualified Native American monitor or a rotation of monitors from the interested bands to be present during all project-related ground-disturbing construction activities, including the recompaction of soils on the adjacent hillside. Should project personnel discover any previously unknown cultural resources in the absence of an archaeological monitor, a qualified archaeologist should be notified immediately to evaluate the significance of the find and make recommendations for treatment.</p>	<p>Proof of retention of Native American monitor</p>	<p>Verify retention of qualified monitor</p> <p>Periodic field check to ensure monitor is present</p>	<p>Plan check prior to issuance of grading permit</p> <p>Throughout ground-disturbing activities</p>	<p>Planning</p> <p>Planning</p>	<p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>	<p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>

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<b>Mitigation Monitoring Program</b>						
<i>Mitigation Measure</i>	<i>Implementation Documentation</i>	<i>Monitoring Activity</i>	<i>Timing</i>	<i>Responsible Monitor</i>	<i>Compliance Verification Signature</i>	<i>Date</i>
<p><b>MM 4.4-3</b> In the event of the discovery of a burial, human bone, or suspected human bone, all excavation or grading in the vicinity of the find shall halt immediately, the area of the find shall be protected, and the Developer shall immediately notify the City and the Orange County Coroner of the find and comply with the provisions of P.R.C. Section 5097. If the human remains are determined to be prehistoric, the Coroner will notify the NAHC, which will determine and notify a Most Likely Descendent (MLD). The MLD shall complete the inspection of the site within 24 hours of notification, and may recommend scientific removal and non-destructive analysis of human remains and items associated with Native American burials.</p>	Notes on grading plans	Review and approve grading plans for inclusion	Plan check prior to issuance of grading permit  Throughout ground-disturbing activities	Orange County Coroner & Planning	_____	_____
<b>Geology and Soils</b>						
<p><b>MM 4.5-1</b> Detailed design measures contained within the Geotechnical Evaluation prepared for the project shall be implemented, including those related to: earthwork, seismic design consideration, foundations, building floor slabs, retaining wall, exterior flatwork, shoring, corrosion; concrete, site drainage, storm drain infiltration system, and preliminary pavement design.</p>	Notes on rough/mass grading plan and building plans	Review and approve grading and building plans for inclusion of soils and geotechnical recommendations	Plan check prior to issuance of a rough/mass grading permit	Public Works  Building and Safety	_____	_____
<p><b>MM 4.5-2</b> In order to mitigate the erosion potential of the slopes adjacent to the site, the near surface soils shall be compacted along the northern slope face (earthen berm) where the site improvements encroach upon the existing slopes. The slope shall then be covered with an appropriate erosion protection device and drought tolerant plants. Surface water runoff must be diverted away from the top of the slope to reduce the likelihood of surficial sliding and erosion.</p>	Notes on rough/mass grading plan and building plans	Review and approve grading and landscaping plans for inclusion of soils and geotechnical recommendations and plant material	Plan check prior to issuance of a rough/mass grading permit approval of landscape plan	Public Works	_____	_____
<p><b>MM 4.5-4(a)</b> Oversize materials, more than approximately four inches in size, such as concrete rubble shall be disposed of off site. Trash and other debris shall be selectively removed and disposed off site.</p>	Notes on grading and building plans	Review and approve notes on grading building plans	Prior to issuance of grading and building permit	Public Works  Planning	_____	_____

ATTACHMENT NO. 6.10

Mitigation Monitoring Program

Mitigation Monitoring Program

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<p><b>MM 4.5-4(b)</b> (This MM incorporates Measure Geology-2 from the Central Park Master Plan EIR) Remedial grading to remove compressible soils and replace them with appropriately compacted fill shall occur in order to address potential settlements. Fill soils to be used for backfill around utilities shall be compacted to 90 percent relative compaction.</p>	Soils report documenting fill properties	Review and approve soil sampling report Notes on grading plans	Prior to fill import  Prior to issuance of a grading permit	Fire  Public Works	_____ _____ _____	_____ _____ _____
<p><b>MM 4.5-4(c)</b> (This MM incorporates Measure Geology-6 from the Central Park Master Plan EIR) Corrosivity testing of the on-site soils should be performed during the design phase. Corrosivity testing may also need to be considered for soils that are imported for use as fill during construction.</p>	Soils report with corrosion engineer recommendations	Review and approve notes on building plans	Prior to issuance of building permit	Building and Safety	_____ _____	_____ _____
<p><b>MM 4.5-5</b> (This MM incorporates Measure Geology-5 from the Central Park Master Plan EIR) The soil expansion potential shall be evaluated in detail prior to issuance of grading permits. If expansive soils are present near design grades, potential for heaving or cracking of rigid structures shall be addressed through soil removal, chemical treatment, or other equivalent measures.</p>	Notes on rough/mass grading plan and building plans	Review and approve grading and building plans for inclusion of soils and geotechnical recommendations	Plan check prior to issuance of a rough/mass grading permit and building permit	Building and Safety	_____ _____	_____ _____

ATTACHMENT NO. 6.11

Mitigation Monitoring Program

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<p><b>Hazardous Materials</b></p> <p><b>MM 4.6-1(a)</b> (This MM incorporates Measure Hazards-15 from the Central Park Master Plan EIR)</p> <p>In the event that previously unknown soil contamination that could present a threat to human health or the environment is encountered during construction, construction activities in the immediate vicinity of the contamination shall cease immediately. A risk management plan shall be prepared and implemented that (1) identifies the contaminants of concern and the potential risk each contaminant would pose to human health and the environment during construction and post-development and (2) describes measures to be taken to protect workers and the public from exposure to potential site hazards. Such measures could include a range of options, including, but not limited to, physical site controls during construction, remediation, long-term monitoring, post-development maintenance or access limitations, or some combination thereof. Depending on the nature of contamination, if any, appropriate agencies shall be notified (e.g., City of Huntington Beach Fire Department). A site health and safety plan that meets OSHA requirements shall be prepared and in place prior to the commencement of work in any contaminated area. The developer shall ensure proper implementation of the health and safety plan. If required, contamination shall be remediated in accordance with mitigation measure MM 4.6-1(b).</p>	<p>Risk Management Plan &amp; Site Health and Safety Plan</p>	<p>Review and approve any grading plans for inclusion</p>	<p>Plan check prior to issuance of any grading permit</p>	<p>Fire</p>	<p>_____</p>	<p>_____</p>

ATTACHMENT NO. 6.12

Mitigation Monitoring Program

Mitigation Monitoring Program

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<p><b>MM 4.6-1(b)</b> Closure reports or other reports acceptable to the HBFD that document the successful completion of required remediation activities, if any, for contaminated soils, in accordance with City Specification 431-92, shall be submitted and approved by the HBFD prior to issuance of grading permits for site development. No construction shall occur in the affected area until reports have been accepted by the City.</p>	<p>Closure reports or other reports acceptable to the HBFD that document the successful completion of required remediation activities</p>	<p>Review and approve closure reports other reports acceptable to the HBFD that document the successful completion of required remediation activities</p>	<p>Plan check prior to issuance of any grading permit</p>	<p>Fire</p>	<p>_____</p>	<p>_____</p>
<p><b>MM 4.6-1(c)</b> (This MM is Measure Hazards-9 from the Central Park Master Plan EIR) Any unrecorded or unknown wells uncovered during the excavation or grading process shall be immediately reported to and coordinated with the City and Division of Oil, Gas and Geothermal Resources (DOGGR). In addition, should any known and unexpected landfills be excavated and discovered during the construction phase of the proposed project, construction work will be immediately halted and the Local Enforcement Agency (LEA) will be notified. Further construction operations will resume at the discretion of LEA and upon work approval by LEA.</p>	<p>Documentation of consultation with DOGGR</p>	<p>Review and approve documentation</p>	<p>Plan check prior to issuance of a rough grading permit</p>	<p>Fire</p>	<p>_____</p>	<p>_____</p>
<p><b>MM 4.6-1(d)</b> Prior to the issuance of grading permits and during construction, the project shall comply with all provisions of the HBMC Section 17.04.085 and HBFD City Specification 429, Methane District Building Permit Requirements. A plan for the testing of soils for the presence of methane gas shall be prepared. If necessary, measures to reduce levels of gases to within levels determined acceptable by the HBFD (such as vent systems) shall be implemented, if required by the HBFD.</p>	<p>Notes on grading and building plans Methane and Hydrogen Sulfide Testing Plan</p>	<p>Plan check prior to issuance of a rough grading permit Review and approval of testing plan</p>	<p>Prior to issuance of any grading permit and during construction</p>	<p>Fire</p>	<p>_____</p>	<p>_____</p>

ATTACHMENT NO. 6.13

Mitigation Monitoring Program

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<p><b>Hydrology and Water Quality</b></p> <p><b>MM 4.7-1</b> (This MM incorporates Measures Water-2 and 3 from the Central Park Master Plan EIR)</p> <p>The project proponent shall prepare and implement a site-specific Water Quality Management Plan (WQMP).</p> <p>This (WQMP) shall identify specific stormwater BMPs for reducing potential pollutants in stormwater runoff. BMPs shall be designed in accordance with DAMP requirements and the recommendations of the Geotechnical Report prepared for the proposed project. The WQMP must be approved by the Public Works Department prior to the beginning of construction activities.</p> <p>The WQMP shall include the following BMPs along with selected BMPs to target pollutant removal rates:</p> <ul style="list-style-type: none"> <li>■ Waste and materials storage and management BMPs (design and construction of outdoor materials storage areas and trash and waste storage areas, if any, to reduce pollutant introduction)</li> <li>■ Spill prevention and control BMPs</li> <li>■ Slope protection and stabilization BMPs</li> <li>■ Water efficient irrigation practices (Municipal Code 14.52 Water Efficient Landscape: water efficient guidelines and Conceptual Landscape Plan).</li> <li>■ Permanent erosion and sediment controls (e.g., hydroseeding, mulching, surface covers)</li> </ul> <p>The Project Proponent is encouraged to consider the following BMPs:</p> <ul style="list-style-type: none"> <li>■ Minimize directly connected impervious area, including: pervious concrete (if applicable) or other pervious pavement for parking areas (e.g., turf block), pervious pavement for paths and sidewalks, and direction of rooftop runoff to pervious areas.</li> <li>■ Incorporation of rain gardens or cisterns to reuse runoff for</li> </ul>	Water Quality Management Plan	Review and approve WQMP and documentation	Plan check prior to issuance of precise grading permit	Public Works		

ATTACHMENT NO. 6.14

Mitigation Monitoring Program

Mitigation Monitoring Program

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<ul style="list-style-type: none"> <li>■ landscape irrigation</li> <li>■ Alternative building materials</li> <li>■ Site design and landscape planning</li> <li>■ Wet vaults for subsequent landscape irrigation</li> <li>■ Sand filters for parking lots and rooftop runoff</li> <li>■ Frequent street and parking lot sweeping</li> <li>■ Media filter devices for roof top drain spouts (including proprietary devices)</li> <li>■ Biofiltration devices (swales, filter strips, and others)</li> <li>■ Proprietary control measures (if supporting documentation is provided)</li> <li>■ Drain inlet filters</li> <li>■ Pet waste station</li> <li>■ The upstream drainage area must be completely stabilized</li> </ul>						

ATTACHMENT NO. 6.15

Mitigation Monitoring Program

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<p><b>MM 4.7-2</b> (This MM incorporates Measure Utilities-8 from the Central Park Master Plan EIR)</p> <p>The project proponent shall prepare a Project Hydrology and Hydraulic Report and Drainage Plan that incorporates stormwater conveyance facilities to provide adequate site drainage and minimize erosive forces.</p> <p>This Hydrology and Hydraulic Report shall include analysis of stormwater runoff peak flow and total volume from the 2-year and 100-year storm events for both existing and developed conditions. Stormwater conveyance and detention features shall be designed and incorporated into the proposed project to reduce runoff forces to non-erosive rates for the 100-year storm events. To the maximum extent practicable, the Drainage Plan shall also reduce post-construction peak runoff rates and timing to existing conditions levels. Off-site road improvements shall be included in the Hydrology and Hydraulic Report and Drainage Plan.</p> <p>The Hydrology and Hydraulic Report shall include a Drainage Plan identifying any additional stormwater quantity BMPs, their locations, and design characteristics, along with the flow dissipation piping, bioswales, and vegetated buffer areas already identified on the Conceptual Grading and Utility Plan (Figure 3-7 in Section 3.0 [Project Description]). Supporting documentation shall be included to show that incorporation of these features will result in post-construction runoff erosive forces that do not exceed existing conditions erosive forces.</p> <p>The Public Works Department shall approve this Hydrology and Hydraulic Report and Site Drainage Plan prior to the issuance of a precise grading permit. It is recommended that the Site Drainage Plan be coordinated with the WQMP to maximize efficiency of stormwater runoff detention/retention and water quality treatment.</p>	<p>Hydrology and Hydraulic Report and Drainage Plan</p>	<p>Review and approve plan and documentation</p>	<p>Prior to issuance of a grading permit</p>	<p>Public Works</p>	<p>_____</p>	<p>_____</p>

ATTACHMENT NO. 6.16

**Mitigation Monitoring Program**

**Mitigation Monitoring Program**

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<p><b>MM 4.7-5</b> The project proponent shall prepare and implement a Nutrient and Pesticide Management Program.</p> <p>A Nutrient and Pesticide Management Program (NPMP) shall be prepared and implemented to minimize the risk of pollutants associated with landscape establishment and maintenance practices in runoff waters. This NPMP shall include guidelines, application regulations, and applicator training, and shall encourage minimization of chemical use.</p>	Nutrient and Pesticide Management Program	Review and approve NPMP	Prior to issuance of a grading permit	Public Works	_____	_____
<b>Noise</b>						
<p><b>MM 4.9-1(a)</b> (This MM is Measure Noise-3 from the Central Park Master Plan EIR)</p> <p>The City of Huntington Beach shall limit grading and construction activities to daily operation hours between 7:00 a.m. and 7:00 p.m. (Monday through Friday) and 8:00 a.m. to 5:00 p.m. on Saturdays. Construction shall not take place on Sundays or Federal holidays.</p>	Notes on building plans	Review and approve building plans for inclusion	Prior to issuance of a building permit	Planning	_____	_____
<p><b>MM 4.9-1(b)</b> (This MM is Measure Noise-5 from the Central Park Master Plan EIR)</p> <p>The U.S. Environmental Protection Agency has estimated that noise levels from construction equipment can be lowered as much as 13 dBA by implementing noise control features that require no major redesign or extreme cost. The City of Huntington Beach shall require that all construction equipment incorporate noise reduction control features. All vehicles and compressors should utilize exhaust mufflers, and engine enclosures as designed by the manufacturer should be in place at all times.</p>	Notes on grading plans and building plans	Review and approve grading plans and building plans for inclusion	Prior to issuance of a grading permit and a building permit	Planning	_____	_____

ATTACHMENT NO. 6.17

Mitigation Monitoring Program

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<b>Recreation</b>						
<p><b>MM 4.11-1</b> (This MM is Measure Recreation-1 from the Central Park Master Plan EIR)</p> <p>At least thirty days prior to construction, the City of Huntington Beach shall post signs in the vicinity of the project site indicating the proposed construction schedule of the senior center facility (including location and hours of operation) and shall complete the permanent relocation of the disc golf course hole located at the southern boundary of the site back to the official disc golf course.</p>	Final building plans and project grading plans	Ensure construction schedule signs are posted and disc golf course hole is relocated	At least 30 days prior to construction	Planning	_____	_____
<b>Transportation/Traffic</b>						
<p><b>MM 4.12-2</b> The project shall provide an additional northbound through lane at the intersection of Goldenwest Street and Slater Avenue. This can be provided by restriping the existing northbound right turn lane, without any physical roadway widening. In addition, approximately 300 feet of existing on-street parking from Ford Drive to Betty Drive will need to be removed in order to allow three through lanes northbound.</p>	Street Improvement Plans & Traffic Control Plan	Review and approval of Street Improvement Plans & Traffic Control Plan	Prior to Certificate of Occupancy	City Transportation Division	_____	_____
<p><b>MM 4.12-4</b> The intersection of Goldenwest Street at Talbert Avenue shall be modified to include the project driveway as the west leg, with appropriate corresponding signal modifications and intersection lane improvements. The City Transportation Manager shall determine the ultimate signal modifications that are most appropriate for the project site. Design recommendations include, but are not limited to, the following:</p> <ul style="list-style-type: none"> <li>■ Split phase operations for east-west movements</li> <li>■ Adequate pedestrian green to accommodate a slower walk speed (e.g., 2.8 feet per second)</li> <li>■ Address design site distance</li> <li>■ Increased letter sizes on roadway signs</li> <li>■ Increased signal clearance intervals</li> </ul>	Street Improvement Plans & Traffic Control Plan	Review and approval of Street Improvement Plans & Traffic Control Plan	Prior to Certificate of Occupancy	City Transportation Manager	_____	_____

ATTACHMENT NO. 6.18

Mitigation Monitoring Program

Mitigation Monitoring Program

Mitigation Measure	Implementation Documentation	Monitoring Activity	Timing	Responsible Monitor	Compliance Verification Signature	Date
<p><b>Utilities &amp; Service Systems</b></p> <p><b>MM 4.13-2</b> (This MM is Measure Utilities-7 from the Central Park Master Plan EIR)</p> <p>If the Green Acres Project is not yet operational and able to supply water to the program level elements of the Master Plan prior to the development of final plans and specifications, additional studies will be undertaken to determine the extent to which one or a combination of the following measures will be necessary to reduce impacts to water supply systems for program level elements during the interim until water from the Green Acres Project is available:</p> <ul style="list-style-type: none"> <li>■ Reduce the required irrigable areas by 10 percent;</li> <li>■ Enhance the utilization of existing groundwater systems (i.e., subpotable wells); or</li> <li>■ Supplement the irrigation supply with water from the domestic water system.</li> </ul>	Green Acres Project	Review status of Green Acres Project and ability to supply the project If Green Acres Project cannot supply water to the project, prepare study/studies identifying measures to reduce impacts to water supply systems	Prior to issuance of a grading permit	Public Works		
<p><b>MM 4.13-6</b> The developer shall install low-flow water devices and waterless urinals as part of the project.</p>	Notes on building plans	Installation of low-flow water devices and waterless urinals	Prior to and during construction activities	Public Works		
<p><b>MM 4.13-8</b> (This MM is Measure Utilities-9 from the Central Park Master Plan EIR)</p> <p>Prior to construction of program level elements, additional electrical load analyses shall be undertaken to determine the need for additional electrical transformers.</p> <p>SOURCE: PBS&amp;J 2007</p>	Electrical load analyses	Conduct electrical load analyses	Prior to construction activities	Public Works		

ATTACHMENT NO. 6.19

**ATTACHMENT NO. 7**

**EIR, FINAL EIR including RESPONSE TO COMMENTS &  
TEXT CHANGES CAN BE REVIEWED AT:**

**DEPARTMENT OF PLANNING  
2000 MAIN STREET, HUNTINGTON BEACH  
CITY HALL – 3<sup>RD</sup> FLOOR**

**&**

**ON THE CITY'S WEBSITE:**

**[http://www.surfcity-  
hb.org/Government/Departments/Planning/major/senior\\_center.cfm](http://www.surfcity-hb.org/Government/Departments/Planning/major/senior_center.cfm)**

**ATTACHMENT NO. 7.1**